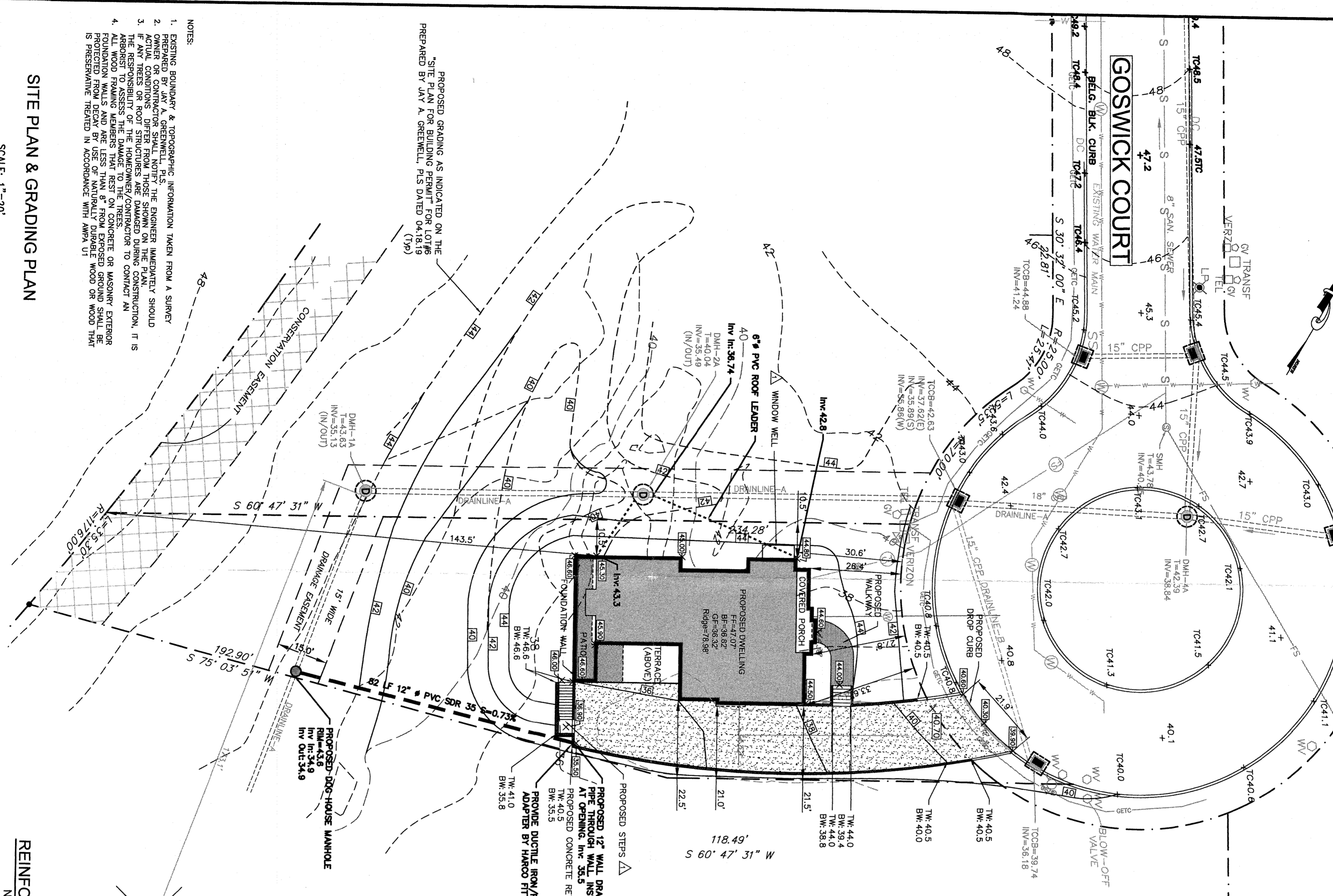


**LEGEND**

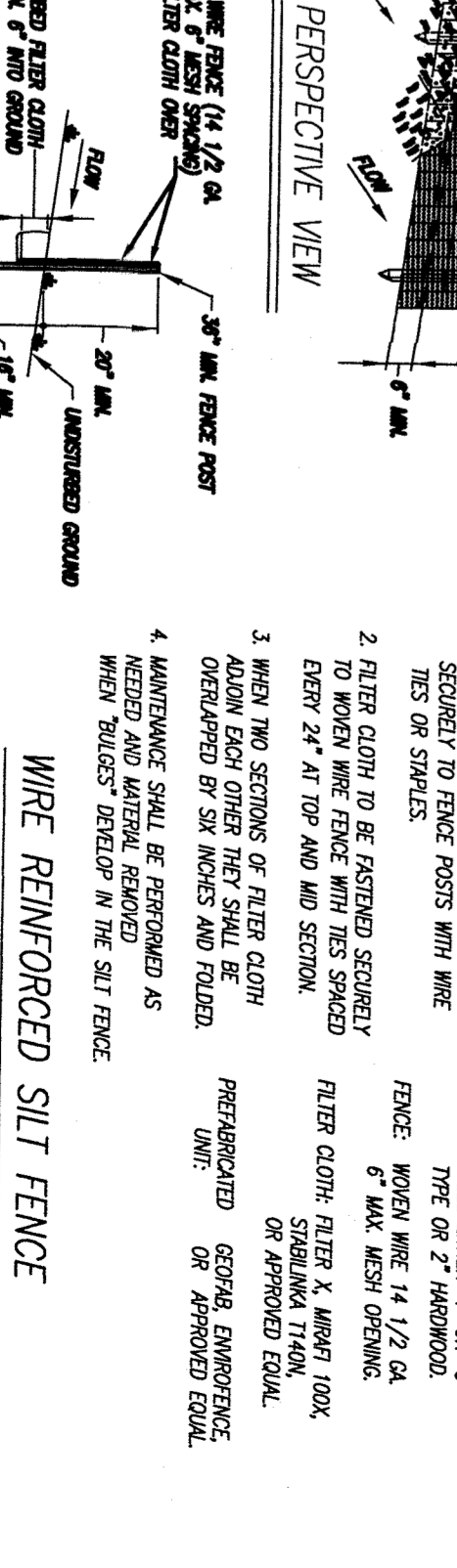
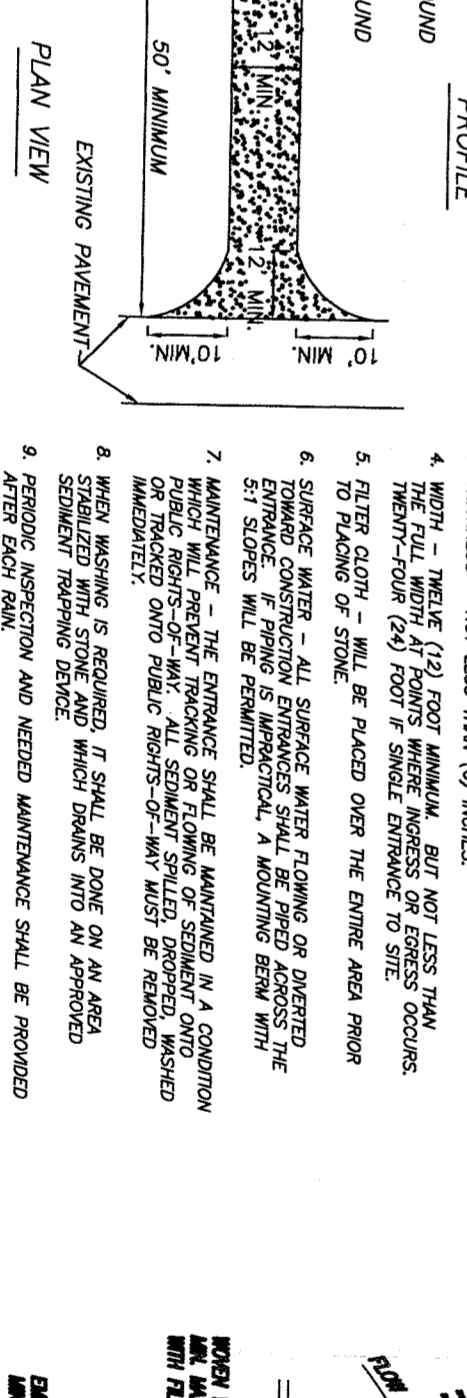
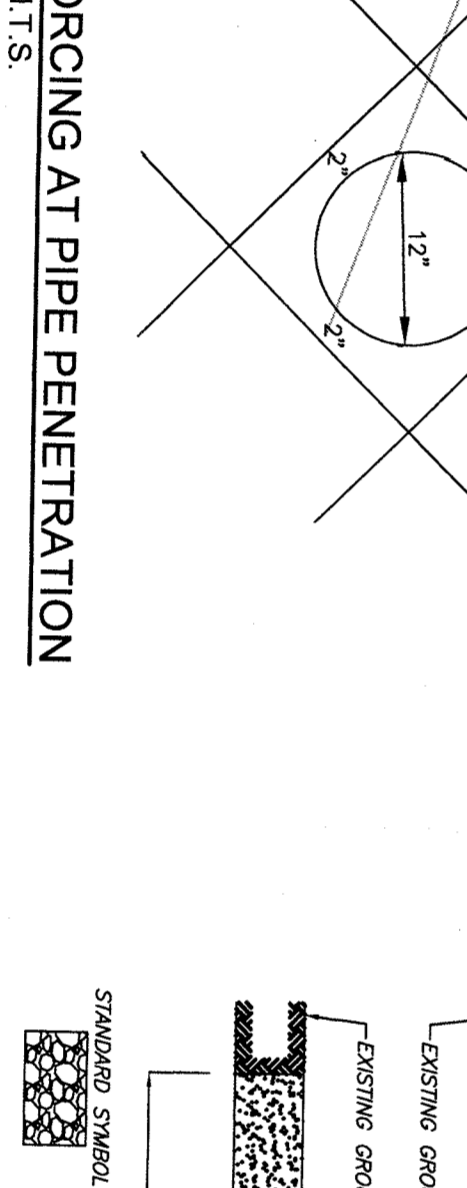
	Existing Spot Elevation
	Existing Contour
	Proposed Spot Elevation
	Proposed Contour
	Proposed Section of Wall
	Proposed Section of Wall
	Existing Top of Curbs
	Existing Section of Curbs

SCHOOL: SO. ORANGETOWN CENTRAL SCHOOL DISTRICT  
 FIRE: SPARKILL-PALUSKES FIRE DISTRICT  
 WATER: SPARKILL WATER DISTRICT  
 SEWER: ORANGETOWN SEWER DISTRICT  
 ZONING: R-8  
 DISTRICTS



**SITE PLAN & GRADING PLAN**  
 SCALE: 1"=20'  
 0 20 40 80 Ft.

- NOTES:**
- EXISTING GRADING & TOPOGRAPHY INFORMATION TAKEN FROM A SURVEY PREPARED BY W.A. GREENWELL, P.E., IN 1993.
  - OWNER OR CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD ANY ADVERSE CONDITIONS BE DISCOVERED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE HOMEOWNER/CONTRACTOR TO CONTACT AN ALL WOOD FRAMING MEMBER THAT REST ON CONCRETE OR MASONRY EXTERIOR PROTECTION WALLS AND ARE LESS THAN 8" FROM EXPOSED GROUND SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U-1.

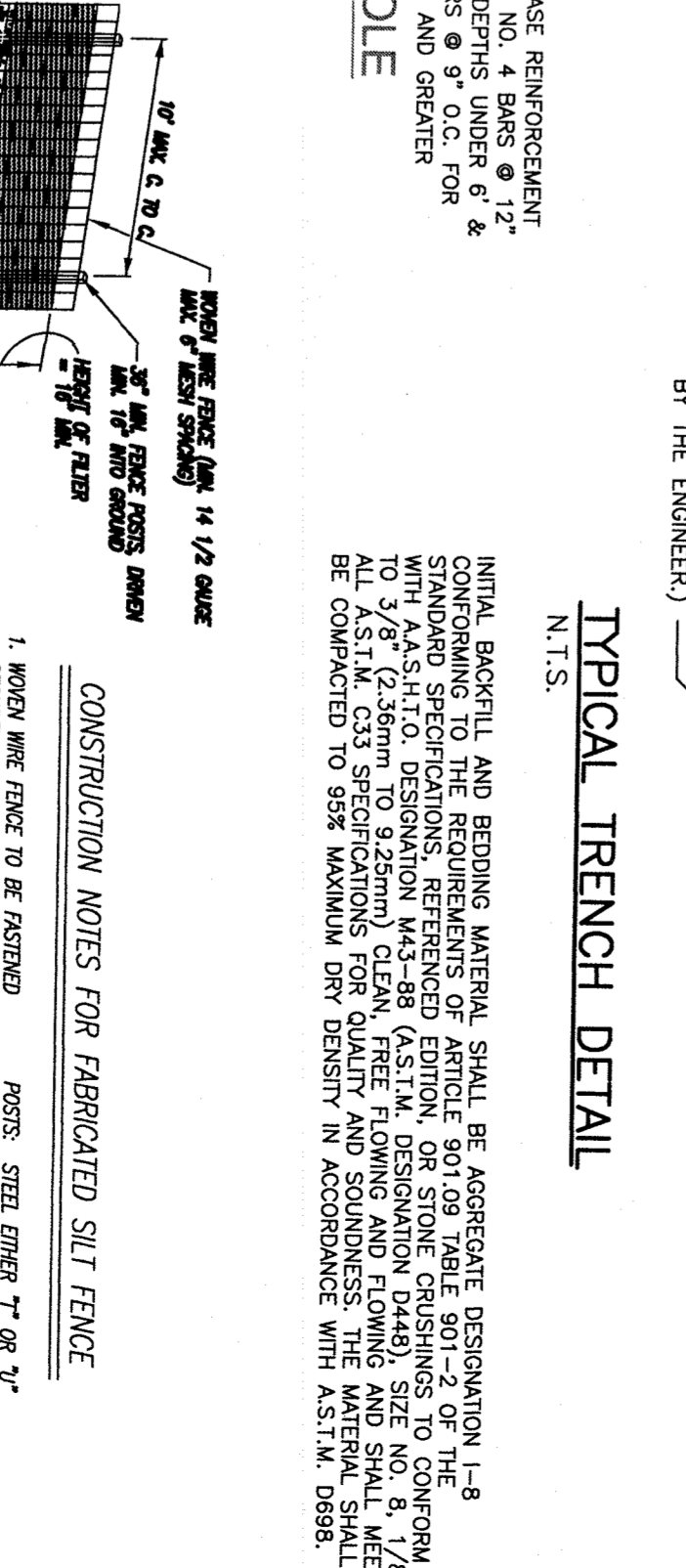


**ZONING DATA**

Zone: R-8 Use Group: Q	
Text Lot 77-08-5-36.4 (Lot 7)	
Owner: Ruggiero	
Minimum Lot Area	10,000
Minimum Street Frontage	75'
Minimum Lot Width	75'
Minimum Front Yard	25'
Minimum Side Yard	10'
Minimum Rear Yard	25'
Maximum Building Height	25' (35.3')

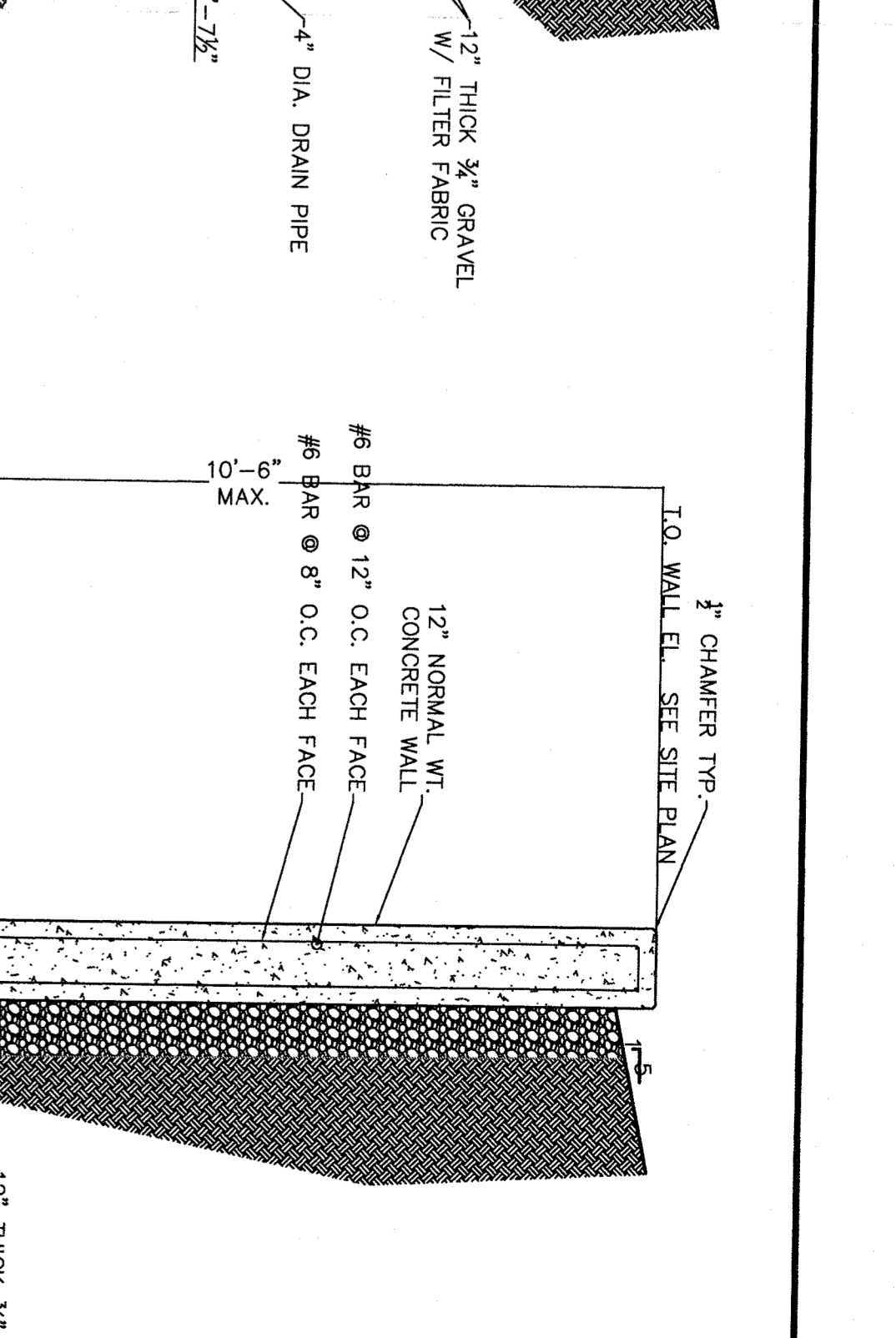
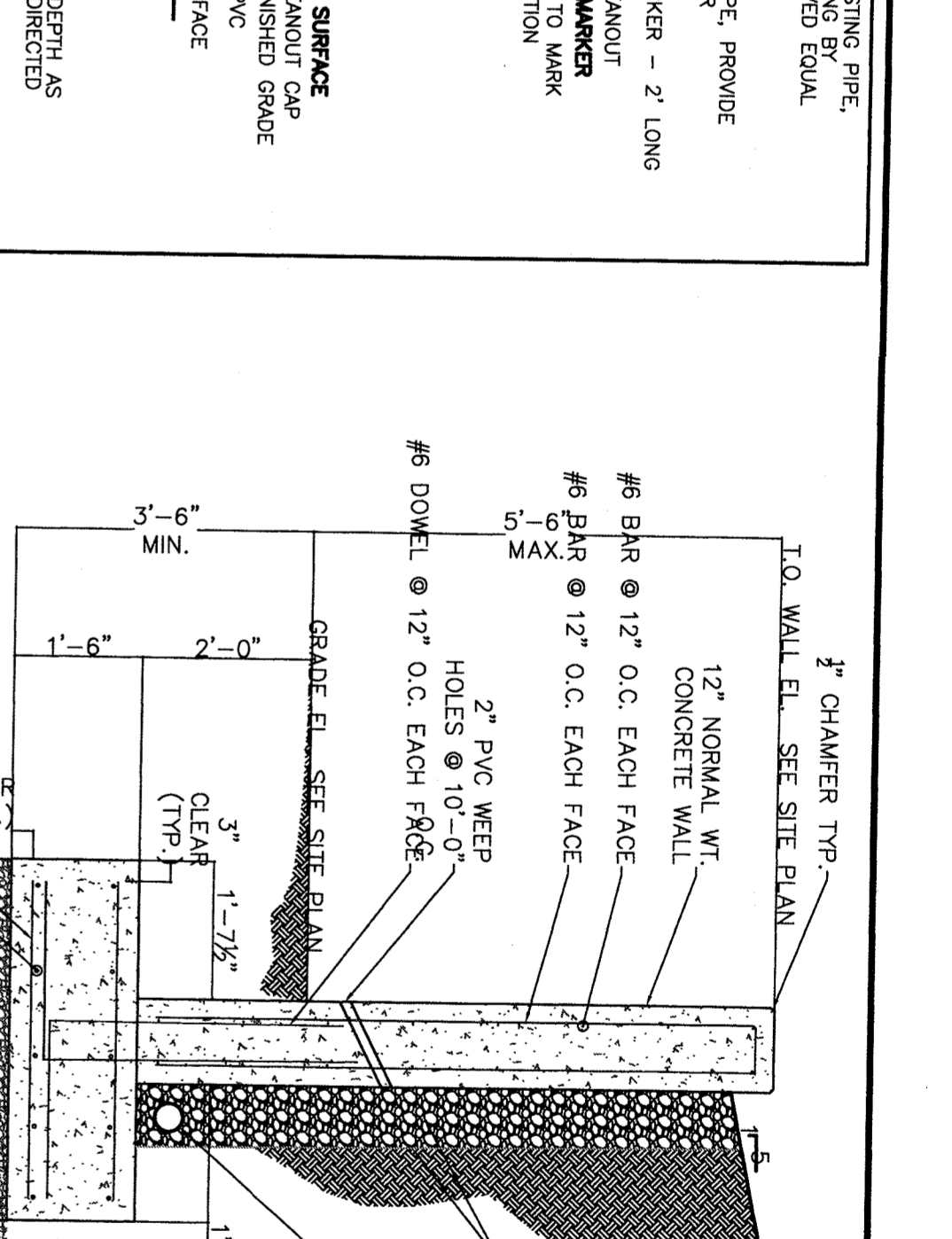
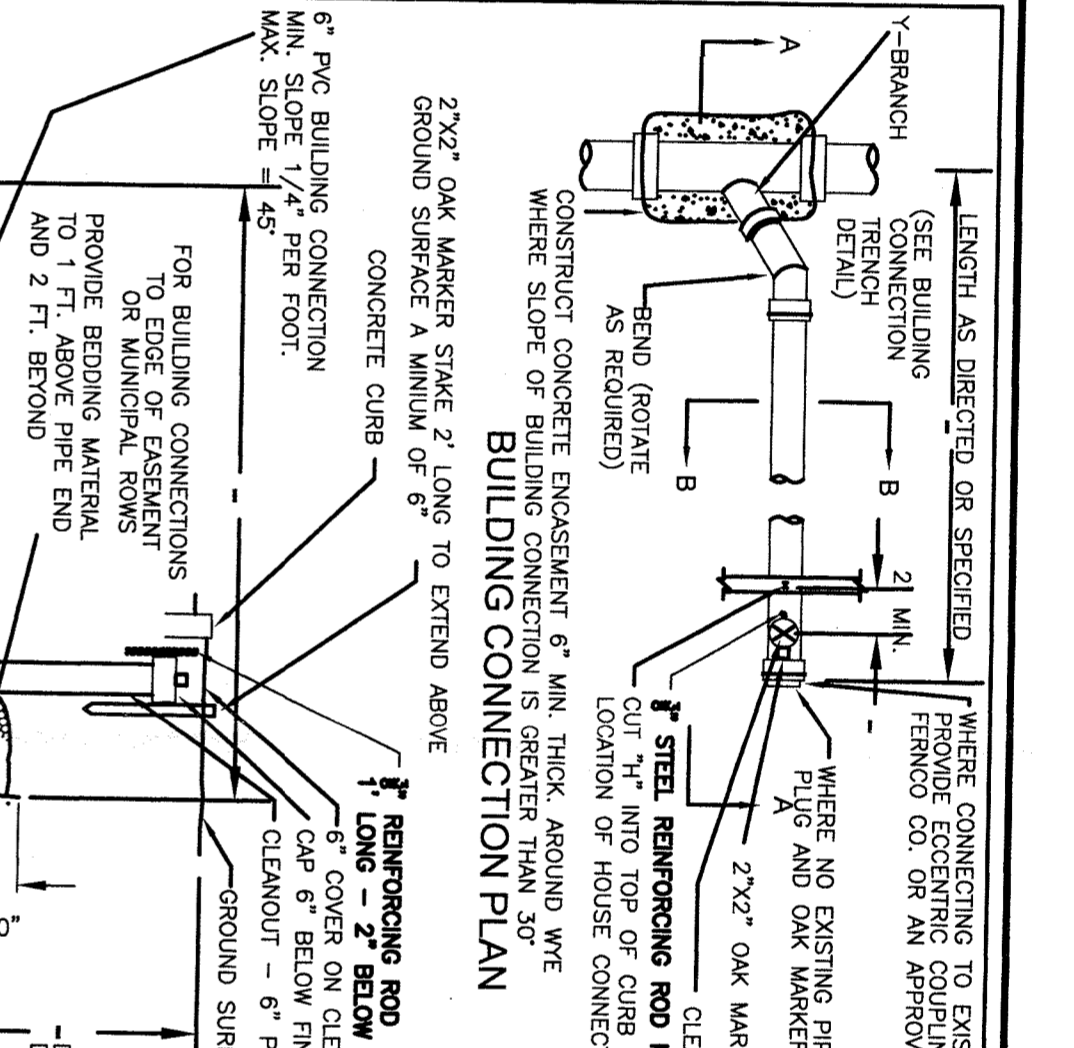
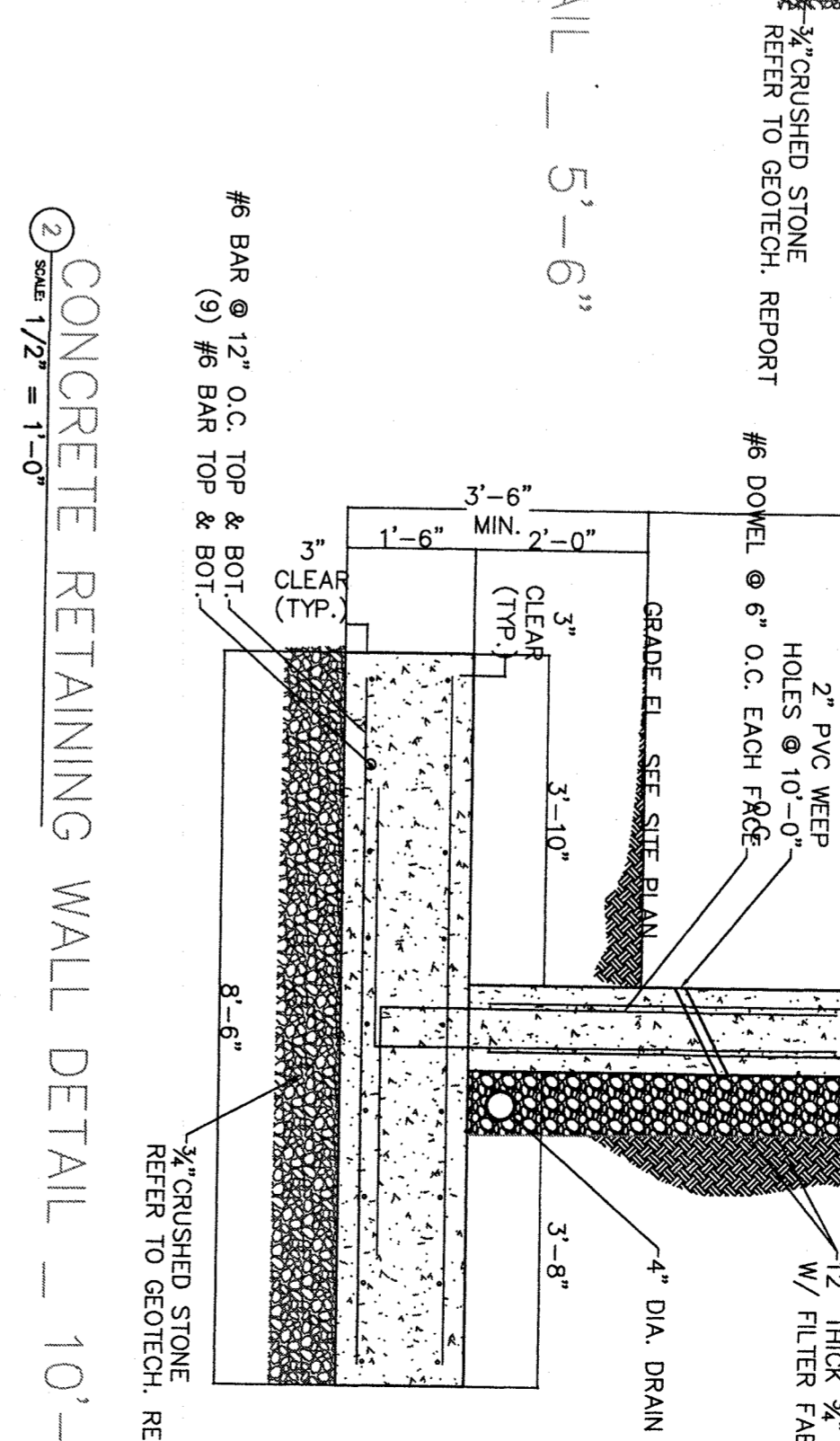
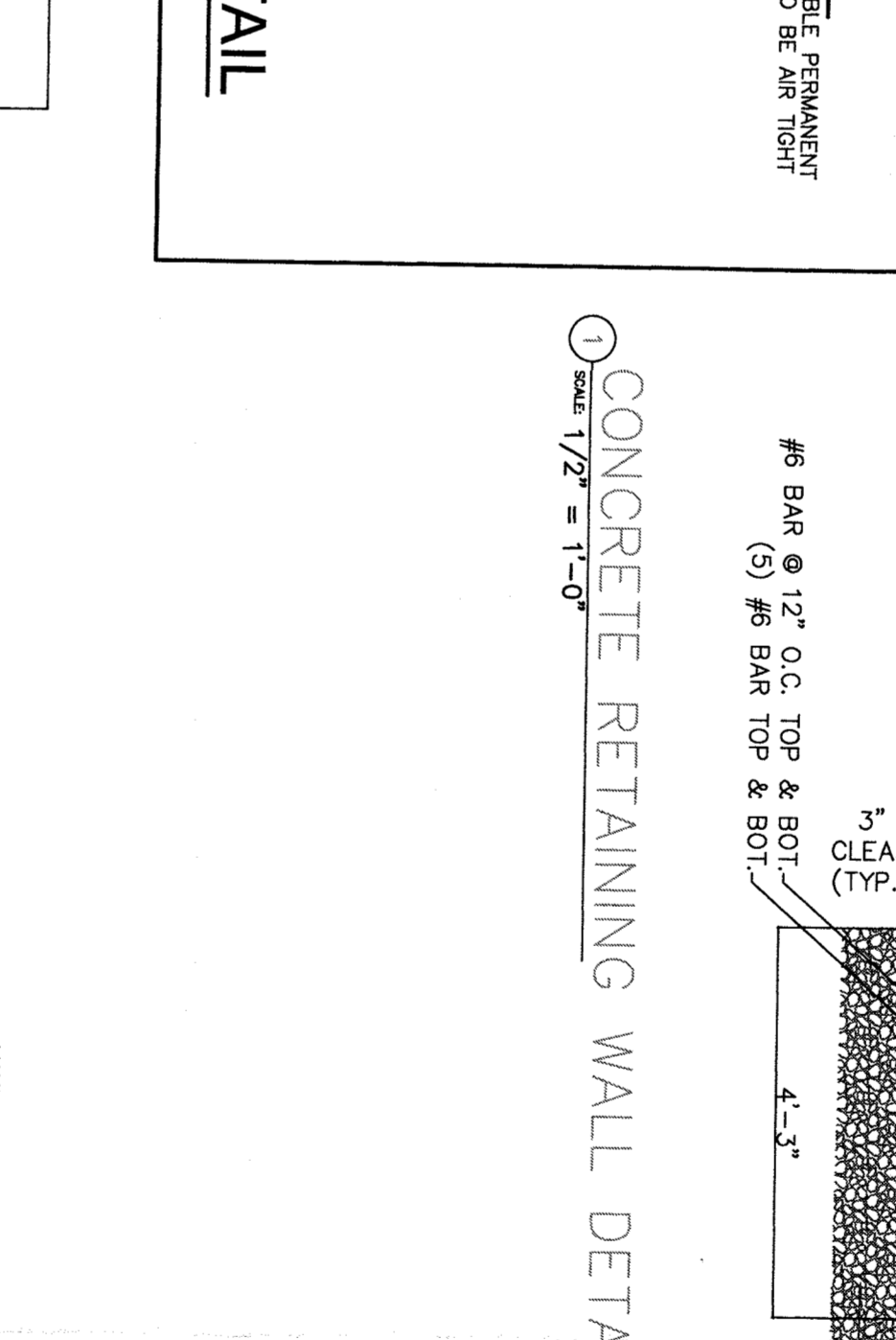
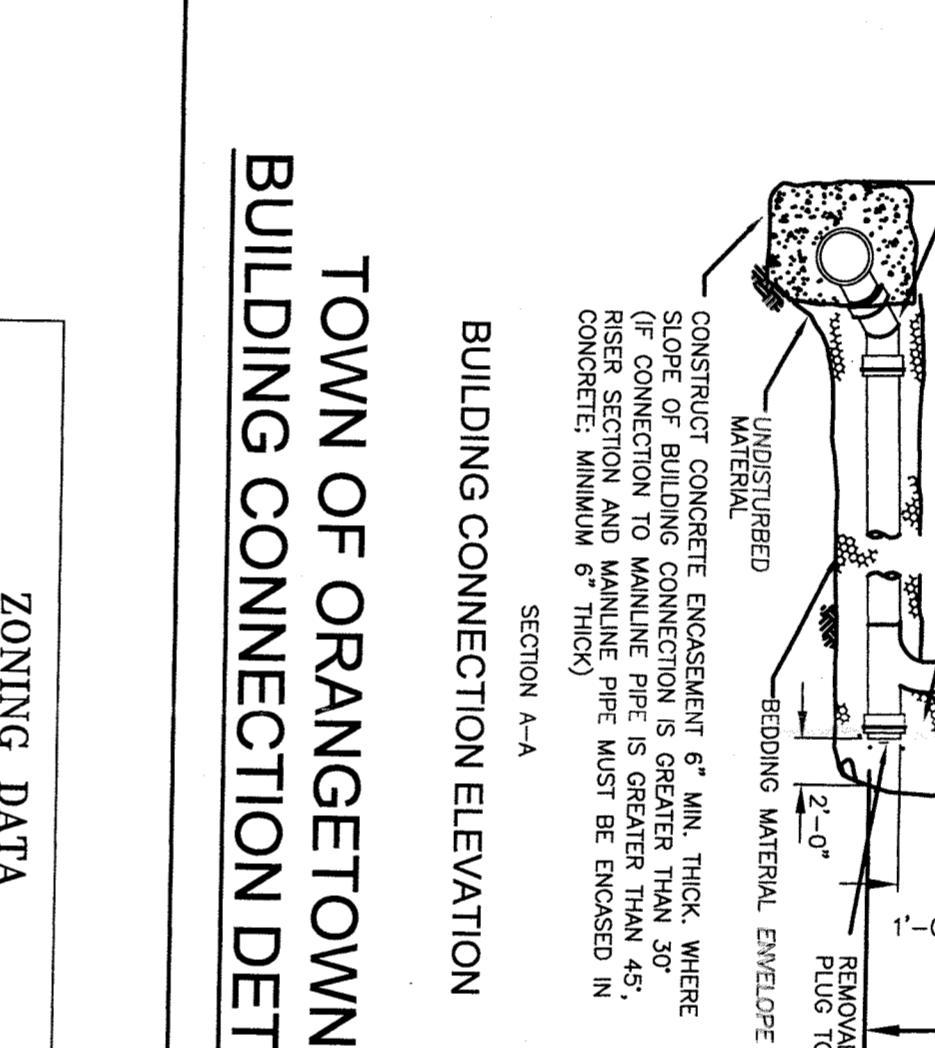
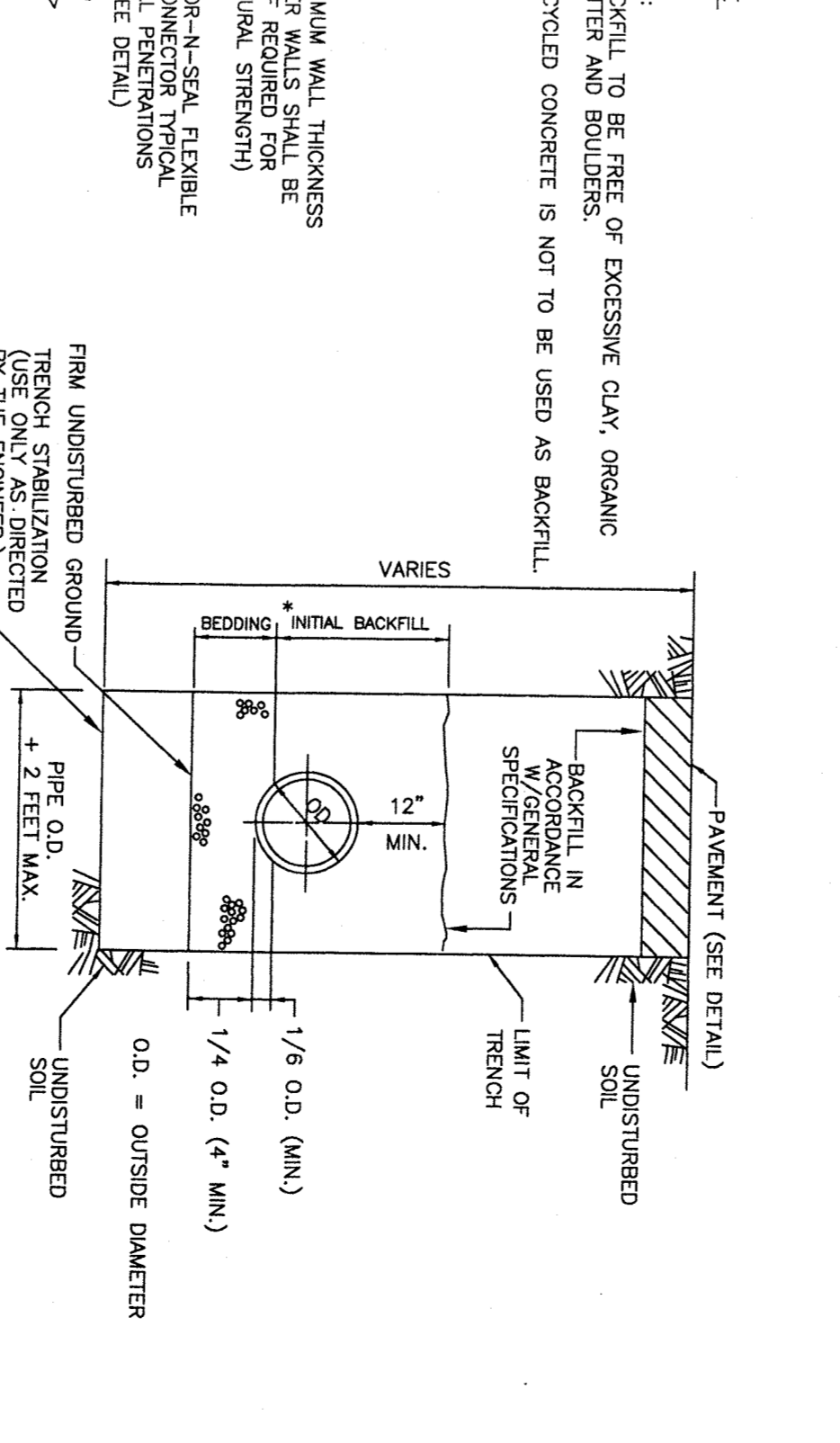
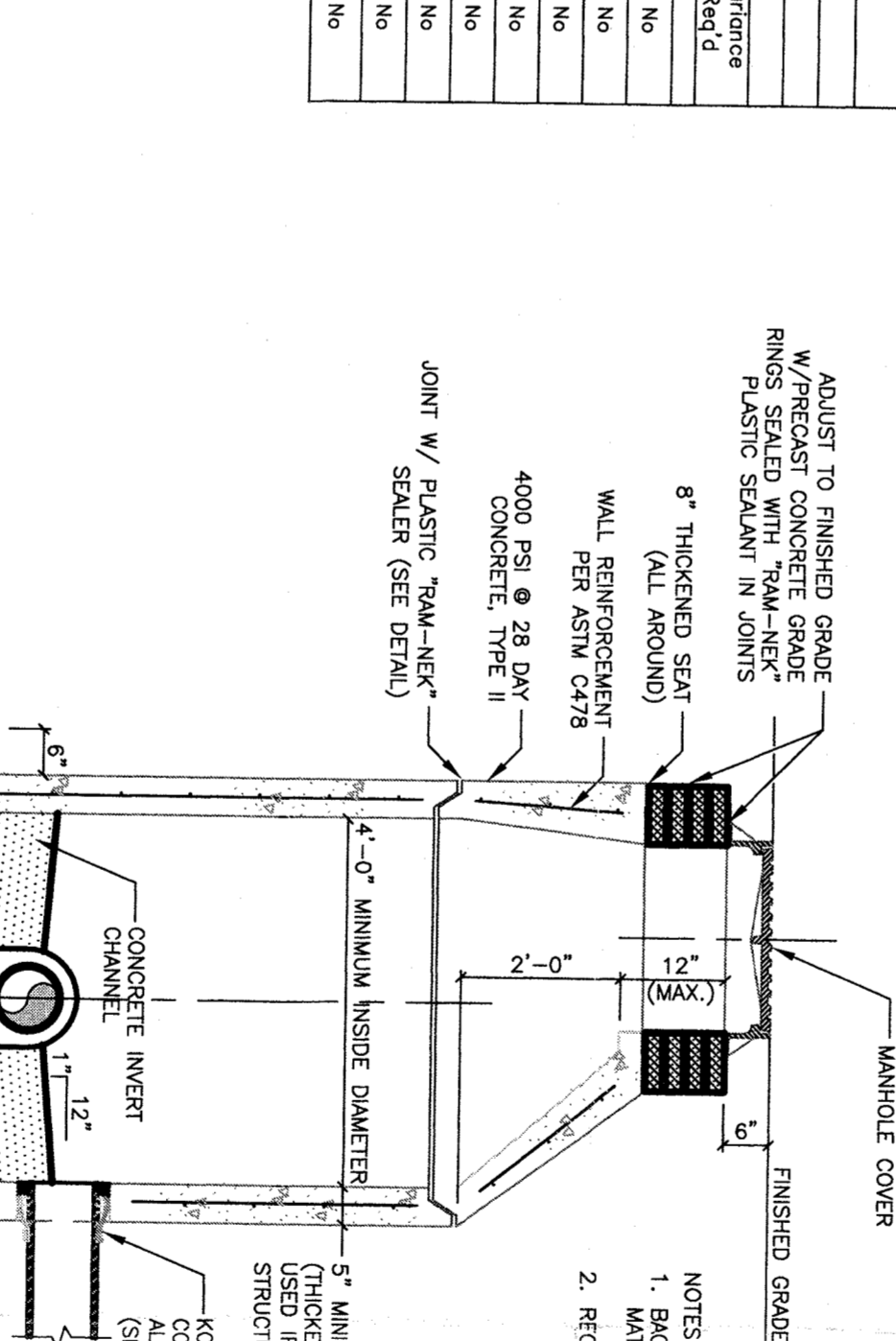
**LOT COVERAGE CALCULATIONS**

Item	Area (sq)	Area (sq)
TOTAL LOT AREA (SF)	14,447	
House/Concreted Pavt	2,059	Proposed Variance
Driveway	2,140	
Front Covered Porch	146	
Covered Terrace	188	
Driveway Steps	274	
Overhang	19	
Average	45.13	



**CONSTRUCTION SPECIFICATIONS**

- STONE SET - USE 2" STONE OR RECYCLED OR RECYCLED CONCRETE GRANULAR
- CONCRETE NOT LESS THAN 3,000 PSI (EXCEPT ON A SINGLE LAYER) WITH 4# @ 12" O.C. MINIMUM SPACING PERIOD
- THICKNESS - NOT LESS THAN (8) INCHES
- WEIGHT - WEIGHT (12) INCH MINIMUM, BUT NOT LESS THAN 120 LB PER SQ YD (40) POUNDS PER SQ YD DIVIDED TO 50% COEFFICIENT
- REINFORCING - ALL REINFORCING SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO POURING CONCRETE
- STORAGE - ALL STONE SHALL BE STORED IN A CLEAN DRY AREA PROTECTED FROM WEATHER
- MAINTENANCE - THE FINISHED SURFACE SHALL BE MAINTAINED IN A CLEAN DRY CONDITION UNTIL THE SURFACE IS FULLY CURED
- REINFORCING - ALL REINFORCING SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO POURING CONCRETE
- PERSONNEL AND NEARBY MAINTENANCE SHALL BE PROVIDED



THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR THE WORK WAS CONTRACTED BY THE PARTY FOR WHICH THE WORK WAS CONTRACTED OR TO WHOM IT IS REFERRED.

THIS DRAWING MAY NOT BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF D.J. EGARIAN & ASSOCIATES, INC. CERTIFICATE OF AUTHORIZATION: 00119143

**REVISION**

NO.	DATE	DESCRIPTION

DESIGNER: JDE  
 DRAWN BY: JDE  
 CHECK BY: DJE  
 DATE: 06.14.19  
 SCALE: 1"=20'  
 PROJECT NO.: 19115

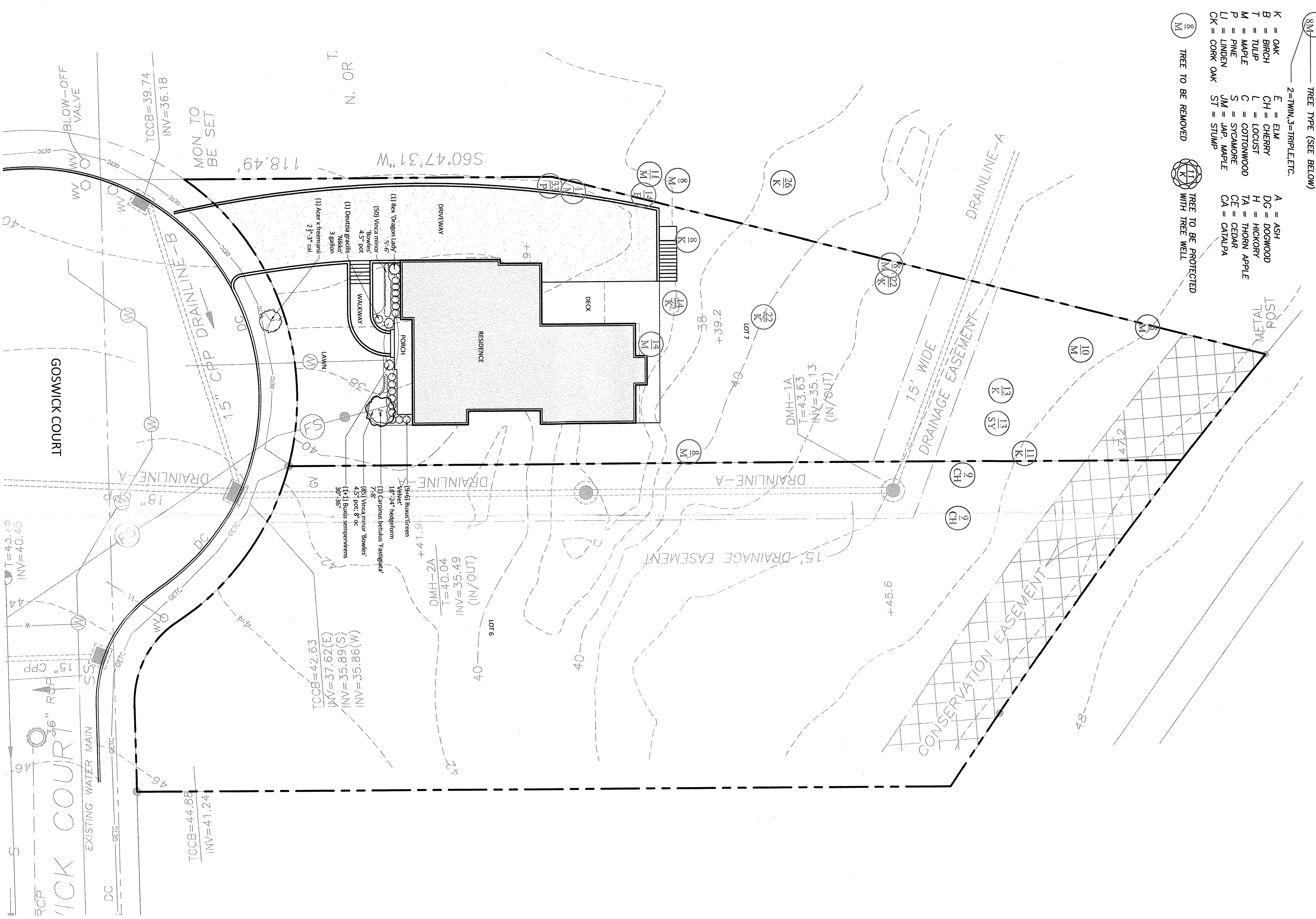
DAVID J. EGARIAN, P.E.  
 N.Y. LIC. 079382

**DJ EGARIAN & ASSOCIATES, INC.**  
 Civil/Mechanical/Environmental Engineering Services  
 271 Route 46 Suite 6208 Harristown, NJ 07004  
 714-973-1000

**SITE PLAN & GRADING PLAN FOR THE RUGGIERO RESIDENCE**  
 10 GOSWICK COURT  
 TAX LOT 77-08-5-36.4 LOT 7

DRAWING NO: 1

- ### TREE LEGEND
- TR** = TREE TO BE REMOVED  
**PT** = TREE TO BE PROTECTED  
**TRW** = TREE WITH TREE WELL
- 8** = CALIPER IN INCHES  
**TR** = TREE TYPE (SEE BELOW)
- K** = OAK
  - B** = BIRCH
  - T** = TULIP
  - M** = MAPLE
  - L** = LIME
  - LK** = CORN OAK
  - E** = ELM
  - CH** = CHERRY
  - L** = LOCUST
  - S** = SYPHORE
  - SM** = STRAWBERRY MAPLE
  - ST** = STRIP
  - A** = ASH
  - DD** = DOGWOOD
  - H** = HICKORY
  - YA** = YEW
  - CA** = CEDAR
  - CA** = CALIFORNIA

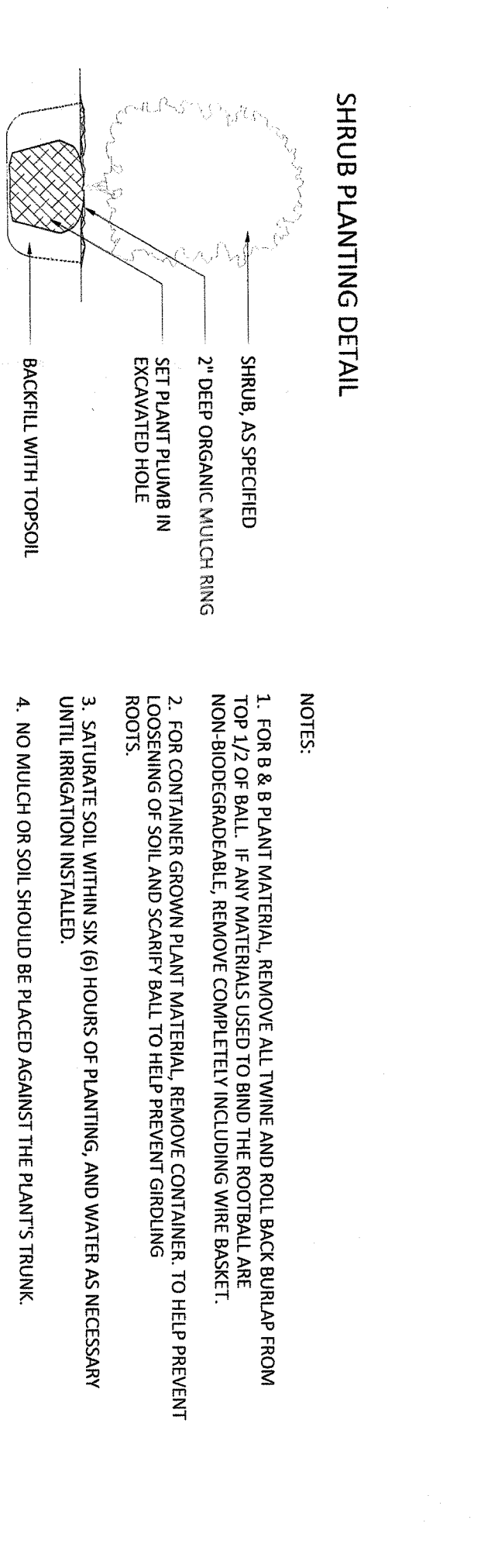
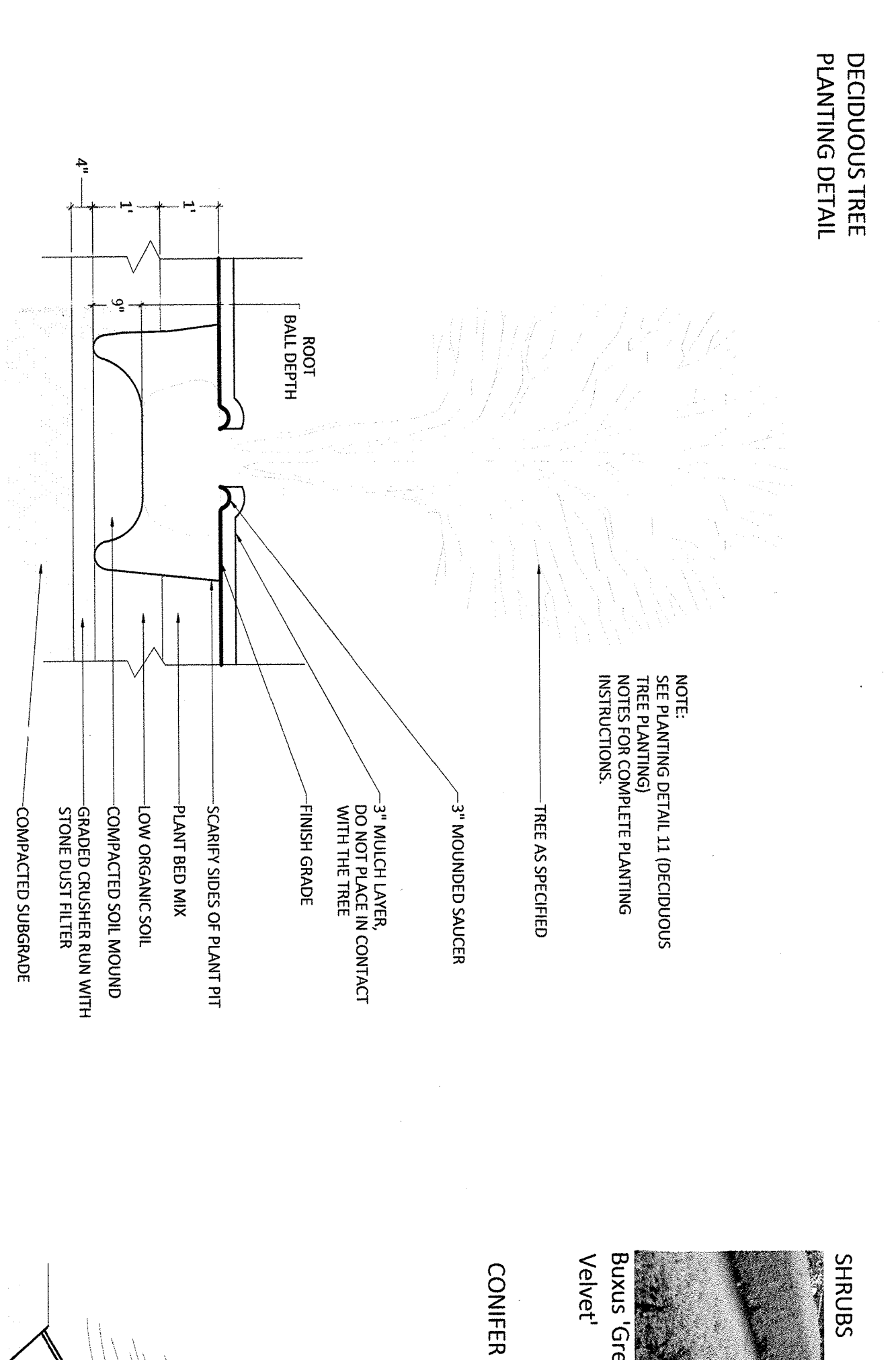


### PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	CALIPER / HEIGHT	BALL/CONTAINER	NOTES
<b>TREES</b>					
1	Carpinus betulus 'Fastigiata'	Fastigiate Hornbeam	7'-8'	B88	Post and disease free, nursery grown, well formed.
1	Ilex x aquipedunculata 'Dragon Lady'	Dragon Lady Holly	4.5'-5'	B88	Post and disease free, nursery grown, well formed.
1	Acer x freemanii	Freeman Maple	2 1/2-3' cal	B88	Post and disease free, nursery grown, well formed.
<b>SHRUBS</b>					
15	Buxus 'Green Velvet'	Green Velvet Buxwood	18"-24"	B88	Post and disease free, nursery grown, well formed.
2	Buxus sempervirens	Buxwood	30"-36"	B88	Post and disease free, nursery grown, well formed.
1	Deutzia gracilis 'Nikko'	Slender Deutzia	3 gallon		Post and disease free, nursery grown, well formed.
<b>GROUNDCOVER</b>					
135	Vinca minor 'Bowles'	Pervinck	4.5" pot		Post and disease free, nursery grown, well formed.

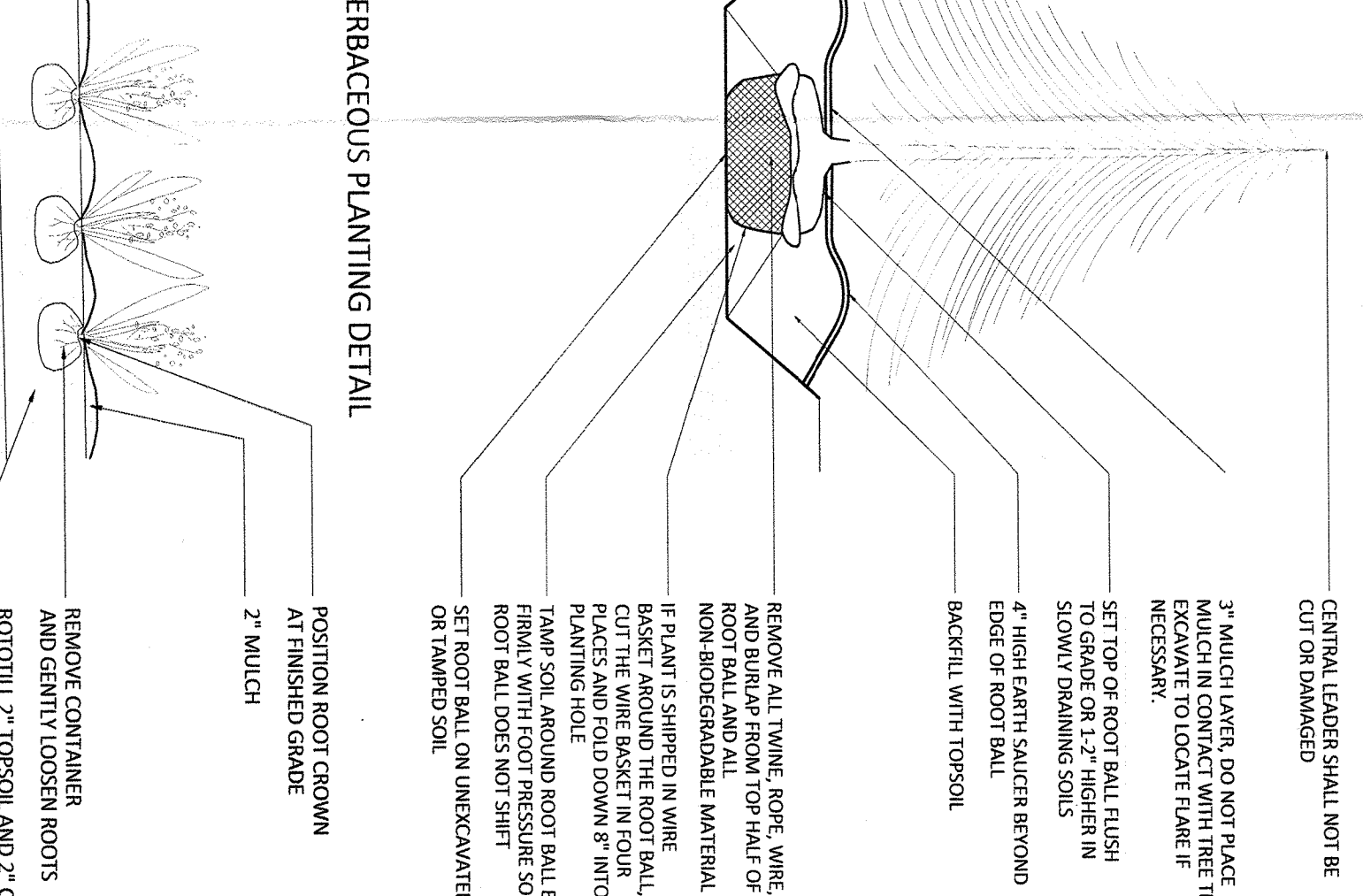
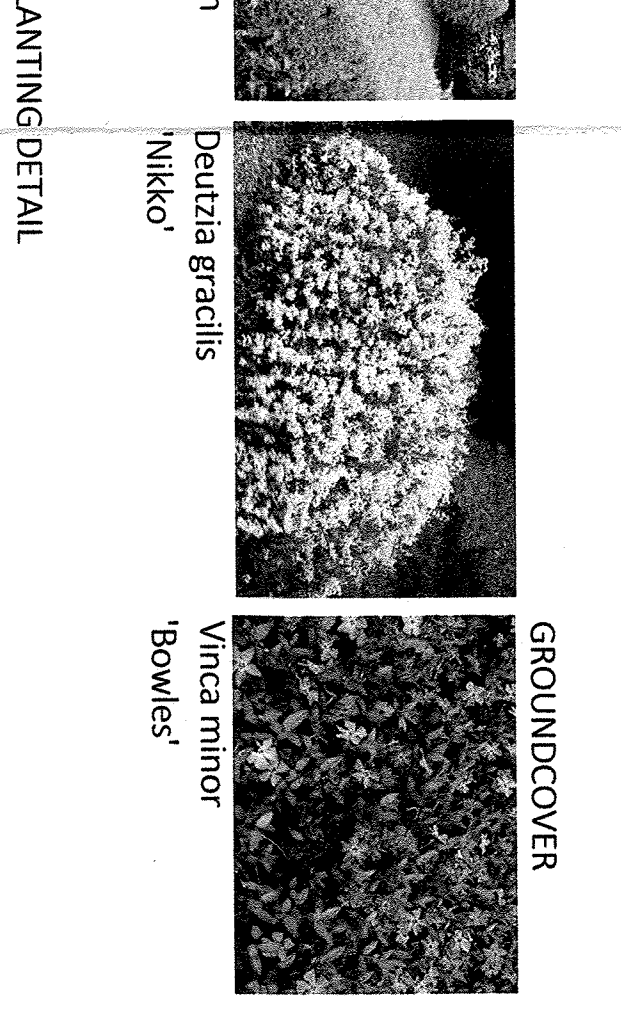
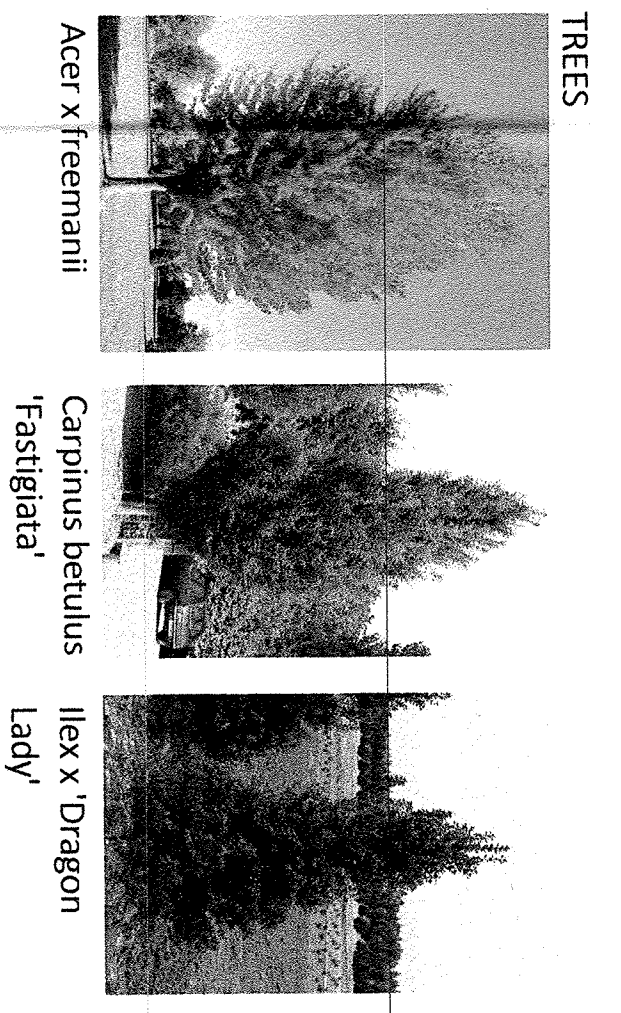
**ALL PLANTS SHALL CONFORM TO ANSI Z601.1 AMERICAN STANDARD FOR NURSERY STOCK - LATEST EDITION**

### PLANTING DETAILS

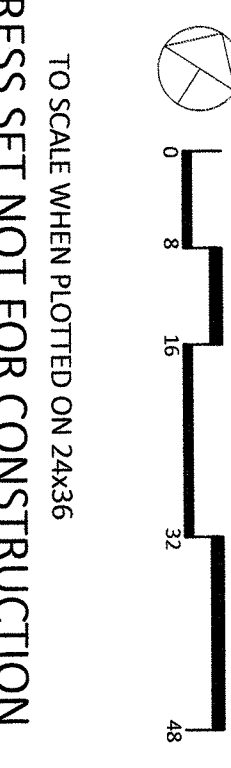


- ### GENERAL NOTES
1. SURVEY PROVIDED BY G. ROCK BUILDERS, 5722 WY 203, BALDWIN, NY 10913.
  2. YOST DESIGN, LLC TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE SURVEY. IF THE CONTRACTOR DETERMINES INACCURACIES ON SITE, THE CONTRACTOR SHALL ALERT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF ANY PART OF THE DESIGN AFFECTED BY THE PROVIDED INFORMATION.
  3. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR TAKES FULL RESPONSIBILITY FOR ANY UTILITIES DAMAGED DUE TO NOT VERIFYING UTILITY LOCATIONS, AND WILL REPAIR ANY DAMAGE AT THE CONTRACTOR'S OWN EXPENSE.
  4. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR CONSTRUCTION ACTIVITIES AS REQUIRED BY THE LOCAL, MUNICIPALITY, STATE AND FEDERAL REGULATIONS. ALL PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF THE WORK ASSOCIATED WITH THE PERMIT. THE CONTRACTOR SHALL ABIDE BY ALL RULES AND REGULATIONS SET FORTH BY THE PERMITS REQUIRED FOR CONSTRUCTION ACTIVITIES.
  5. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE CONSTRUCTION SITE IN AN ORDERLY CONDITION, STORE MATERIALS IN A PRE-DETERMINED LOCATION, MINIMIZE SITE DISTURBANCE, AND REMOVE ALL DEBRIS AND EXCESS MATERIAL FROM THE SITE.
  6. THE CONTRACTOR SHALL MAINTAIN ANY EROSION CONTROL MEASURES UTILIZED ON SITE.
  7. THESE PLANS ARE FOR APPROVAL PURPOSES ONLY. NO CONSTRUCTION MAY BEGIN PRIOR TO OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
  8. FINAL PLANS ARE SUBJECT TO REQUIREMENTS OF TOWN OF ORANGETOWN ENGINEERING DEPT. STATE REGULATORY REQUIREMENTS, DOT, AND ANY OTHER COMMENTS OR REQUIREMENTS OF LOCAL STATE AND/OR OTHER GOVERNMENTAL AGENCIES WITH JURISDICTION OVER THIS PROPERTY.
  9. SURVEY DATA, INCLUDING BOUNDARY LINES, TOPOGRAPHY, BUILDING LOCATIONS, UTILITIES, ETC. HAVE BEEN TAKEN FROM A MAP/ING PROVIDED TO YOST DESIGN, LLC BY OUTSIDE PARTIES WHICH MAY INCLUDE: LAND SURVEYORS, ARCHITECTS, SOIL SCIENTISTS, PROFESSIONAL ENGINEERS OR OTHER INDIVIDUALS WITH SPECIFIC INFORMATION PERTAINING TO THE PROJECT. YOST DESIGN, LLC HAS CONDUCTED VISUAL VERIFICATION OF THE DATA FOR GENERAL PURPOSES OF LANDSCAPE FEATURES ONLY. IT MAY NOT DETECT EXACT EXISTING CONDITIONS AND DOES NOT CONTAIN ADVISORY INFORMATION FOR CONSTRUCTION PURPOSES.
  10. THE DATA SET THAT THIS INFORMATION REPRESENTS HAS BEEN PROVIDED TO YOST DESIGN, LLC FOR THE PROJECT PURPOSE OF DEVELOPING THESE PLANS AND PERFORMING THE LANDSCAPE DESIGN. YOST DESIGN, LLC HAS CONDUCTED VISUAL VERIFICATION OF THE DATA FOR GENERAL PURPOSES OF LANDSCAPE FEATURES ONLY AND HAS NOT CONDUCTED A FIELD SURVEY TO VERIFY THE ACCURACY OF THE DATA WHICH HAS BEEN PROVIDED.
  11. PLEASE REFER TO THE APPROPRIATE DRAWINGS CONTAINED IN THE CONSTRUCTION DOCUMENT SET FOR SPECIFIC INFORMATION NEEDED TO EXECUTE THIS DESIGN.
  12. IN ADDITION TO INFORMATION ON THIS SHEET, CONSULT DRAWINGS PREPARED BY THE SITE ENGINEER FOR ADDITIONAL INFORMATION RELATED TO SITE PREPARATION, DRAINAGE, UNDERGROUND UTILITIES AND OTHER SITE SPECIFIC INFORMATION. THIS PROJECT MAY INCLUDE SURFACE AND SUB-SURFACE STRUCTURES RELATING TO DRAINAGE, AND/OR SITE UTILITIES. IT WILL BE NECESSARY TO COORDINATE WITH PLANS PREPARED BY THE SITE ENGINEER FOR INFORMATION REQUIRED TO PROTECT, INSTALL, AND/OR MAINTAIN THESE SYSTEMS.
  13. ANY STRUCTURAL WORK, UTILITY WORK, ARCHITECTURAL WORK OR DRAINAGE WORK SHALL BE UNDER THE DIRECTION AND AUTHORITY OF THE RESPECTIVE PROFESSIONALS DESIGNING AND COORDINATING THESE ASPECTS OF THE PROJECT. ANY MASONRY, DRAWINGS OR REPRESENTATIONS OF THESE ELEMENTS ON THE LANDSCAPE PLANS ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION.

### PLANT IMAGES



- ### GENERAL LANDSCAPE NOTES
1. AVOID DISRUPTION TO ROOT AREAS OF EXISTING TREES TO REMAIN. FOLLOW GUIDELINES ON DETAIL PAGE FOR SPECIFIC TREE PROTECTION INSTRUCTIONS.
  2. WHERE EXISTING TOPSOIL IS INSUFFICIENT, PROVIDE CLEAN TOPSOIL FREE OF SOIL, ROCKS OR OTHER FOREIGN MATERIAL TO DEPTHS AS STATED ABOVE.
  3. ALL AREAS NOT REQUIRING GRADING AND/OR OTHER SITE WORK SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL STAY OUT OF THESE AREAS AND PRESERVE THE EXISTING PLANTINGS.
  4. CONTRACTOR SHALL PROTECT EXISTING TREES DURING CONSTRUCTION. UNDER NO CIRCUMSTANCES SHALL SUPPLIES OR MATERIALS BE STORED OR STOCKPILED AGAINST THE TRUNK OR EXISTING TREES OR AGAINST SHRUBS OR HERBES.
  5. BLEND SMOOTHLY ALL TRANSITIONS FROM EXISTING TO PROPOSED CONTOURS.
  6. ALL PLANTING BEDS SHALL BE MULCHED TO A 4" DEPTH, OR AS OTHERWISE NOTED ON PLAN.
  7. CONTRACTOR IS RESPONSIBLE TO CARRY OUT WORK IN AN EFFICIENT AND WORKMANLIKE MANNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.



## LOT 7 | VIRGINIA HOMES

### GOSWICK COURT, TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK

## YOST DESIGN LANDSCAPE ARCHITECTURE

178 Elizabeth St  
Pearl River, NY 10965  
p 845.345.4951 | f 914.361.4473  
yostdesign.com

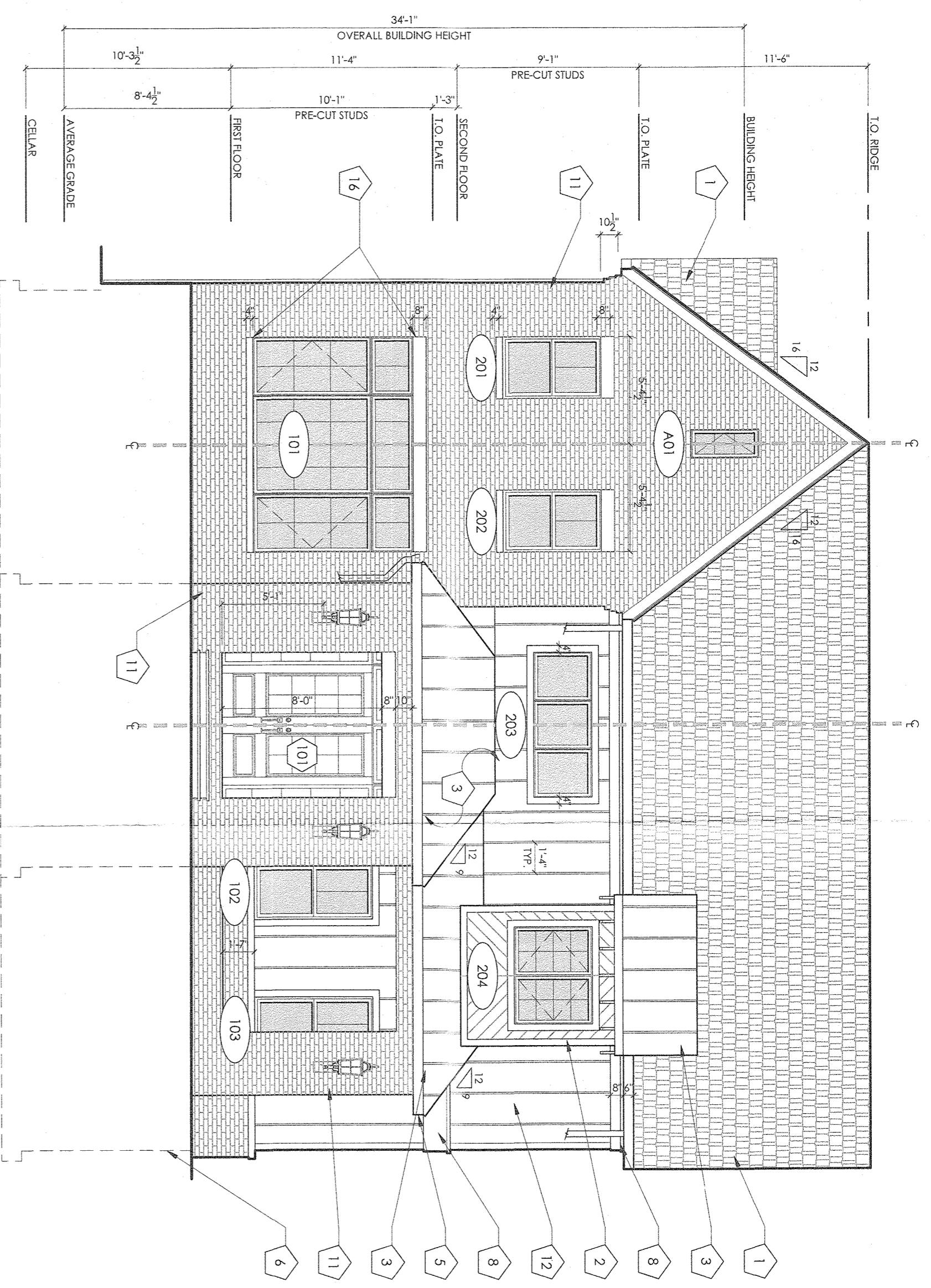
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FILENAME: 2019-05-13\_1077

REVISIONS:

## CONCEPTUAL PLAN

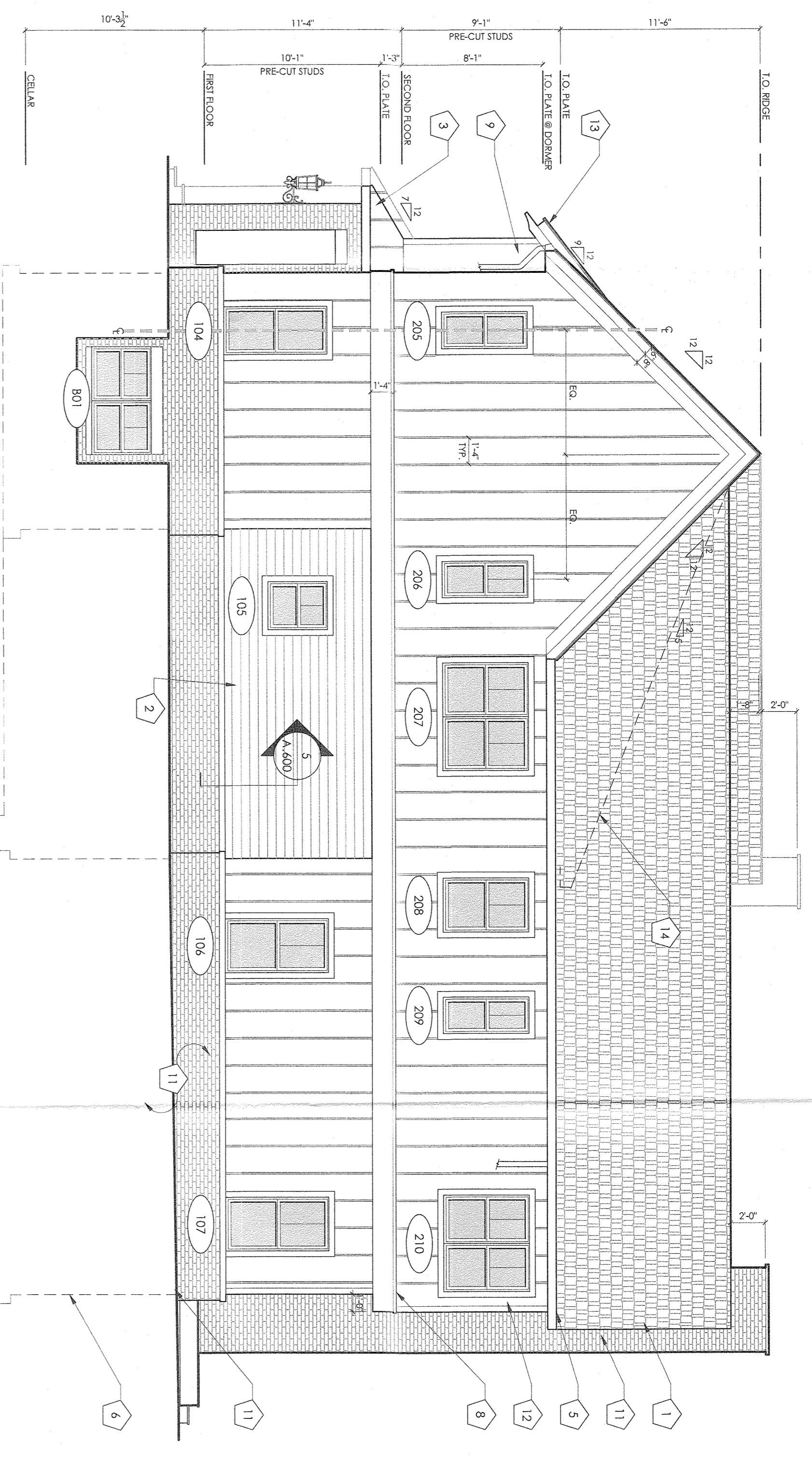
SHEET NO. CP-101

Blaine M. Yost, AIA, Registered Landscape Architect



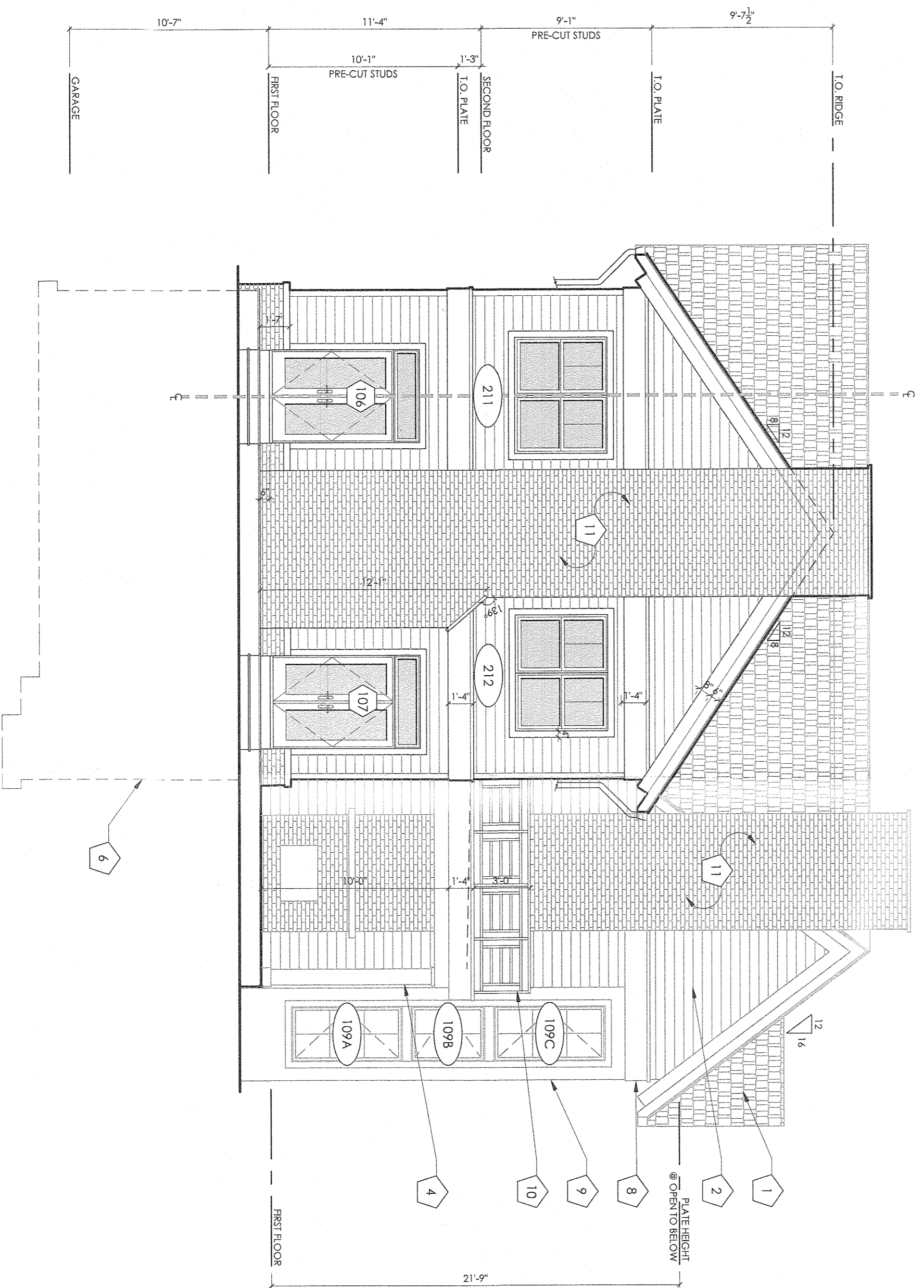
1 FRONT ELEVATION

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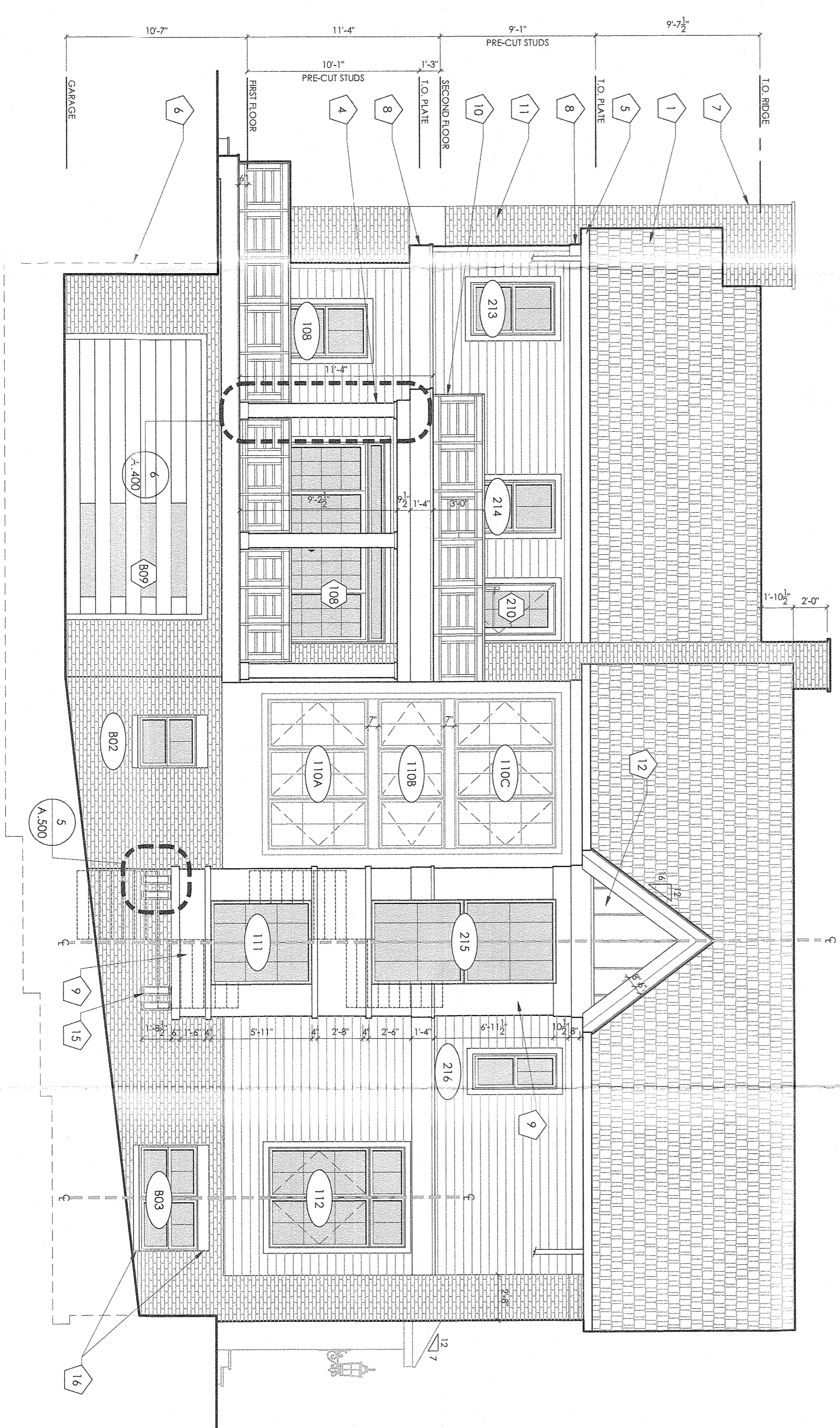
2 RIGHT ELEVATION

SCALE: 3/16"=1'-0"



3 REAR ELEVATION

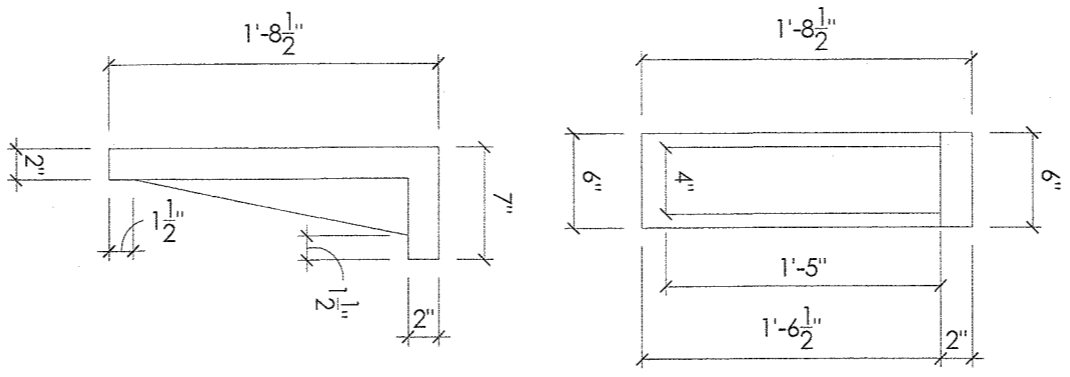
SCALE: 3/16"=1'-0"



4 LEFT ELEVATION

SCALE: 3/16"=1'-0"

- ELEVATION LEGEND**
- 1 SINGLES TO BE SELECTED BY OWNER.
  - 2 SIDING TO BE SELECTED BY OWNER.
  - 3 STANDING SEAM METAL ROOFING OVER 30# FELT @ 12" O.C., COLOR TO BE SELECTED BY OWNER.
  - 4 STRUCTURAL COLUMN AS SELECTED. SEE DETAIL ON A.400.
  - 5 5" CONT. ALUM. GUTTER WITH #4 ALUMINUM DOWNSPOUTS. OWNER TO SELECT FINISH. LINE OF FOOTING.
  - 6 EXTEND EXISTING CHIMNEY 2'-2" ABOVE PROPOSED RIDGE.
  - 7 AZEK TRIM.
  - 8 AZEK PANEL.
  - 9 HANDRAIL AS SELECTED BY OWNER. SET MIN. 36" ABOVE FINISH SURFACE.
  - 10 BRICK TO BE SELECTED BY OWNER.
  - 11 BOARD & BATTEN.
  - 12 RAFTER TAIL.
  - 13 KOOP BEYOND.
  - 14 DECORATIVE BRACKET, AS SELECTED.
  - 15 PRECAST Limestone HEADR & SILL.
  - 16



5 BRACKET DETAIL

SCALE: 1"=1'-0"



**PECORA ARCHITECTURE**  
418 THORNHURST AVE  
STATEN ISLAND, NY 10312  
Mailing: Pecoraarch.com 718-490-7410

MEMBER CENTRY THAT THIS SEAL AND SPECIFICATION WAS PREPARED BY HER ARCHITECTS IN DIRECT SUPERVISION AND THE WORKS OF THE STATE OF NEW YORK AS SUPERSEDED BY ANY HAND MADE SEAL.

**REVISIONS:**

NO.	DESCRIPTION	YEAR/NO. DA

PROJECT: **THE RUGGIERO FAMILY**  
PREPARED NEW HOUSE FOR  
14 GOSWICK COURT  
SPARKILL, NY 10978

FLOOR OR FLOORS (IF APPLICABLE):

EXTERIOR ELEVATIONS

REGISTERED ARCHITECT  
MATTHEW BERENSON  
STATE OF NEW YORK  
MATHIEW BERENSON AIA

DATE: JUNE 17, 2019  
PROJECT NO.: 18-1004  
SCALE: AS NOTED  
DRAWN BY: JLD/AF  
DWG. NO.: A.500