

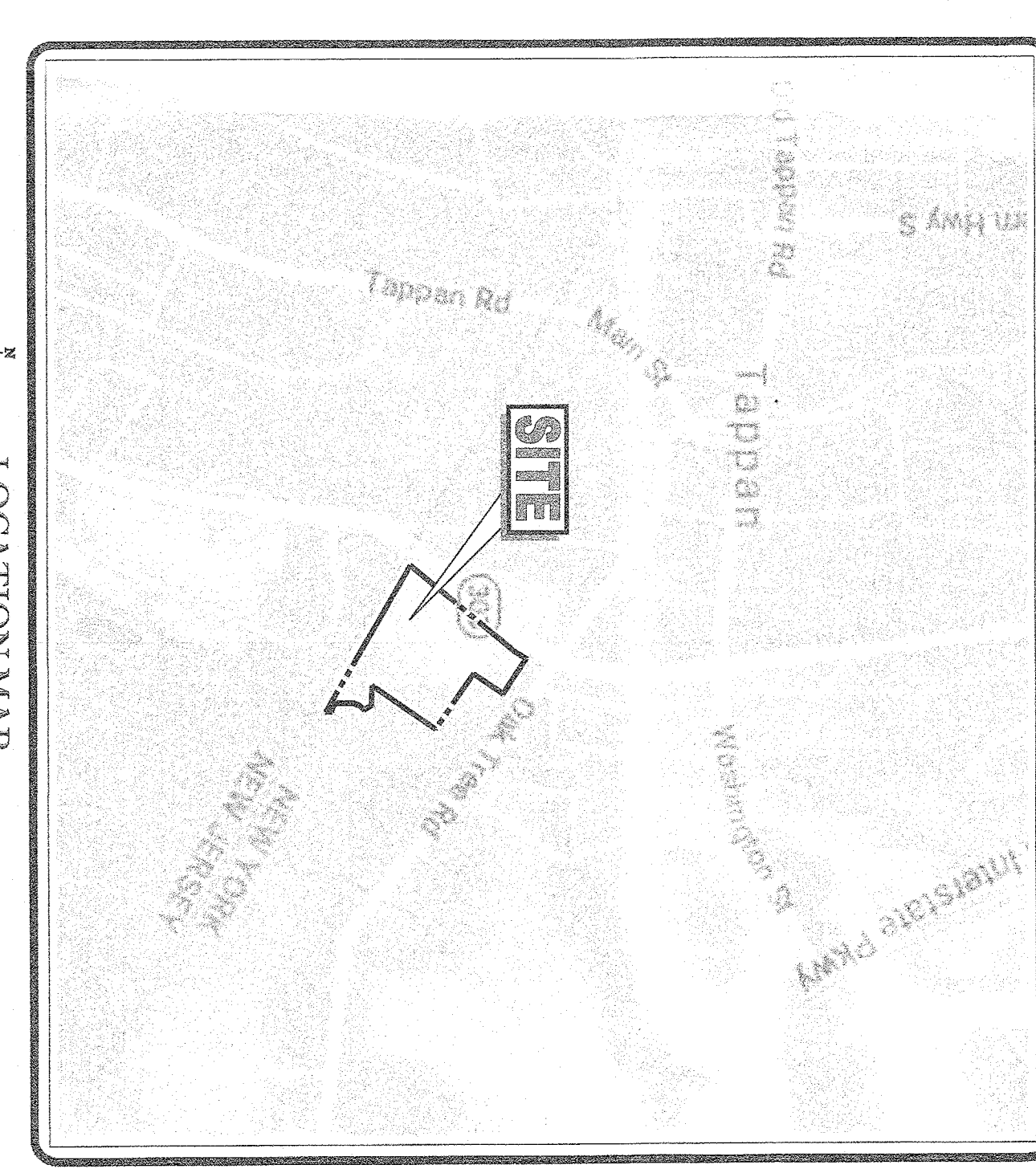
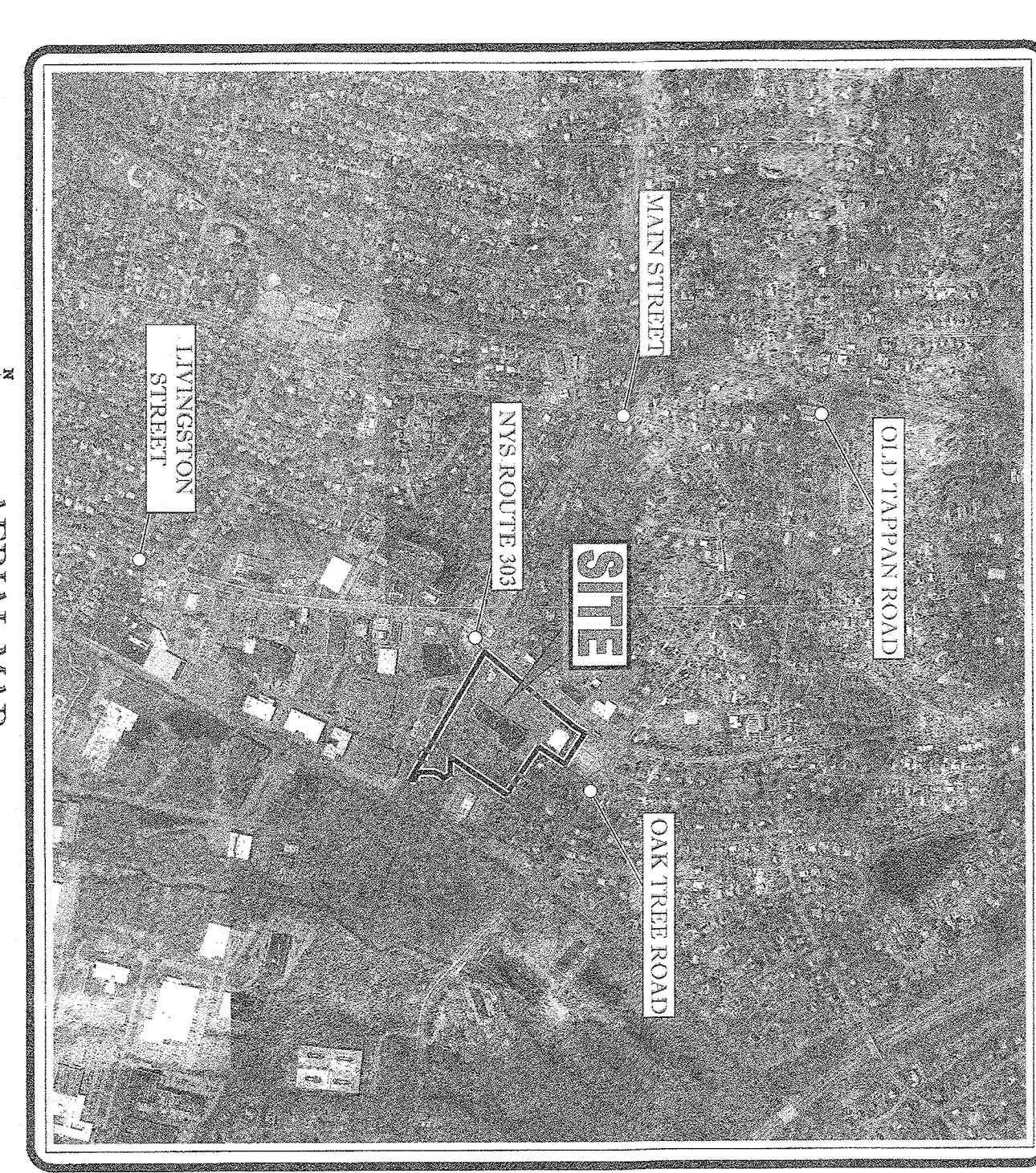
1. THESE PLANS ARE SOLELY BASED ON INFORMATION PROVIDED BY THE OWNER AND OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ENGINEER.
2. THESE PLANS OF THE PROPOSED WORK SHALL BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ENGINEER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
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SITE DEVELOPMENT PLANS

FOR:
LIDL U.S. OPERATIONS, LLC

PROPOSED
GROCERY STORE #1456

LOCATION OF SITE:
**3-58 NYS ROUTE 303, TAPPAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NY 10983
SECTION 77.15, BLOCK 1, LOTS 33-37 & 41**



REFERENCES AND CONTACTS

REFERENCES	UTILITIES
<ul style="list-style-type: none"> BOUNDARY & TOPOGRAPHIC SURVEY ENGINEERING LANDSCAPE ARCHITECTURE (Landscape Architecture, P.L.C.) 150 BEDFORD ROAD SPRING VALLEY, NY 10977 DATE: 11/20/19 ELEVATIONS: NAVD 83 	<ul style="list-style-type: none"> CONY ELECTRIC & GAS 108 MARKET STREET SPRING VALLEY, NY 10977 PHONE: (845) 252-9230
<ul style="list-style-type: none"> REPORT ASSOCIATES, INC. 35 TECHNOLOGY DRIVE WARREN, NJ 07079 DATE: 08/20/19 	<ul style="list-style-type: none"> WALTER STATE OF NEW YORK WEST TAPPAZ, NY 10984 PHONE: (845) 252-9230
<ul style="list-style-type: none"> GOVERNING AGENCIES BUILDINGS DEPARTMENT 150 BEDFORD ROAD SPRING VALLEY, NY 10977 DATE: 11/20/19 ELEVATIONS: NAVD 83 	<ul style="list-style-type: none"> NYS DEPARTMENT OF LANDS 148 N. STATE STREET ALBANY, NY 12242 PHONE: (518) 474-2820
<ul style="list-style-type: none"> REPORT ASSOCIATES, INC. 35 TECHNOLOGY DRIVE WARREN, NJ 07079 DATE: 08/20/19 	<ul style="list-style-type: none"> REPORT ASSOCIATES, INC. 35 TECHNOLOGY DRIVE WARREN, NJ 07079 DATE: 08/20/19

DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
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PARTIAL SITE PLAN	C-04 OF 24
SITE PLAN ZONING	C-05 OF 24
GRADING & DRAINAGE PLAN	C-06 OF 24
DRAINAGE PROFILE I	C-07 OF 24
DRAINAGE PROFILE II	C-08 OF 24
DRAINAGE PROFILE III	C-09 OF 24
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UTILITY PLAN	C-12 OF 24
SANITARY PROFILE I	C-13 OF 24
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DETAIL SHEET I	C-22 OF 24
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DETAIL SHEET III	C-24 OF 24
ALTA SURVEY (BY OTHERS)	1 OF 1
EMASMENT PLAN	1 OF 1

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT
1	12/04/2019	INITIAL TOWN SUBMISSION
2	12/10/2019	CLIENT COMMENTS
3	2/17/2020	TOWN SITE PLAN APPLICATION

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

Dig Safely.
New York
800-962-7962
www.digsafely.com

PROJECT: **SITE DEVELOPMENT PLANS**

FOR: **LIDL U.S. OPERATIONS, LLC**

PROPOSED **GROCERY STORE #1456**

3-58 NYS ROUTE 303
TAPPAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NY 10983
SECTION 77.15, BLOCK 1
LOTS 33-37 & 41

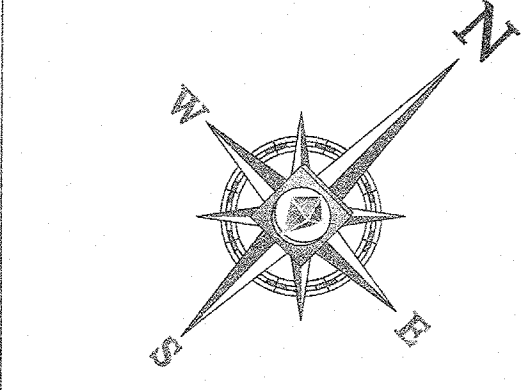
BOHLER ENGINEERING
2329 EXPRESSWAY DRIVE NORTH
HAUPPAUGE, NY 11748
Phone: (631) 285-6664
www.BohlerEngineering.com

BOHLER ENGINEERING

SHEET NUMBER: **C-01**
OF 24

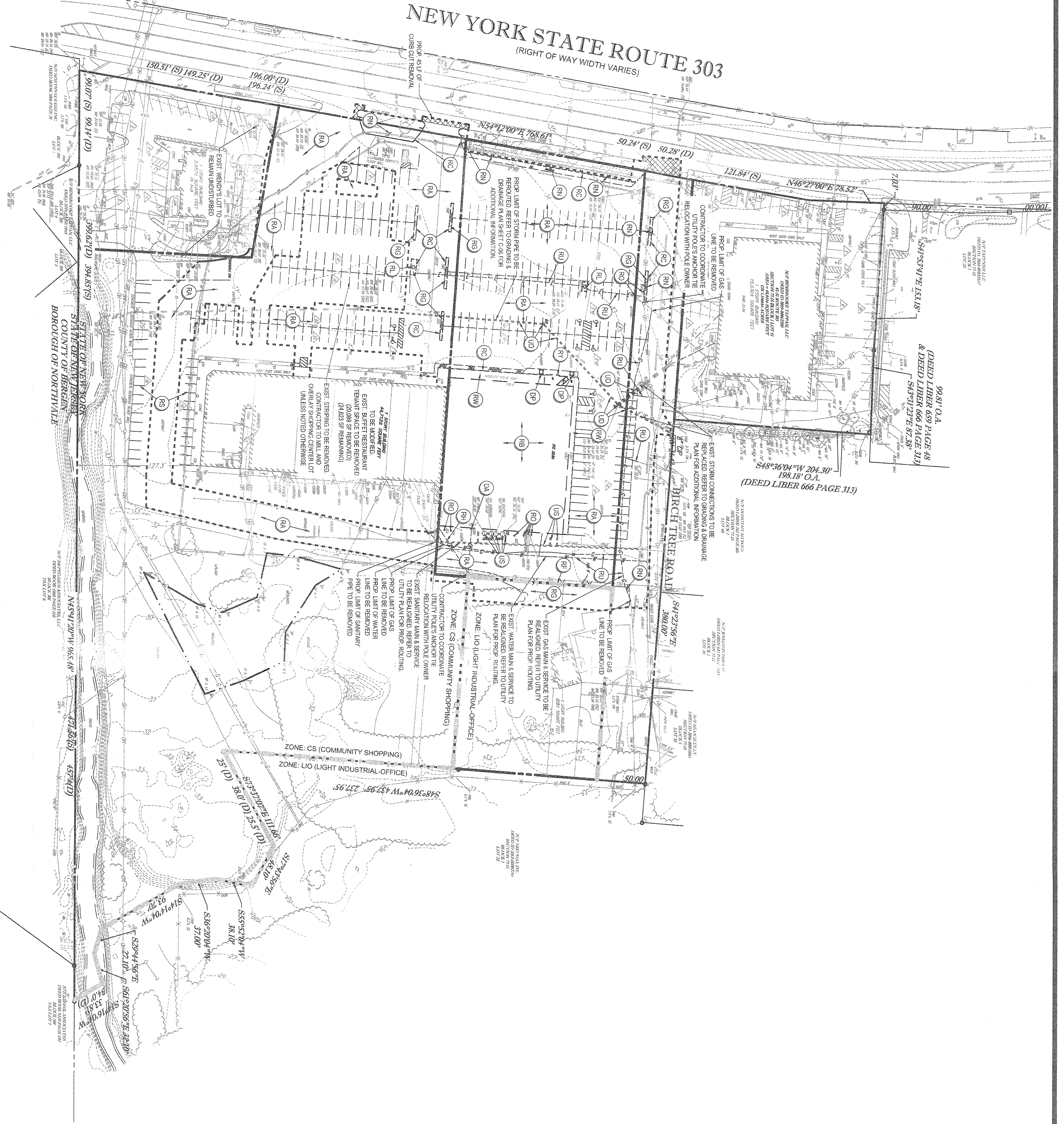
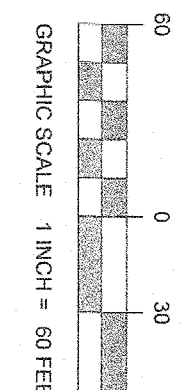
REVISION: 3-21/2020

PREPARED BY
BOHLER ENGINEERING



LEGEND	
(Symbol)	EXISTING DEMO
(Symbol)	PROPERTY LINE
(Symbol)	ADJACENT PROPERTY LINE
(Symbol)	ZONE LINE
(Symbol)	SHOW LINE
(Symbol)	CHUB
(Symbol)	DEPRESSED CURB
(Symbol)	SIGN
(Symbol)	ROLLBACK
(Symbol)	LIGHT POLE
(Symbol)	ACCESSIBLE PARAPET WALL
(Symbol)	PARKING LABEL
(Symbol)	SANITARY MANHOLE
(Symbol)	SANITARY CLEANOUT
(Symbol)	GRABBER TRAP
(Symbol)	SANITARY PIPE
(Symbol)	DRAINAGE MANHOLE
(Symbol)	UTILITY POLE
(Symbol)	EDGE
(Symbol)	OVERRIDE LINE
(Symbol)	ELECTRIC LINE
(Symbol)	GAS LINE
(Symbol)	WATER LINE
(Symbol)	PIPE FRONT
(Symbol)	WATER VALVE
(Symbol)	WETLAND
(Symbol)	ASPHALT PAVEMENT IN ROW TO BE REMOVED
(Symbol)	REMOVE EXIST FENCED GUARD RAIL
(Symbol)	REMOVE EXIST GROUND COVER GRASS
(Symbol)	REMOVE EXIST OVERHEAD WIRES IN ACCORDANCE WITH FEDERAL, STATE COUNTY AND LOCAL REQUIREMENTS
(Symbol)	REMOVE EXIST PLANTER STRUCTURE
(Symbol)	REMOVE EXIST ASPHALT CONC. DRIVE/PAVED BRICK
(Symbol)	REMOVE EXIST BUILDING STRUCTURE
(Symbol)	REMOVE EXIST CURB
(Symbol)	REMOVE EXIST BOLLARD
(Symbol)	REMOVE EXIST SIGN
(Symbol)	REMOVE EXIST STRIPING
(Symbol)	REMOVE EXIST UTILITY IN ACCORDANCE WITH LOCAL UTILITY REQUIREMENTS
(Symbol)	REMOVE EXIST CONC. SIDEWALK STRIPS AND PAVING
(Symbol)	REMOVE EXIST CANOPY/COLUMNS AND FOUNDATION
(Symbol)	REMOVE EXIST CONCRETE FOUNDATIONS
(Symbol)	REMOVE EXIST DRAINAGE STRUCTURES
(Symbol)	REMOVE EXIST SANITARY STRUCTURE

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS UNLESS THE ACCOMPANYING PROFESSIONAL ENGINEER'S SIGNATURE AND SEAL ARE FIRST OBTAINED. A PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF ANY ALTERATION ON THESE DRAWINGS UNDER THE FULL EXTENSION OF THE EDUCATION LAW (SECS. 203.5).

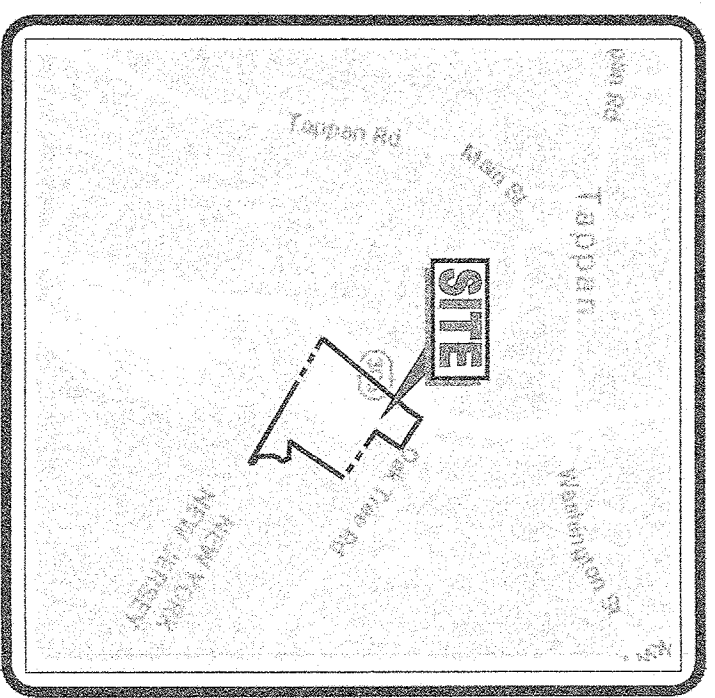


THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY.

DEMOLITION NOTES

1. THE GENERAL NOTES MUST BE READ AND PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT. THESE NOTES, TOGETHER WITH THE GENERAL NOTES AND ALL OF THE PLANS SPECIFIC TO THIS PROJECT, SHALL BE READ AND UNDERSTOOD BY ALL CONTRACTORS AND SUBCONTRACTORS.
2. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVAL ACTIVITIES IN SUCH A MANNER AS TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTY, AND TO MAINTAIN ACCESS TO ALL ADJACENT AREAS AND UTILITIES.
3. THE CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES.
4. THE CONTRACTOR MUST MAINTAIN ALL PROPERLY PLACED AND MARKED RIGHT-OF-WAY, THE CONTRACTOR MUST MAINTAIN ALL NECESSARY SAFETY AND CONTROL MEASURES THROUGHOUT THE DEMOLITION PROCESS.
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SITE LOCATION MAP



REVISIONS

REV.	DATE	COMMENT
1	12/4/2019	INITIAL TOWN SUBMISSION
2	12/10/2019	CLIENT COMMENTS
3	2/17/2020	TOWN SITE PLAN APPLICATION

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

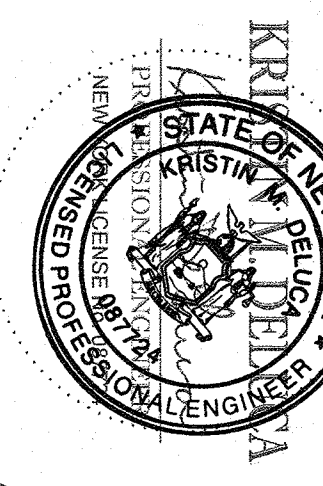
ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

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New York
800-962-7962

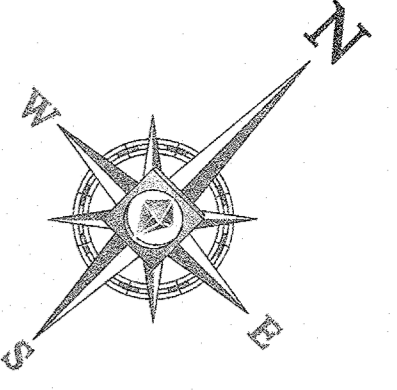
PROJECT NO: N19156-SP-3B
DRAWN BY: AS SCHOEN
DATE: 12/4/19
SCALE: AS SHOWN

PROJECT: SITE DEVELOPMENT PLANS
CLIENT: LIDL U.S. OPERATIONS, LLC
PROPOSED GROCERY STORE #1456
358 NYS ROUTE 303
TOWN OF ORANGETOWN
SECTION 27.15 BLOCK 1
LOTS 33-37 & 41

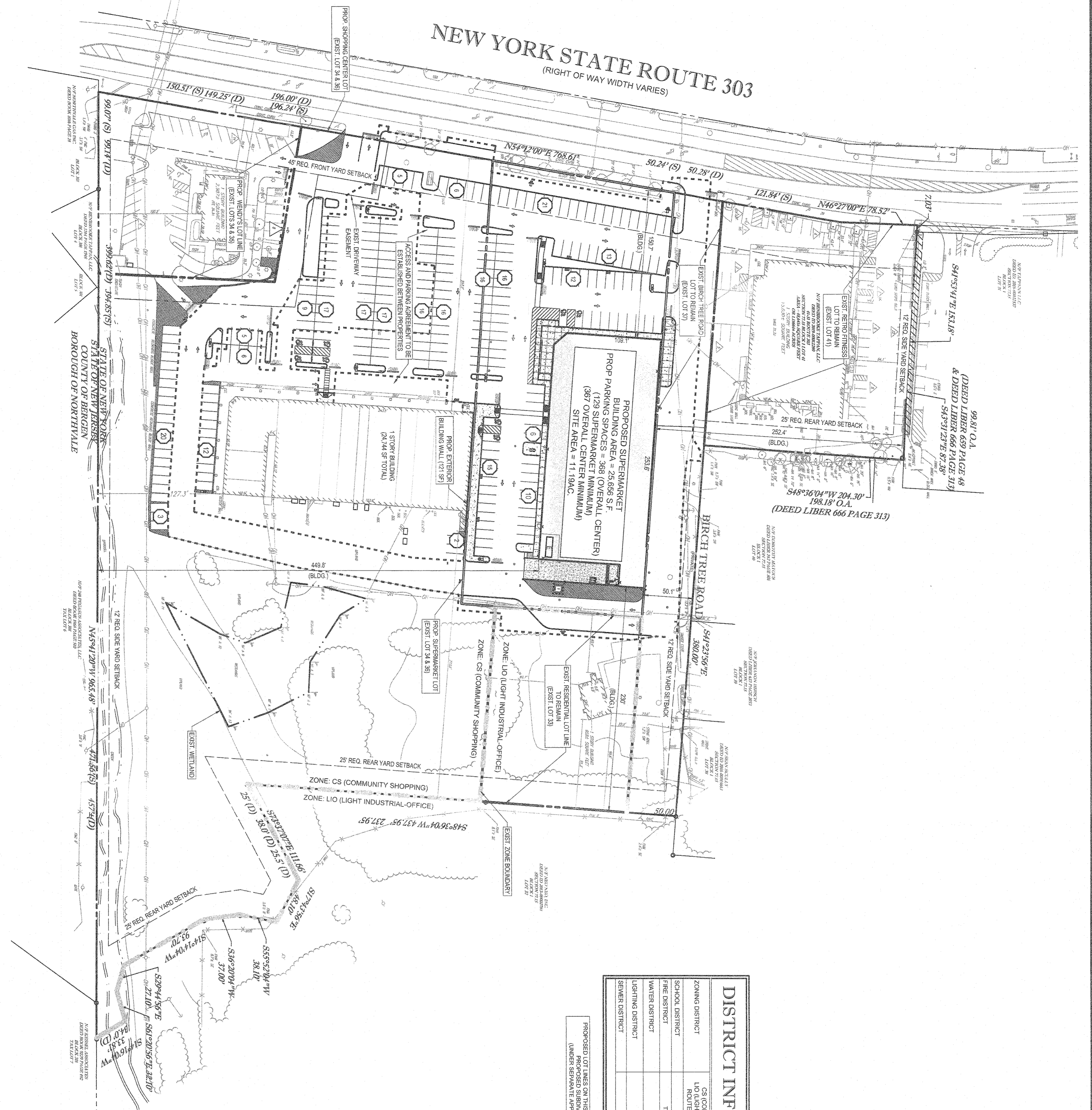
BOHLER ENGINEERING
2829 EXPRESSWAY DRIVE NORTH
HAUPPAUGE NY 11749
Phone: (631) 788-1200
www.BohlerEngineering.com



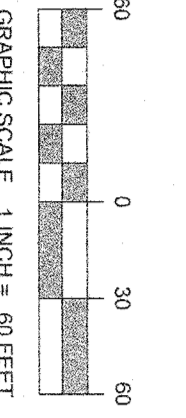
SHEET NUMBER: C-02
OF 24
REVISION 3 - 2/17/2020



NEW YORK STATE ROUTE 303 (RIGHT OF WAY WIDTH VARIES)



THE EDUCATIONAL LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. THE DRAWINGS AND/OR THE EXTENT OF THE ALTERATION, THE DRAWINGS AND/OR THE FULL SPECIFICATIONS MUST BE SIGNATURED, SEALED, DATED AND DESCRIBE THE FULL EXTENT OF THE ALTERATION. THE DRAWINGS AND/OR THE FULL SPECIFICATIONS MUST BE SIGNATURED, SEALED, DATED AND DESCRIBE THE FULL EXTENT OF THE ALTERATION.



DISTRICT INFORMATION

ZONING DISTRICT	CS (COMMUNITY SHOPPING DISTRICT)
LOT LIGHT INDUSTRIAL ZONING DISTRICT	LOT LIGHT INDUSTRIAL ZONING DISTRICT
SCHOOL DISTRICT	SCHOOL DISTRICT
WATER DISTRICT	WATER DISTRICT
SEWER DISTRICT	SEWER DISTRICT
UNIFORM DISTRICT	UNIFORM DISTRICT
DEED DISTRICT	DEED DISTRICT
LOCAL DISTRICT	LOCAL DISTRICT
STATE DISTRICT	STATE DISTRICT
FEDERAL DISTRICT	FEDERAL DISTRICT
OTHER DISTRICT	OTHER DISTRICT

OVERALL ZONING INFORMATION

NOTE: SEE THE SITE PLAN ZONING SHEET C-4 FOR ZONING REQUIREMENTS FOR EACH INDIVIDUAL LOT.

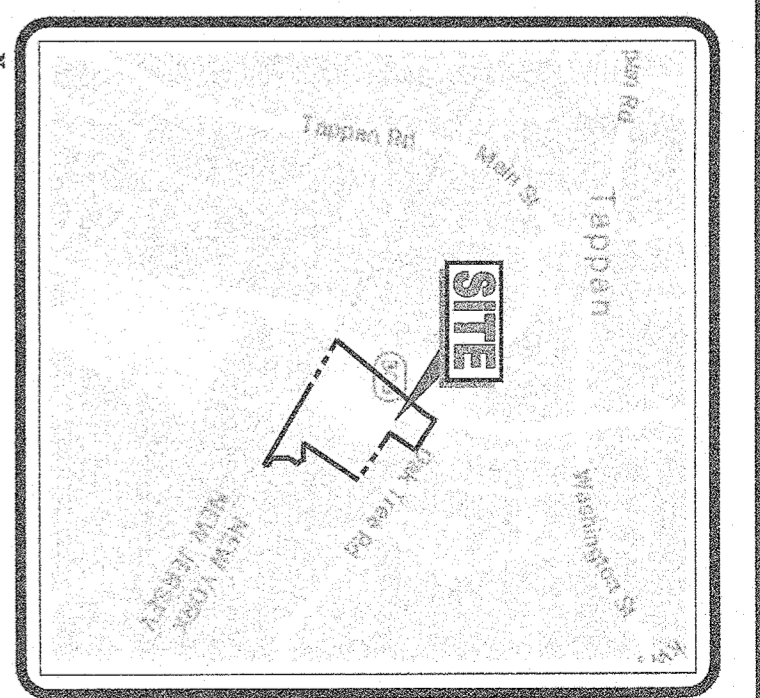
REQUIREMENTS	CODE	STANDARD	PROPOSED	MEETS REQ. (Y/N)
MIN. LOT AREA	\$312	2,500 SF	48,235 SF	Y
MIN. LOT FRONTAGE	\$312	25 FT	125 FT	Y
MIN. LOT WIDTH	\$312	25 FT	42.4 FT	Y
MIN. FRONT YARD SETBACK	\$312	NONE	45 FT (PROVIDED)	Y
MIN. SIDE YARD SETBACK	\$312	NONE	12 FT (REQUIRED) (SINGLE)	Y
MIN. REAR YARD SETBACK	\$312	NONE	25 FT (REQUIRED) (TOTAL)	Y
MIN. LANDSCAPE BUFFER TO RESIDENTIAL ZONE OR USE	\$312	25 FT	30 FT	Y
MIN. FLOOR AREA RATIO	\$312	1.00	0.14*	Y
MAX. BUILDING HEIGHT	\$312	22 FT	25.58 FT	Y
NO OUTDOOR LOADING BERTHS	\$311	NO OUTDOOR LOADING BERTHS PERMITTED EXCEPT BY BOARD OF APPEALS OR PLANNING BOARD	1	Y
ON-SITE LOADING	\$342	12' W/4' L X 15' H	12' W/4' L X 15' H	Y
LOADING BERTHS LOCATION	\$312	REQUIRED WITHIN 100' OF FRONT YARD	COMPLIES	Y
ADJ. STALL QUANTITY	2010 ADA STANDARDS	8/2010 ADA STANDARDS	14 SPACES	Y

ROUTE 303 OVERLAY DISTRICT

REQUIREMENTS	CODE	STANDARD	PROPOSED	MEETS REQ. (Y/N)
MAX. FRONT YARD PARKING	\$13.10.8.10	33%	242 (86%) STALLS LOCATED WITHIN REAR YARD	Y
LOADING BERTHS	\$13.10.8.11	18' ON ANY SINGLE PARCEL OR 18' ON ANY ADJACENT PARCELS	186#	Y
MAX. DRIVE CURB CUTS PER LOT	\$13.10.8.11	1	3	Y
LANDSCAPE BUFFER TO RESIDENTIAL ZONE OR USE	\$13.10.8.3	25' LANDSCAPE BUFFER CONTAINING EITHER NATURAL VEGETATION OR ARTIFICIAL VEGETATION	125'	Y

PARKING REQUIREMENTS

MIN. ON-SITE PARKING	MIN. ON-SITE PARKING STALL	MIN. ON-SITE PARKING STALL	MIN. ON-SITE PARKING STALL	MIN. ON-SITE PARKING STALL	MIN. ON-SITE PARKING STALL
\$311	367	367	367	367	367
\$312	2010 ADA STANDARDS	2010 ADA STANDARDS	2010 ADA STANDARDS	2010 ADA STANDARDS	2010 ADA STANDARDS
ADA STALL QUANTITY	8/2010 ADA STANDARDS	8/2010 ADA STANDARDS	8/2010 ADA STANDARDS	8/2010 ADA STANDARDS	8/2010 ADA STANDARDS
RETAIL SALES & SERVICE	1 STALL / 250 SF OF GFA	1 STALL / 250 SF OF GFA	1 STALL / 250 SF OF GFA	1 STALL / 250 SF OF GFA	1 STALL / 250 SF OF GFA
RESTAURANT	1 STALL / 75 SF OF GFA	1 STALL / 75 SF OF GFA	1 STALL / 75 SF OF GFA	1 STALL / 75 SF OF GFA	1 STALL / 75 SF OF GFA
PROPOSED RESTAURANT	1 STALL / 75 SF OF GFA	1 STALL / 75 SF OF GFA	1 STALL / 75 SF OF GFA	1 STALL / 75 SF OF GFA	1 STALL / 75 SF OF GFA
PROPOSED RESTAURANT	1 STALL / 75 SF OF GFA	1 STALL / 75 SF OF GFA	1 STALL / 75 SF OF GFA	1 STALL / 75 SF OF GFA	1 STALL / 75 SF OF GFA
TOTAL PROPOSED PARKING	367	367	367	367	367



SITE LOCATION MAP
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BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REV.	DATE	COMMENT	BY	CHKD.
1	1/24/2019	INITIAL SUBMISSION	RP	RP
2	1/27/2020	TOWN SITE PLAN APPLICATION	RP	RP
3	2/17/2020	APPLICATION	RP	RP

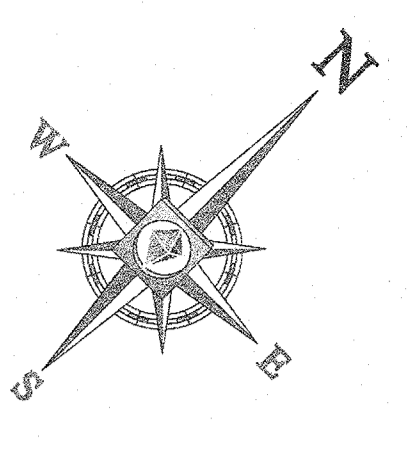
Dig Safely - New York
800-962-7962
www.digsafely.com
NOTIFICATION BY EXCAVATORS, DESIGNERS OR CONTRACTORS IS REQUIRED PRIOR TO ANY EXCAVATION OR PILING IN THE REGION (NYS 1800-280-260)

PROJECT: SITE DEVELOPMENT PLANS FOR LIDL U.S. OPERATIONS, LLC
PROPOSED GROCERY STORE #1456
3-58 NYS ROUTE 303
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NY 10883
LOTS 33-37 & 41

BOHLER ENGINEERING
2820 EXPRESSWAY DRIVE NORTH
HAUPPAUGE, NY 11749
Phone: (631) 728-1200
Fax: (631) 728-6464
www.BohlerEngineering.com

REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW YORK
L. MICHAEL BOHLER
No. 21051

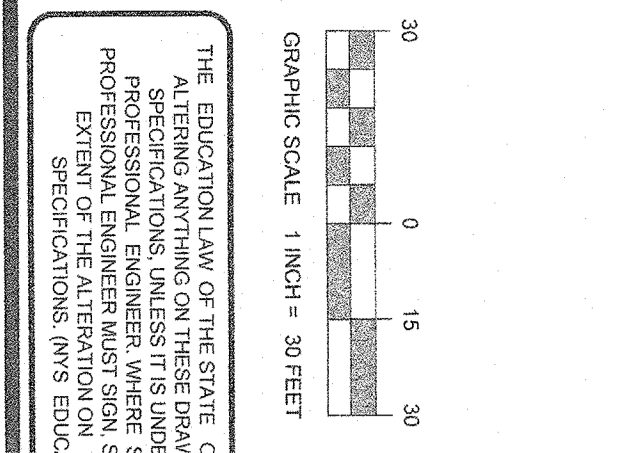
OVERALL SITE PLAN
SHEET NUMBER: C-03 OF 24
REVISION 3 - 2/17/2020



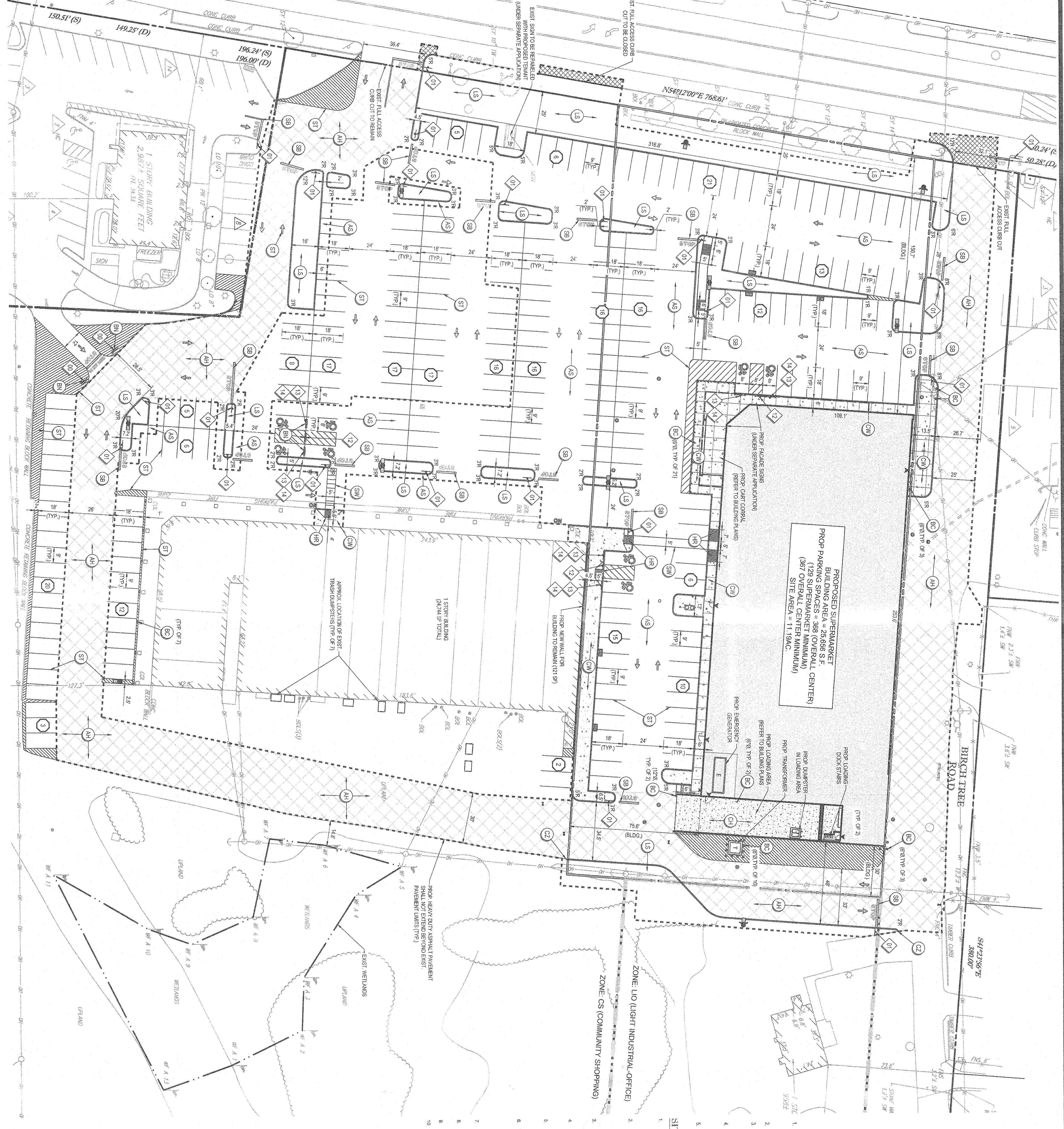
LEGEND	
	EXISTING BUILDING
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	PROPERTY LINE
	ADJACENT PROPERTY LINE
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	PAVEMENT MARKING
	CURB
	BOLARD
	LIGHT POLE
	ACCESSIBLE PATHWAY SIGN
	DRAINAGE INLET
	DRAINAGE MANHOLE
	SANITARY MANHOLE
	SANITARY CLEANOUT
	GAS TAP
	UTILITY POLE
	FENCE
	EASEMENT LINE
	FIRE HYDRANT
	WATER VALVE
	PROPOSED ON-SITE HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED ON-SITE CONCRETE PAVEMENT

PROPOSED KEY DESCRIPTION	
4A	HEAVY DUTY ASPHALT PAVEMENT
4B	ON-SITE ASPHALT PAVEMENT
8A	CONCRETE FLEED BOLARD
8B	BOLARD SIGN POST
20	HEAVY DUTY CONCRETE PAVEMENT
22	CONCRETE SIDEWALK
24	CURB NOSE / FLEED CURB
HR	ACCESSIBLE RAUP
15	LANDSCAPE AREA
38	PAINTED STOP BAR
39	PAINTED STRIPING
50	PAINTED PEDESTRIAN CROSSWALK
TE	TRASH ENCLOSURE

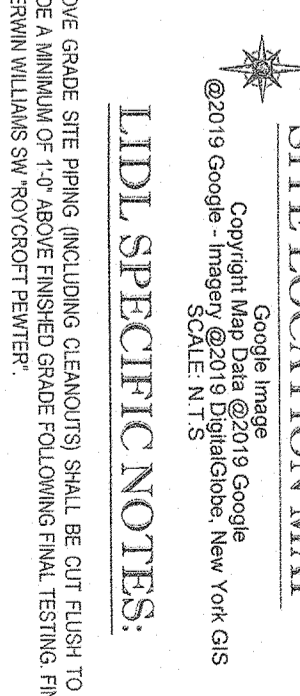
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THE EDUCATION LAW OF THE STATE OF NEW YORK REQUIRES ANY PERSON PREPARING ANY DRAWING OR SPECIFICATION FOR THE CONSTRUCTION OF ANY BUILDING OR STRUCTURE TO BE A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. THE SIGNATURE AND SEAL OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT ARE REQUIRED ON ALL DRAWINGS AND SPECIFICATIONS. (NYS EDUCATION LAW SECTION 2209-2)



PROPOSED SUPERMARKET
BUILDING AREA = 4,028 S.F.
(729 SUPERMARKET MINIMUM)
SITE AREA = 11,184 S.F.



SITE LOCATION MAP
SCALE: N.T.S.
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LIDL SPECIFIC NOTES:

1. ABOVE GRADE SITE SPRING INCLUDING CELESTIONS SHALL BE CUT FLUSH TO GRADE OR TO CODE A MINIMUM OF 1'-0" ABOVE FINISHED GRADE FOLLOWING FINAL TENDING FINISH TO MATCH SEWERN WILLIAMS SW W/ROOFLET REVERTER.
2. BOLARDS SHALL BE FLUSH WITH CONCRETE SLAB.
3. ENTRANCE SLAB CONCRETE JASON SHALL BE ONE CONCRETE WORKING POUR. CONCRETE SHALL BE PLACED IN PLACE. REINFORCEMENT SHALL BE PLACED TO MATCH EXISTING GATES, MANHOLES, AND CLEANOUT COVERS SHALL BE FLUSH WITH TOP COAT OF ASPHALT AND EXPOSED CONCRETE FACTORY FINISH OR FIELD FINISH BLACK WITH BRONZIOUS ASPHALT COATING AT AN APPROXIMATE RATE OF 0.2 GAL/YD.
4. GROUND LIGHT POLE BASES FLAP DISC (NO GROOVES)

SITE LAYOUT NOTES (Rev. 10/2019)

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
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THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY.

PROJECT CASE # 19158-PPP-3B
HAZARDOUS WASTE
REVISION 3 - 2/17/2020

SHEET NUMBER
C-04
OF 24

SHEET TITLE
PARTIAL SITE PLAN

BOHLER ENGINEERING
2828 EXPRESSWAY DRIVE NORTH
HAUPPAUGE, NY 11788
Tel: (516) 285-6444
Fax: (516) 285-6449
www.BohlerEngineering.com

LIDL U.S. OPERATIONS, LLC
PROPOSED
GROCERY STORE #4456
358 W. ROUTE 903
TOWN OF FRANKENTOWN,
ROCKLAND COUNTY, NY 10953
SECTION 77.15 BLOCK 1
LOTS 33, 37 & 41

PROJECT: **SITE DEVELOPMENT PLANS**

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800-962-7962
www.digsafelyny.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

REV	DATE	COMMENT
1	12/4/2018	INITIAL TOWN SUBMISSION
2	12/10/2019	CLIENT COMMENTS
3	2/17/2020	TOWN SITE PLAN APPLICATION

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

SUPERMARKET LOT ZONING INFORMATION

USE RETAIL FROM PROPOSED SUPERMARKET SUBDIVISION LINE
 PRELIMINARY ZONING INFORMATION PREPARED FOR THE CS COMMUNITY SHOPPING DISTRICT

REQUIREMENTS	CODE	STANDARD	PROPOSED	MEETS REQ (Y/N)
MIN. LOT AREA	\$3.12	2,200 SF	82,461 SF	Y
MIN. LOT FRONTAGE	\$3.12	25 FT	168.9 FT	Y
MIN. LOT WIDTH	\$3.12	25 FT	482.7 FT	Y
MIN. FRONT YARD SETBACK	\$3.12	NONE 45 FT IF PROVIDED	160.7 FT	Y
MIN. SIDE YARD SETBACK	\$3.12	NONE 25 FT IF PROVIDED (SINGLE PARCEL)	75.6 FT (TOTAL)	Y
MIN. REAR YARD SETBACK	\$3.12	NONE 25 FT IF PROVIDED (TOTAL)	54.4 FT	Y
MIN. LANDSCAPE BUFFER TO ADJACENT PARCELS	\$13.10 B.3	25 FT	25 FT	Y
MIN. LANDSCAPE BUFFER TO ROUTE 303	\$13.10 B.3	25 FT	25 FT	Y
MIN. BUILDING HEIGHT	\$3.12	1.00	2.58 FT	Y
MAX. BUILDING HEIGHT	\$3.12	22 FT	22 FT	Y

PARKING REQUIREMENTS

MIN. ON-SITE PARKING	MIN. ON-SITE PARKING STALL	MIN. ON-SITE PARKING STALL SIZE	ON-SITE LOADING BERTHS	ON-SITE LOADING DIMENSIONS	LOADING BERTH LOCATION	RETAIL SALES & SERVICE
\$3.11	120	9' X 18'	NO OUTDOOR LOADING BERTHS ARE PERMITTED EXCEPT BY BOARD OF APPEALS OR PLANNING BOARD	12' X 4 1/2' X 18' X 1	8' X 2	1 STALL / 200 SF OF GFA
\$3.11	120	9' X 18'	NO OUTDOOR LOADING BERTHS ARE PERMITTED EXCEPT BY BOARD OF APPEALS OR PLANNING BOARD	12' X 4 1/2' X 18' X 1	8' X 2	1 STALL / 200 SF OF GFA

PROPOSED SUPERMARKET = 24,966 SF / 200' = 124.83 STALLS
 TOTAL PROPOSED PARKING = 120 STALLS INCL. 4 ACCESSIBLE STALLS
 TOTAL REQUIRED PARKING = 120 STALLS INCL. 4 ACCESSIBLE STALLS
 PROPOSED SUPERMARKET MEETS ALL OVERALL DEVELOPMENT, ACCESS AND PARKING AGREEMENT TO BE ESTABLISHED BETWEEN PROPERTIES

WENDY'S RESTAURANT ZONING INFORMATION

ZONE: CS COMMUNITY SHOPPING DISTRICT
 ROUTE 303 ZONE OVERLAY DISTRICT
 USE: RESTAURANT (NCS RESTAURANT)
 PRELIMINARY ZONING INFORMATION PREPARED FOR THE CS COMMUNITY SHOPPING DISTRICT

REQUIREMENTS	CODE	STANDARD	PROPOSED	MEETS REQ (Y/N)
MIN. LOT AREA	\$3.12	2,200 SF	+ 3,331 SF	Y
MIN. LOT FRONTAGE	\$3.12	25 FT	20 FT	Y
MIN. LOT WIDTH	\$3.12	25 FT	60 FT	Y
MIN. FRONT YARD SETBACK	\$3.12	NONE 45 FT IF PROVIDED	60.1 FT	Y
MIN. SIDE YARD SETBACK	\$3.12	NONE 25 FT IF PROVIDED (SINGLE PARCEL)	14.1 FT (TOTAL)	Y
MIN. REAR YARD SETBACK	\$3.12	25 FT	38.3 FT	Y
MIN. LANDSCAPE BUFFER TO ADJACENT PARCELS	\$13.10 B.3	25 FT	25 FT	Y
MIN. LANDSCAPE BUFFER TO ROUTE 303	\$13.10 B.3	25 FT	25 FT	Y
MIN. BUILDING HEIGHT	\$3.12	1.00	0.98'	Y
MAX. BUILDING HEIGHT	\$3.12	22 FT	1 STORY	Y

PARKING REQUIREMENTS

MIN. ON-SITE PARKING	MIN. ON-SITE PARKING STALL	MIN. ON-SITE PARKING STALL SIZE	ON-SITE LOADING BERTHS	ON-SITE LOADING DIMENSIONS	LOADING BERTH LOCATION	RETAIL SALES & SERVICE
\$3.11	40	9' X 18'	NO OUTDOOR LOADING BERTHS ARE PERMITTED EXCEPT BY BOARD OF APPEALS OR PLANNING BOARD	12' X 4 1/2' X 18' X 1	8' X 2	1 STALL / 75 SF OF GFA
\$3.11	40	9' X 18'	NO OUTDOOR LOADING BERTHS ARE PERMITTED EXCEPT BY BOARD OF APPEALS OR PLANNING BOARD	12' X 4 1/2' X 18' X 1	8' X 2	1 STALL / 75 SF OF GFA

PROPOSED WENDY'S FAST FOOD RESTAURANT = 2,897 SF / 75' = 38.63 STALLS
 TOTAL PROPOSED PARKING = 40 STALLS INCL. 4 ACCESSIBLE STALLS
 TOTAL REQUIRED PARKING = 40 STALLS INCL. 4 ACCESSIBLE STALLS
 PROPOSED WENDY'S FAST FOOD RESTAURANT MEETS ALL OVERALL DEVELOPMENT, ACCESS AND PARKING AGREEMENT TO BE ESTABLISHED BETWEEN PROPERTIES

RETRO FITNESS LOT ZONING INFORMATION

ZONE: CS COMMUNITY SHOPPING DISTRICT
 ROUTE 303 ZONE OVERLAY DISTRICT
 USE: FITNESS (NCS FITNESS)
 PRELIMINARY ZONING INFORMATION PREPARED FOR THE CS COMMUNITY SHOPPING DISTRICT

REQUIREMENTS	CODE	STANDARD	PROPOSED	MEETS REQ (Y/N)
MIN. LOT AREA	\$3.12	2,200 SF	4,841 SF	Y
MIN. LOT FRONTAGE	\$3.12	25 FT	200.6 FT	Y
MIN. LOT WIDTH	\$3.12	25 FT	216.1 FT	Y
MIN. FRONT YARD SETBACK	\$3.12	NONE 45 FT IF PROVIDED	44.4 FT	Y
MIN. SIDE YARD SETBACK	\$3.12	NONE 25 FT IF PROVIDED (SINGLE PARCEL)	37.7 FT (TOTAL)	Y
MIN. REAR YARD SETBACK	\$3.12	25 FT	30 FT	Y
MIN. LANDSCAPE BUFFER TO ADJACENT PARCELS	\$13.10 B.3	25 FT	25 FT	Y
MIN. LANDSCAPE BUFFER TO ROUTE 303	\$13.10 B.3	25 FT	25 FT	Y
MIN. BUILDING HEIGHT	\$3.12	1.00	0.31'	Y
MAX. BUILDING HEIGHT	\$3.12	22 FT	1 STORY	Y

PARKING REQUIREMENTS

MIN. ON-SITE PARKING	MIN. ON-SITE PARKING STALL	MIN. ON-SITE PARKING STALL SIZE	ON-SITE LOADING BERTHS	ON-SITE LOADING DIMENSIONS	LOADING BERTH LOCATION	RETAIL SALES & SERVICE
\$3.11	76	9' X 18'	NO OUTDOOR LOADING BERTHS ARE PERMITTED EXCEPT BY BOARD OF APPEALS OR PLANNING BOARD	12' X 4 1/2' X 18' X 1	8' X 2	1 STALL / 200 SF OF GFA
\$3.11	76	9' X 18'	NO OUTDOOR LOADING BERTHS ARE PERMITTED EXCEPT BY BOARD OF APPEALS OR PLANNING BOARD	12' X 4 1/2' X 18' X 1	8' X 2	1 STALL / 200 SF OF GFA

PROPOSED RETRO FITNESS = 15,000 SF / 200' = 75.00 STALLS
 TOTAL PROPOSED PARKING = 76 STALLS INCL. 4 ACCESSIBLE STALLS
 TOTAL REQUIRED PARKING = 76 STALLS INCL. 4 ACCESSIBLE STALLS
 PROPOSED RETRO FITNESS MEETS ALL OVERALL DEVELOPMENT, ACCESS AND PARKING AGREEMENT TO BE ESTABLISHED BETWEEN PROPERTIES

SHOPPING CENTER ZONING INFORMATION

ZONE: CS COMMUNITY SHOPPING DISTRICT
 ROUTE 303 ZONE OVERLAY DISTRICT
 USE: RETAIL (NCS RETAIL)
 PRELIMINARY ZONING INFORMATION PREPARED FOR THE CS COMMUNITY SHOPPING DISTRICT

REQUIREMENTS	CODE	STANDARD	PROPOSED	MEETS REQ (Y/N)
MIN. LOT AREA	\$3.12	2,200 SF	261,150 SF	Y
MIN. LOT FRONTAGE	\$3.12	25 FT	297.8 FT	Y
MIN. LOT WIDTH	\$3.12	25 FT	627.7 FT	Y
MIN. FRONT YARD SETBACK	\$3.12	NONE 45 FT IF PROVIDED	297.8 FT	Y
MIN. SIDE YARD SETBACK	\$3.12	NONE 25 FT IF PROVIDED (SINGLE PARCEL)	127.3 FT (TOTAL)	Y
MIN. REAR YARD SETBACK	\$3.12	25 FT	273.8 FT	Y
MIN. LANDSCAPE BUFFER TO ADJACENT PARCELS	\$13.10 B.3	25 FT	25 FT	Y
MIN. LANDSCAPE BUFFER TO ROUTE 303	\$13.10 B.3	25 FT	25 FT	Y
MIN. BUILDING HEIGHT	\$3.12	1.00	0.98'	Y
MAX. BUILDING HEIGHT	\$3.12	22 FT	1 STORY	Y

PARKING REQUIREMENTS

MIN. ON-SITE PARKING	MIN. ON-SITE PARKING STALL	MIN. ON-SITE PARKING STALL SIZE	ON-SITE LOADING BERTHS	ON-SITE LOADING DIMENSIONS	LOADING BERTH LOCATION	RETAIL SALES & SERVICE
\$3.11	124	9' X 18'	NO OUTDOOR LOADING BERTHS ARE PERMITTED EXCEPT BY BOARD OF APPEALS OR PLANNING BOARD	12' X 4 1/2' X 18' X 1	8' X 2	1 STALL / 200 SF OF GFA
\$3.11	124	9' X 18'	NO OUTDOOR LOADING BERTHS ARE PERMITTED EXCEPT BY BOARD OF APPEALS OR PLANNING BOARD	12' X 4 1/2' X 18' X 1	8' X 2	1 STALL / 200 SF OF GFA

PROPOSED MULTITRADE RETAIL = 16,444 SF / 200' = 82.22 STALLS
 PROPOSED RESTAURANT = 4,500 SF / 200' = 22.50 STALLS
 PROPOSED SUPERMARKET = 24,966 SF / 200' = 124.83 STALLS
 TOTAL PROPOSED PARKING = 131 STALLS INCL. 4 ACCESSIBLE STALLS
 TOTAL REQUIRED PARKING = 131 STALLS INCL. 4 ACCESSIBLE STALLS
 PROPOSED MULTITRADE RETAIL MEETS ALL OVERALL DEVELOPMENT, ACCESS AND PARKING AGREEMENT TO BE ESTABLISHED BETWEEN PROPERTIES

ROUTE 303 OVERLAY DISTRICT

REQUIREMENTS	CODE	STANDARD	PROPOSED	MEETS REQ (Y/N)
MAX. FRONT YARD PARKING	\$13.10 B.10	3%	121 STALLS (60%)	Y
MIN. DISTANCE BETWEEN CURB CUTS	\$13.10 B.11	150' (ON ANY SINGLE PARCEL OR CONTIGUOUS PARCELS)	NA	Y
MAX. CURB CUTS PER PARCEL	\$13.10 B.11	1	1	Y
LANDSCAPE BUFFER TO ROUTE 303	\$13.10 B.3	25' LANDSCAPE BUFFER CONTAINING EITHER NATURAL VEGETATION AND/OR TREES A MIN OF 6' HIGH	25'	Y

RESIDENTIAL ZONING INFORMATION

REQUIREMENTS	CODE	STANDARD	PROPOSED	MEETS REQ (Y/N)
MIN. LOT AREA	\$43.3	80,000 SF	30,000 SF	Y
MIN. STREET FRONTAGE	\$43.3	100 FT	200 FT	Y
MIN. LOT WIDTH	\$43.3	150 FT	150 FT	Y
MIN. FRONT YARD SETBACK	\$43.3	50 FT	23.8 FT	Y
MIN. SIDE YARD SETBACK	\$43.3	30 FT (SINGLE)	60.40 FT	Y
MIN. REAR YARD SETBACK	\$43.3	100 FT (TOTAL)	151.70 FT (TOTAL)	Y
MIN. LANDSCAPE BUFFER TO ADJACENT PARCELS	\$43.3	30 FT	30 FT	Y
MIN. LANDSCAPE BUFFER TO ROUTE 303	\$43.3	30 FT	30 FT	Y
MIN. BUILDING HEIGHT	\$43.3	15.75'	1 STORY	Y

PARKING REQUIREMENTS

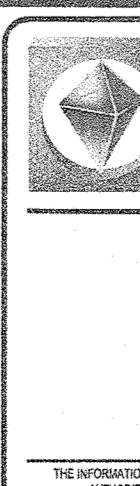
MIN. ON-SITE PARKING	MIN. ON-SITE PARKING STALL	MIN. ON-SITE PARKING STALL SIZE	ON-SITE LOADING BERTHS	ON-SITE LOADING DIMENSIONS	LOADING BERTH LOCATION	RETAIL SALES & SERVICE
\$43.1	2	COMPLETS	COMPLETS	COMPLETS	COMPLETS	COMPLETS

ROUTE 303 OVERLAY DISTRICT

REQUIREMENTS	CODE	STANDARD	PROPOSED	MEETS REQ (Y/N)
MIN. LOT AREA	\$13.9	NO RESIDENTIAL USES	COMPLETS	Y

REVISIONS

REV	DATE	COMMENT	BY
1	12/20/19	INITIAL TOWN SUBMISSION	KD
2	1/12/2020	CLIENT COMMENTS	KD
3	2/17/20	TOWN SITE PLAN APPLICATION	BP



BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 ENVIRONMENTAL SCIENCE
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

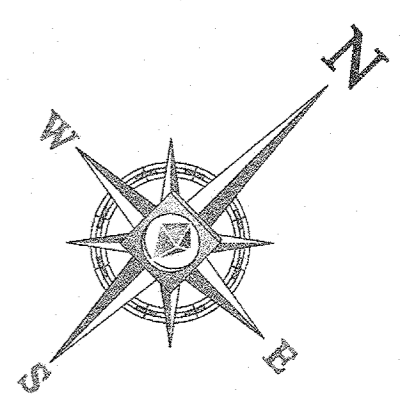
Dig Safely. New York.
 800-962-7962
 www.digsafely.com

LIDL U.S. OPERATIONS, LLC
 PROPOSED
 GROCERY STORE #456
 358 NTS ROUTE 303
 TOWN OF ORANGETOWN,
 ROCKLAND COUNTY, NY 10983
 LOTS 33, 37 & 41

BOHLER ENGINEERING
 2928 EXPRESSWAY DRIVE NORTH
 HAUPPAUGE, NY 11729
 Phone: (516) 285-6666
 Fax: (516) 285-6664
 www.BohlerEngineering.com

C-05
 OF 24
 REVISION 3 - 2/17/2020

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON FROM PREPARING THESE DRAWINGS AND/OR THE ACCOMPANYING PERMITS FOR THE PROJECT UNLESS THE PERSON IS A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. ANY OTHER PERSON WHO PREPARES THESE DRAWINGS OR PERMITS WITHOUT BEING A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT IS VIOLATING THE EDUCATION LAW OF THE STATE OF NEW YORK. THE FULL SPECIFICATIONS (NYS EDUCATION LAW SECTION 2209.2)



LEGEND	
EXISTING	PROPOSED
BUILDING	BUILDING
CURB	CURB
ADJACENT PROPERTY LINE	ADJACENT PROPERTY LINE
PROPERTY LINE	PROPERTY LINE
DOOR	DOOR
DEPRESSED CURB	DEPRESSED CURB
SEWER	SEWER
URDFURGE	URDFURGE
ACCESSIBLE PARKING SPACES	ACCESSIBLE PARKING SPACES
DRAINAGE INLET	DRAINAGE INLET
GRASSY WADSWORTH	GRASSY WADSWORTH
UTILITY POLE	UTILITY POLE
FENCE	FENCE
OVERHEAD LINE	OVERHEAD LINE
WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
UTILITY POLE	UTILITY POLE
ELECTRIC LINE	ELECTRIC LINE
GAS LINE	GAS LINE
WATER LINE	WATER LINE
STORM PIPE	STORM PIPE
SANITARY MANHOLE	SANITARY MANHOLE
SANITARY PIPE	SANITARY PIPE
CONTINGENT	CONTINGENT
FINISHED FLOOR ELEVATION	FINISHED FLOOR ELEVATION
TOP OF CURB ELEVATION	TOP OF CURB ELEVATION
BOTTOM OF CURB ELEVATION	BOTTOM OF CURB ELEVATION
MANHOLE ELEVATION	MANHOLE ELEVATION
ROCK LINE	ROCK LINE

DRAINAGE STRUCTURE SCHEDULE			
STRUCTURE	STRUCTURE TYPE	RIW	INV./IN. INV./OUT
A-1	PROP. 48" MANHOLE	34.00	30.50
A-2	PROP. 50" MANHOLE	33.10	28.84
A-3	PROP. 48" MANHOLE	33.15	28.82
A-4	PROP. 48" MANHOLE	34.45	28.17
A-5	PROP. CATCH BASIN W/ FRAME & GRATE	32.65	30.20
A-6	PROP. CATCH BASIN W/ FRAME & GRATE	32.95	30.10
A-7	PROP. CATCH BASIN W/ FRAME & GRATE	32.75	30.20
A-8	PROP. 50" MANHOLE	33.25	28.87
A-9	PROP. STORMWATER SEPARATOR	32.70	28.38
A-10	PROP. FRENCH DRAIN	30.00	28.00
A-11	PROP. PLATE STATION (DESIGNED BY OTHERS)	33.00	28.70
A-12	PROP. CATCH BASIN W/ FRAME & GRATE	31.75	28.40
A-13	PROP. CATCH BASIN W/ FRAME & GRATE	31.65	28.36
A-14	PROP. 48" MANHOLE	32.70	28.58
A-15	EXIST. INLET	30.22	27.98

DRAINAGE CALCULATIONS	
EXISTING ROOF AREA	22,000
EXISTING PAVEMENT	13,842
PROPOSED ROOF AREA	68,375
PROPOSED PAVEMENT	18,850
PROPOSED TOTAL DRAINAGE AREA = 110,067	
PROPOSED TOTAL DRAINAGE AREA ON SITE	

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON FROM OFFERING TO PERFORM ENGINEERING SERVICES UNLESS HE OR SHE IS A LICENSED PROFESSIONAL ENGINEER. THE PROFESSIONAL ENGINEER MUST SIGN AND DATE AND DESCRIBE THE FULL SCOPE OF THE SERVICES PROVIDED AND THE SPECIFICATIONS (NYS EDUCATION LAW SECTION 2209.2)

GRAPHIC SCALE 1 INCH = 30 FEET



PROPOSED SUPERMARKET BUILDING AREA = 25,658 S.F. (120 SUPER MARKET MINIMUM) (387 OVERALL CENTER MINIMUM) SITE AREA = 111,896 S.F.

GRADING NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THE GENERAL NOTES WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS SPECIFIC NOTES AND RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORTS AND ALL APPLICABLE REQUIREMENTS, LAWS, ORDINANCES AND REGULATIONS. THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER DESIGN WORK. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE AND FEDERAL AGENCIES WHICH APPLY TO THIS PROJECT. THE CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE CONTRACTOR'S FILE. THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY UPON RECEIVING ANY APPROVALS. THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY UPON RECEIVING ANY APPROVALS. THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY UPON RECEIVING ANY APPROVALS.
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ACCESSIBILITY DESIGN GUIDELINES

- ALL ACCESSIBLE PARKING SPACES AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET AT A MINIMUM, THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS, ORDINANCES AND REGULATIONS. THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY UPON RECEIVING ANY APPROVALS. THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY UPON RECEIVING ANY APPROVALS.
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SEE "REFERENCES AND CONTACTS" FOR ADDITIONAL INFORMATION REGARDING EXISTING CONDITIONS

THIS PLAN TO BE UTILIZED FOR SITE GRADING & DRAINAGE PURPOSES ONLY

BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REV.	DATE	COMMENT
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2	12/10/20	CLIENT COMMENTS
3	2/17/2021	TOWN SITE PLAN APPLICATION

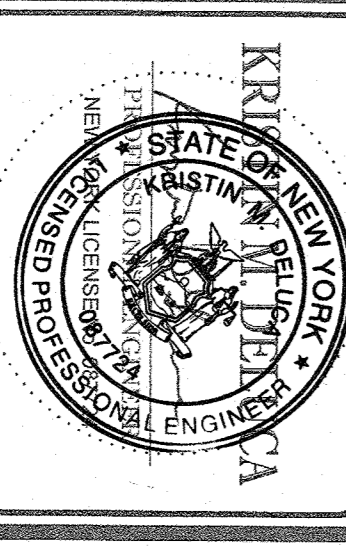
ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

Dig Safely - New York
 800-962-7962
www.digsafely.com

PROJECT NO. N19156-SP-3B
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: AS SHOWN
 DATE: 11/15/2020

SITE DEVELOPMENT PLANS
 LIDL U.S. OPERATIONS, LLC
 PROPOSED GROCERY STORE #1456
 358 NASSAU ROAD
 TOWN OF ORANGE/TOWN OF ROCKLAND COUNTY, NY 10983
 SECTION 77.5 BLOCK 1
 LOTS 33-37 & 41

BOHLER ENGINEERING
 2928 EXPRESSWAY DRIVE NORTH
 HEMPSTADT, NY 11749
 Tel: (631) 285-6644
 Fax: (631) 285-6644
www.BohlerEngineering.com



SHEET NUMBER: **C-06**
 OF 24
 SHEET TITLE: **GRADING & DRAINAGE PLAN**
 SHEET NO. N19156-SP-3B
 REVISION 3 - 2/17/2020