IND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING PLANS OF EXACT LOCATIONS HE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS, AND MECHANICAL, ELECTRICAL, INTERPREVENT FORMS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING PLANS OF RECORD FOR EXACT LOCATIONS HE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS, AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE CONTRACTOR MUST STAND AND ANY OTHER PLANS THAT DIMENSIONS, AND EXACT BUILDING PLANS, PRIOR TO THE CONTRACTOR MUST SHOWN ON EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE ELDONE OR REPARED DUE TO DIMENSIONS, MEASUREMENTS SHOWN INCORRECTLY ON THESE PLANS, PRIOR TO BE CONTRACTOR MUST THEN AUTHORIZATION TO PROCEED WITH SHOWN OF SAME AND (B) ENGINEER OF RECORD BROWNERS, OR AND SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR WINTH WRITTEN AUTHORIZATION OF SAME AND (B) ENGINEER OF RECORD WRITTEN NOTHER AND (B) ENGINEER OF RECORD WRITTEN NOTHER AND (B) ENGINEER OF RECORD, THE RECORD WRITTEN NOTHER AND FOR ADDITIONAL WORK.

"IE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST MOT SCALE OFF THE RAWMINGS DUE TO POTENTIAL PRINTING INACCURAÇIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL SAND CONFIRMED BY THE GENERAL SAND MOTERIALS AND CONFIRMED BY THE GENERAL SAND MOTERIALS AND CONFIRMED BY THE GENERAL SAND CONFIRMED BY THE GEN MENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS JECT.

3 OF RECORD IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS S, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

ITRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING ION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE DEXPENSE.

3 EXPENSE.

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5 EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH GOPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND COPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND COPRIATE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE SUCCESSION. TOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS/REPORTS AND CONDITIONS OF DALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH EVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME.

COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST HITECTURAL, CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, FIRE SUPPRESSION PLANS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT E CONSTRUCTION DOCUMENTS.

CONSTRUCTION DOCUMENTS.

MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND FILEVATIONS, PRECISE BUILDING DIMENSIONS, AND EAST BUILDING UTILITY LOCATIONS.

ON THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD IN AMPITING 15 ANY OTHER COMMENCEMENT OF DEPONDENCE AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF DEPONDENCEMENT OF RECORD IN AMPITING 15 ANY OTHER COMMENCEMENT OF DEPONDENCEMENT OF RECORD IN AMPITING 15 ANY OTHER COMMENCEMENT OF DEPONDENCEMENT OF RECORD IN AMPITING 15 ANY OTHER COMMENCEMENT OF DEPONDENCEMENT OF RECORD IN AMPITING 15 ANY OTHER COMMENCEMENT OF DEPONDENCEMENT OF RECORD IN AMPITING 15 ANY OTHER COMMENCEMENT OF DEPONDENCEMENT OF RECORD IN AMPITING 15 ANY OTHER COMMENCEMENT OF DEPONDENCEMENT OF RECORD IN AMPITING 15 ANY OTHER COMMENCEMENT OF DEPONDENCEMENT OF RECORD IN AMPITING 15 ANY OTHER COMMENCEMENT OF DEPONDENCEMENT OF RECORD IN AMPITING 15 ANY OTHER COMMENCEMENT OF DEPONDENCEMENT OF RECORD IN AMPITING 15 ANY OTHER DEPONDENCEMENT OF RECORD IN AMPITING 15 ANY OTHER DEPONDENCEMENT OF RECORD IN AMPITING 15 ANY OTHER DEPONDENCEMENT OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING, NY, PLLC

N WHICH ENGINEER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL

R ENGINEERING, IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON

MITH ANY OTHER SITE FEATURES.

NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST

LETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS. THESE NOTES AND THE

AND CONTRACTOR WILL THE AND TO THE COME IN THE STREET HIS STREET OF A CONTRACTOR WILL THE AND THE THE AND

MENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED TRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES AD DIFFERENT THRESHOLD). THE CONTRACTOR MORE IS DISTURBED TRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MORE IS DISTURBED AS INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES A ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY APLETELY RESPONSIBLE FOR FAILING TO DO SO.

AINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER OF RECORD, THE USE OF ADS CERTIFY OR CERTIFICATION CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS JECT OF THE ENGINEER OF RECORD'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT EAPPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER ED OR IMPLIED, UNDER ANY CIRCUMSTANCES.

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PROPOSED.

120 BEDFORD ROAD
ARMONK, NY 10504
DATED: 11/2:1/2019
ELEVATIONS: NAVD 1998

GEOTECHNICAL INVESTIGATION
REPORT:
WHITESTONE ASSOCIATES, INC.

♦ TELEPHONE
VERIZON
110 MARKET STREET
NANUET, NY 10954
PHONE: (845) 627-3530

♦ WATER

SUEZ WATER

360 WEST NYACK ROAD

WEST NYACK, NY 10994

PHONE: (877) 426-8969

FAX: 1-845-820-3347

♦ ELECTRIC & GAS
ORANGE & ROCKLAND
350 WEST ROUTE 59
SPRING VALLEY, NY 10977
PHONE: 1-877-434-4100

REFERENCES AND CONTACTS

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SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE

SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTE AUTHORIZATION FROM BOHLER ENGINEERING, ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES

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RIN

TESTONE ASSOCIATES, INC.
TECHNOLOGY DRIVE
RREN, NJ 07059
TED: 8/30/2019

GROCERY STORE #1456

LOCATION OF SITE:

3567 Z

DEPARTMENT OF ENVIRONMENTAL
MANAGEMENT & ENGINEERING
TOWN OF ORANGETOWN

♦ BUREAU OF FIRE PREVENTION MICHAEL BETTMANN
CHIEF FIRE SAFETY INSPECTOR
20 GREENBUSH ROAD
ORANGEBURG, NY 10962
PHONE: (845) 365-0204 EXT. 4350
FAX: (845) 365-0241

♦ TOWN CLERK
ROSANNA SFRAGA - TOWN CLERK
26 WEST ORANGEBURG ROAD
ORANGEBURG, NY 10962
PHONE: (845) 359-5100 EXT. 5004
FAX: (845) 359-5126

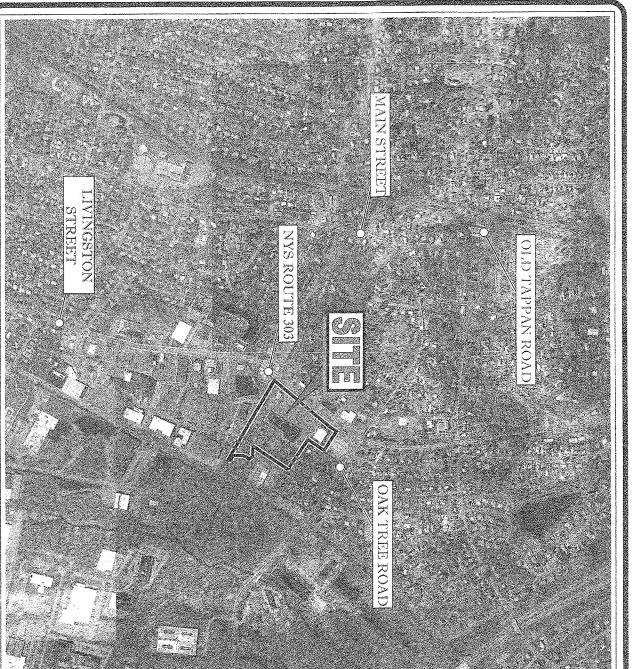
♦ BUILDING, ZONING, PLANNING, ADMINISTRATION & ENFORCEMENT TOWN OF ORANGETOWN JANE SLAVIN, R.A. - DIRECTOR 20 GREENBUSH ROAD ORANGEBURG, NY 10962 PHONE: (845) 359-8410 EXT. 4302 FAX: (845) 359-8526

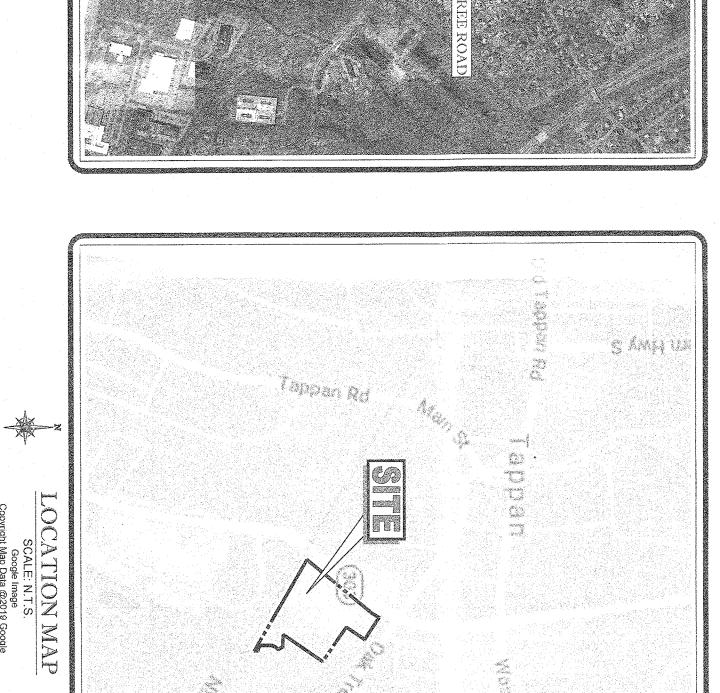
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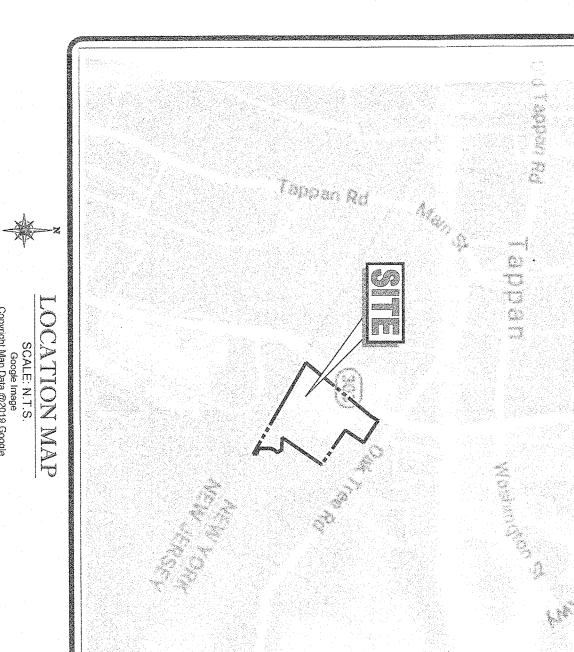
NYS DEPARTMENT OF
TRANSPORTATION
LANCE MACMILLAN, PE - REGIO
4 BURNETT BOULEVARD
POUGHKEEPSIE, NY 12603
PHONE: (845) 431-5750

REVISIONS

SECTION 77.15, BLOCK 1, LOTS 33-37 & 41

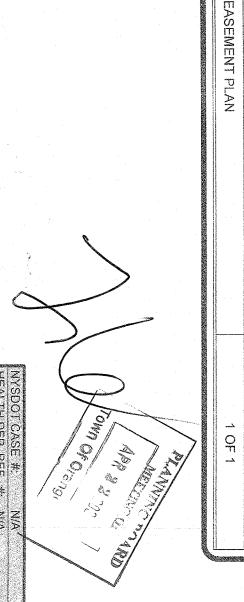






THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

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DRAINAGE PROFILE V JTILITY PLAN	C-11 OF 24 C-12 OF 24
SANITARY PROFILE I	C-13 OF 24
 SANITARY PROFILE II	C-14 OF 24
SANITARY PROFILE III	C-15 OF 24
LIGHTING PLAN	C-16 OF 24
LANDSCAPE PLAN	C-17 OF 24
LANDSCAPE PLAN NOTES	C-18 OF 24
SEDIMENT & SOIL EROSION CONTROL PLAN PHASE I	C-19 OF 24
SEDIMENT & SOIL EROSION CONTROL PLAN PHASE II	C-20 OF 24
SEDIMENT & SOIL EROSION CONTROL DETAILS	C-21 OF 24
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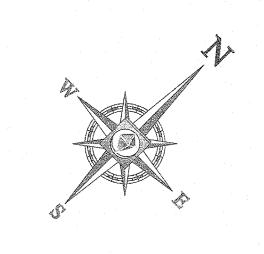
2929 EXPRESSWAY DRIVE NORTH
HAUPPAUGE, NY 11749
Phone: (631) 738-1200
Fax: (631) 285-6464
www.BohlerEngineering.com AGENCY REVIEW & APPROVAL DEVELOPMENT PLANS PROPOSED
GROCERY STORE #1456
3-58 NYS ROUTE 303
TAPPAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NY 10983
SECTION 77.15 BLOCK 1
LOTS 33-37 & 41 12/10/2019 CLIEN I CUITALINA TOWN SITE PLAN APPLICATION OPERATIONS, Dig Safety and Dig Safety. New York are used under learner from Dig Safe System, Inc. DATE T X O T T T X O SUBMISSION
SUBMISSION

W:\2019\n19156\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\n19156-SPP-3B---->LAYOUT; C-02 DEMC 1 INCH = 60 FEET COLUMNS AND

ASPHALT PAVEMENT IN ROW

TO BE REMOVED NE ABOVEGROUND UTILITIES IN RDANCE WITH LOCAL UTILITY IREMENTS OVERHEAD WIRES IN ACCC

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EGEND

NEW YORK STATE ROUTE 303 (1) 22 55 58 (2) 21 55 68 (3) 21 55 68 (4) 21 55 68 (4) 21 55 68 150.51'(S) 149.25'(D) 196.06°(D) 196.24°(S) N54012'00"E 768.67 50.24°(S) 50.28°(D) 121.84 (8) N46°27'00"E 78.52" W. 200 (80) W. 200 (80) W. 200 (80) 57477 S48°36'04"W 204.30' -198.18' O.A. (DEED LIBER 666 PAGE 313) ZONE: CS (COMMUNITY SHOPPING) E E E E E E E ZONE: LIO (LIGHT INDUSTRIAL-OFFICE) 186'LEZ 186'LET Mut0.96.848

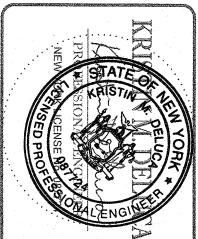
THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY

AND IMMEDIATELY NOTITY, IN ORTINIO AND VERMALT. THE OWNER, AND COMPLIANT BOHLER RESIDEED ARE PROCEDED AND THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPERLY AND COMPLIANT REMOVAL OF SAME.

17. THE CONTRACTOR MUST ENSURE THAT ANY EXISTING ASSESTORS—CONTRAINING AMTERIALS ENCOUNTERED ARE PROPERLY REMOVED FROM THE SUBJECT PREIMISES AND ARE DISPOSED OF IN ACCORDANCE WITH FEDERAL, PROPERLY REMOVED FROM MUST IES.

PROPERLY REMOVED FROM THE SUBJECT PREIMISES AND ARE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, PROPERLY REMOVED FROM THE SUBJECT PREIMISES AND ARE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, PROPERLY REMOVED FROM THE SUBJECT PREIMISES AND ARE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, PROPERLY REPORT AND ALL AGBIEVY MOTHERCHINGS, OR OTHER PROPERLY REPORT AND ALL AGBIEVY MOTHERCHINGS, OR OTHER AND ALL AGBIEVY MOTHER OWNERS AND ALL AGBIEVY MOTHERCHINGS, OR OTHER AND ALL AGBIEVY MOTHER OWNERS AND ALL AGBIEVY MOTHER OWNERS. THE CONTRACTOR MUST BE PERFORMED BY COMPACIANT OF THE ACCORDANCE AND ALL AGBIEVY MOTHER AND AGBIEVE AND ALL AGBIEVE AND AGBIE PLAN

DEMOLITION



(4) 2929 EXPRESSWAY DRIVE NORTH
HAUPPAUGE, NY 11749
Phone: (631) 738-1200

PROPOSED
GROCERY STORE #1456
3-58 NYS ROUTE 303
TAPPAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NY 10983
SECTION 77.15 BLOCK 1
LOTS 33-37 & 41

PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES.

ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE SPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING STILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY COMPANY REQUIREMENTS.

RRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKKINDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OVENER.

1 THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT IDDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, OR THE CONTRACT WITH THE WITH THE WITH THE DISCOVERY, NO IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND OHLER ENGINEER OF RECORD AND UNCHARGOUS FEASONS OF THE DISCOVERY, NO INFORMATION OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT EMOVAL OF SAME.

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LIDL U.S. OPERATIONS,

DEVELOPMENT PLANS

Dig Saley and Dig Saley, New York are resed onder learner from Dig Sale System, Arc.

Warner Jessen from Dig Sale System, Arc.

Warner Jessen from Dig Sale System, Arc.

AGENCY REVIEW & APPROVAL

12/10/2019 CLIENT COMMENTS TOWN SITE PLAN APPLICATION

12/4/2019 INITIAL TOWN SUBMISSION

THE CONTRACTOR MUST CONDUCT DEPOLITORISE AT THESE BRITIERY PER CONTRACTOR MUST REFER MAIL AND THE PLANES SECCION.

THE CONTRACTOR MUST CONDUCT DEPOLITORISE MUST AND THE PLANES SECCION THE PLANES SECCION TO THE PLANES SECCION THE PLANES SECTION THE PLANES DATE

DEMOLITION NOTES

SITE LOCATION MAP

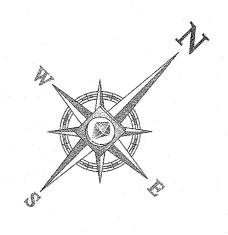
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SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

30 60 = 60 FEET

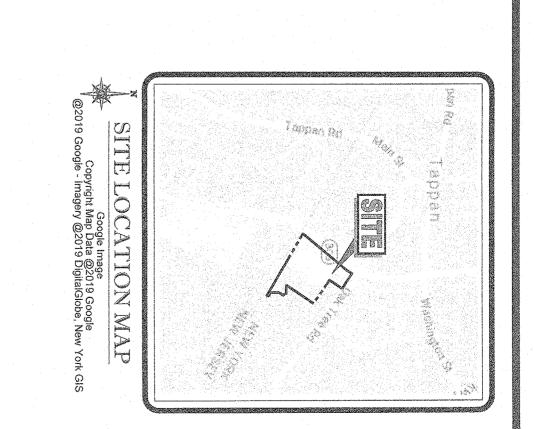
THIS PLAN TO BE UTILIZED FOR SITE ZONING PURPOSES ONLY





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NOTE: SEE	THE SITE	N ZONING; SH	PLAN ZONING; SHEET C-5 FOR ZONING REQUIREMENTS	EQUIREMENTS	FOR EACH INDIVIDUAL LOT	NDIVIDUAL	LOT
REQUIREMENTS	n natura antonio primerimente del mentre del	CODE	STANDARD		PROPOSED	SED	MEETS REQ. (Y/N)
/IN. LOT AREA	-	§3.12	2,500 SF	er en	487,237SF* INCLUDES BIRCH	SF*	¥
MN. LOT FRONTAGE	And the second s	§3.12	25 FT	entere de la contrata del la contrata de la contrata del la contrata de la contra	±1,287.44 FT*	FT*	entre an antimonian anni antimonian de entre antimonian entre entr
MIN. LOT WIDTH	A AND THE PROPERTY AND THE PROPERTY OF THE PRO	§3.12	25 FT	And the second s	±240.56 FT*		
MIN. FRONT YARD SETBACK	To common the state of the stat	§3.12	NONE, 45 FT IF PROVIDED	ROVIDED	43.4 FT*		(E) EXISTING NON-CONFORMITY
MIN. SIDE YARD SETBACK	THE	§3.12	NONE, 12 FT IF REQUIRED (SINGLE) NONE, 25 FT IF REQUIRED (TOTAL)	RED (SINGLE)	54.1 FT* 154.3 FT (TOTAL)*		Y
MIN. REAR YARD SETBACK		\$3.12	25 FT	energia de de esta de desta de desta esta de la esta esta esta de la esta esta esta esta esta esta esta est	30 FT*		~
MIN. LANDSCAPE BUFFER TO RESIDENTIAL ZONE OR USE	:	§13.10.B.3	25 FT		0'*		(E) EXISTING NON-CONFORMITY
MAX. FLOOR AREA RATIO	e verte era en	§3.12		en interes en	0.14*		
MAX. BUILDING HEIGHT		§3.12	2.2 FT	Andrew Community of the	25.58 FT	menter og det en en en engles onnels	(V) VARIANCE
)N-SITE LOADING BERTHS	de la constant de la	§3.11	NO OUTDOOR LOADING BERTHS ARE PERMITTED EXCEPT BY PERMISSION OF THE ZONING BOARD OF APPEALS OR PLANNING BOARD.	NG BERTHS XCEPT BY IE ZONING JR PLANNING			(V) VARIANCE (REQUIRES PERMISSION OF ZBA OR PLANNING BOARD)
MIN. ON-SITE LOADING	noneman menut tunannin menut tunannin menut pedenannin	§6.42	12' W X 45' L X 15' H	15' H	21.9' W X 96.8' L (OPEN TO ABOVE		
LOADING BERTH LOCATION	X	§6.2	NOT PERMITTED WITHIN A REQUIRED FRONT YARD	MITHIN A IT YARD	COMPLIES	ES	
ADA STALL QUANTITY	20 ST/	2010 ADA STANDARDS	REQUIRED FOR 301-400 SPACES = 8 ADA STALLS (INCLUDING 1 VAN ACCESSIBLE)	00 SPACES = JDING 1 VAN .E)	14 SPACES	ES	~
CALCULATED BASED ON OVERALL PROPERTY	OVERALL PRO	PERTY	THE PARTY OF THE P	- Company of the Comp		5	
	OUT	E 303	OVERLA	YD	ISTRICT		
REQUIREMENTS	CODE		STANDARD	PROPOSED*	SED*	MEE	MEETS REQ. (Y/N)
MAX. FRONT YARD PARKING	§13.10.B.10		35%	243 (66%) STALLS LOCATED WITHIN REQUIRED FRONT YARD	STALLS MITHIN ONT YARD	(V)	VARIANCE
OADING BERTH	§13.10.B.10	LOCATED W	LOCATED WITHIN THE REAR YARD	REAR YARD	ARD	AND COME AND	Single 19 Anni Marielloni de 1900 interes de 1900 interes de 1900 de 1900 de 1900 de 1900 de 1900 de 1900 de 1 Per la companio de 1900 de 190
IN. DISTANCE SETWEEN CURB CUTS	§13.10.B.11	150' (ON AN	150' (ON ANY SINGLE PARCEL OR CONTIGUOUS PARCELS)	168.8	A manufacture of the second of	a beke sudjaministense de salanistika sura "kena merden di minasa.	No styl and life Abeni stoletisk i del kake andernationen inde ander abenish inna ask kanar.
MAX. CURB CUTS PER PARCEL	§13.10.B.11		>	ယ		(E) 4 EXIS IMPROVED NON-	(E) 4 EXISTING CURB CUTS IMPROVEMENT OF EXISTING NON-CONFORMITY
ANDSCAPE BUFFER TO ROUTE 303	§13.10.B.3	25' LAN CONTAININ VEGE CONTAINII TREES	25' LANDSCAPE BUFFER CONTAINING EITHER NATURAL VEGETATION AND/OR CONTAINING SHRUBS AND/OR TREES A MIN OF 6' HIGH.	12.5		E) EXISTING	(E) EXISTING NON-CONFORMITY
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A CONTRACTOR OF THE PROPERTY O	DA	RKIN	G REQUI	REM	ENTS		REILANDE SERVICIO DE L'ANTIGO
MIN. ON-SITE PARKING STALL	ALL	§3.11 §6.34	367 9' X 18'		368* 9' X 18'	3,	**************************************
ADA STALL QUANTITY	21 ST/	2010 ADA STANDARDS	REQUIRED FOR 301-400 SPACES = 8 ADA STALLS (INCLUDING 1 VAN ACCESSIBLE)	00 SPACES = JDING 1 VAN E)	14 STALLS	LS	*
RETAIL SALES & SERVICE = 1 STALL / 200 SF OF GFA -AST FOOD RESTAURANT = 1 STALL / 75 SF OF GFA RESTAURANT = 1 STALL / 100 SF OF GFA	1 STALL / 200 SI 1 STALL / 75 SF 00 SF OF GFA	F OF GFA OF GFA			-		
REQUIRED PARKING: EXIST WENDY'S FAST FOOD RESTAURANT = 2,987 SF / 75 = 39.83 STALLS EXIST RETRO FITNESS = 15,030 SF / 200 = 75.15 STALLS EXIST MULTI-TENANT RETAIL = 19,644 SF / 200 = 98.22 STALLS EXIST MULTI-TENANT RETAIL = 19,644 SF / 200 = 98.22 STALLS EXIST. SUBWAY = 3,300 SF / 200 = 16.5 STALLS PROP. PIZZA RESTAURANT = 1,800 SF / 200 = 9 STALLS PROP. SUPERMARKET = 25,656 SF / 200 = 128.28	0 RESTAURANT: 030 SF / 200 = 7. 030 SF / 200 = 7. 1L = 19,644 SF / 2 200 = 16.5 STAL = 1,800 SF / 200 656 SF / 200 = 11	= 2,987 SF / 75 = 5.15 STALLS 200 = 98.22 STAI LS = 9 STALLS	LLS				
PARKING REQUIREMENTS	ARE MET BY OV	ERALL DEVELO	PMENT. ACCESS AND PA	RKING AGREEM	E	ESTABLISHED BETWEEN	BETWEEN



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PLAN

OVERALL

BOHLERA

PROPOSED
GROCERY STORE #1456
3-58 NYS ROUTE 303
TAPPAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NY 10983
SECTION 77.15 BLOCK 1
LOTS 33-37 & 41

DEVELOPMENT PLANS OPERATIONS, LLC

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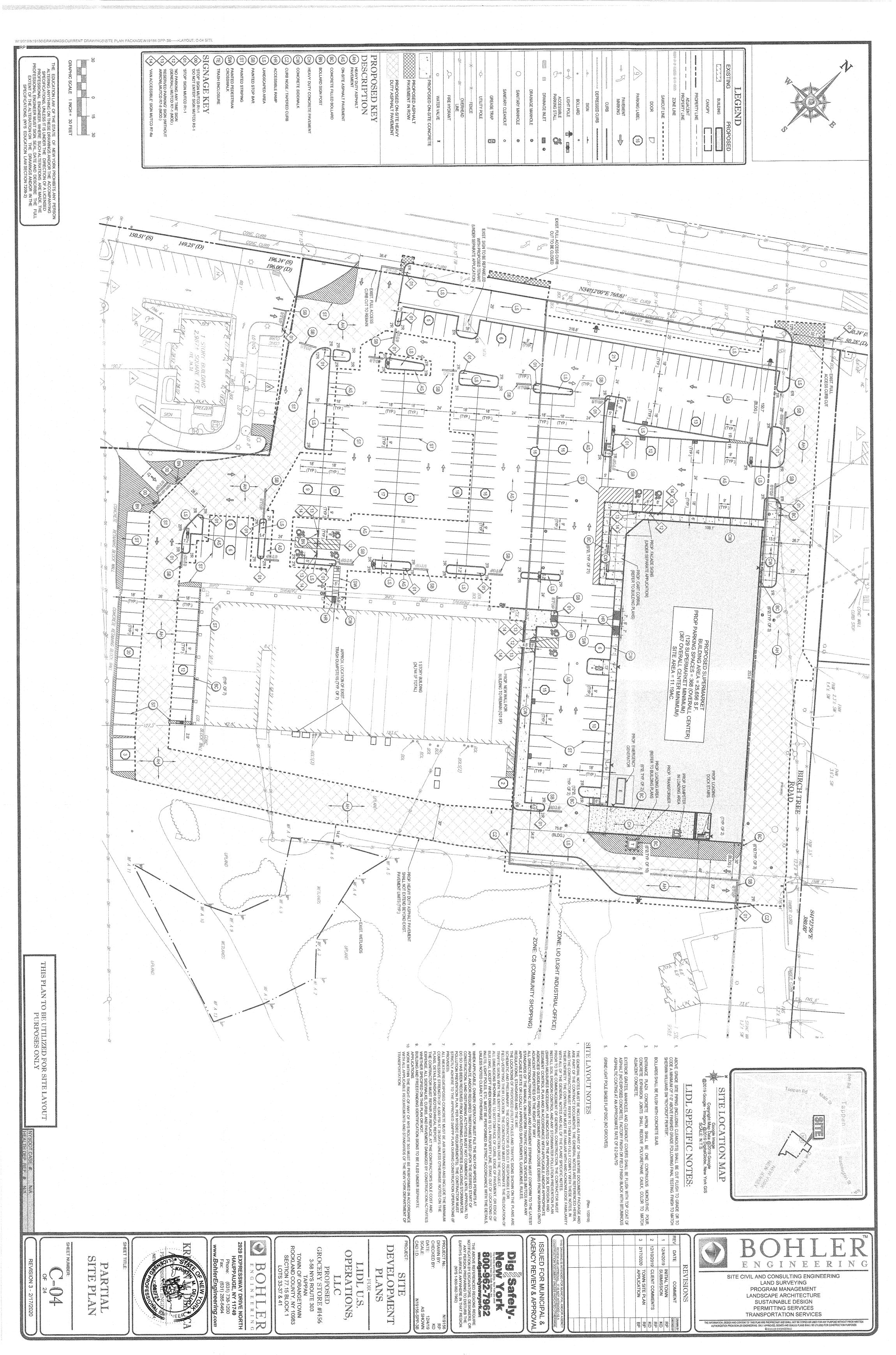
ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVA

DATE B R C R C R

ENGINEERIN

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES TRANSPORTATION SERVICES THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOYLER ENGINEERING, ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES

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E EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNILESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE COFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SYPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

W1/2019IN19156IDRAWINGSICURRENT DRAWINGSISITE PLAN PACKAGEIN19156-SPP-3B--->LAYOUT: C-05 SITE ZONING

MIN. REAR YARD SETBACK
MIN. LANDSCAPE BUFFER TO
RESIDENTIAL ZONE OR USE
MAX. FLOOR AREA RATIO
MAX. BUILDING HEIGHT MAX. SIGN HEIGHT WAX. NUMBER OF SIGNS ADING BERTH
CATION
V. DISTANCE
TWEEN CURB CUTS
X. CURB CUTS PER
RCEL IN. ON-SITE PARKING

N. ON-SITE PARKING STALL)P. SUPERMARKET = 25,656 SF / 200 = 128.28 STALLS "AL REQUIRED PARKING = 129 STALLS "AL PROPOSED PARKING = 120 STALLS (INCL. 4 ACCESSIBLE STALLS) RKING REQUIREMENTS ARE MET BY OVERALL DEVELOPMENT. ACCE "PERTIES" A LOT AREA A LOT FRONTAGE N. LOT WIDTH X. FLOOR AREA RATIO \$3.12 1

X. BUILDING HEIGHT \$3.12 22

CULATED BASED ON PROPOSED SUPERMARKET SUBDIVISION LINE REQUIREMENTS ITEM BERTHS 0 ROUTE §13.10.B.11 §13.10.B.10 §13.10.B.11 §13.10.B.10 §13.10.B.3 ZOIS ARKING \$3.12 \$3.12 \$13.10.B. §6.34 §3.11 §6.42 CODE
\$3.11
N/A
\$3.11
KEY = AGE REQUIREMENTS 303 CATED WITHIN THE REAR YARD
O' (ON ANY SINGLE PARCEL OR
CONTIGUOUS PARCELS) FREESTANDING SIGNAGE SUPERMARKET \$3.11 \$3.11 9' X 18'

NO OUTDOOR LOADING BERTHS
ARE PERMITTED EXCEPT BY
PERMISSION OF THE ZONING
BOARD OF APPEALS OR PLANNING
BOARD. OVERL NONE, 45 FT IF PROVIDED

NONE, 12 FT IF PROVIDED (SINGLE)

NONE, 25 FT IF PROVIDED (TOTAL)

25 FT REQUIREMENTS INITY STO...
ISTRIAL OFFICE DISTRICT)

NE OVERLAY DISTRICT

NEIGHT IN CS DISTRICT, NOT PERMITTED IN LIO DISTRICT)

ARED FOR THE CS (COMMUNITY SHOPPING DISTRICT)

MEETS REQ.

(Y/N) 1 SF 1.00 22 FT FOOT OF LOT FRONTAGE (40 SF MAX) 81 STALLS (65.9%)
LOCATED WITHIN
EQUIRED FRONT YARD
REAR YARD 30 FT 20 FT DISTRICT AREA (MAX. 40 SF) 25 21.9' W X 96.8' L (OPEN TO ABOVE) COMPLIES 0.31* 25.58 FT 9' X 18' PROPOSED

PANEL ON EXISTING
FREESTANDING SIGN TO BE
UPDATED
PANEL ON EXISTING
FREESTANDING SIGN TO BE
UPDATED
TBD
EXIST. SIGN TO REMAIN)
+1- 22 (EXIST.) 16" (V)
VARIANCE REQUIR PROPOSED 128.47 SF (V) 3 (V) VARIANCE

KEY= NO NO NO NO NO NO NO NO	(V) VARIANCE	(E) EXISTING NON-CONFORMITY	大臣YIII	is ser ekopolisistakin poorbisakin baharasan kanpanan seri	atus naru amusarma arusakari manusarusarusarusarusarusarusarusarusarusar
ROUTH 303 OVERLAY DISTRICT MENTS CODE STANDARD PROPOSED* MEETS R "YARD \$13.10.B.10 35% LOCATED WITHIN LOCATED WITHIN CONTIGUOUS PARCEL OR \$13.10.B.11 CONTIGUOUS PARCELS) CE \$13.10.B.11 CONTIGUOUS PARCELS S13.10.B.11 1 CONTIGUOUS PARCELS) CE \$13.10.B.11 1 150 (ON ANY SINGLE PARCELS) CUTS \$13.10.B.11 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	(E) EXISTING NON-CONFORMIT	12.5	25' LANDSCAPE BUFFER CONTAINING EITHER NATURAL VEGETATION AND/OR CONTAINING SHRUBS AND/OR TREES A MIN OF 6' HIGH.	§13.10.B.3	LANDSCAPE BUFFER TO ROUTE 303
ROUTH 303 OVHRLAY DISTRICT ROLL STANDARD PROPOSED* MEETS R RD \$13.10.B.10 35% LOCATED WITHIN LOCATED WITHIN REQUIRED FRONT YARD \$13.10.B.11 CONTIGUOUS PARCEL OR N/A	Y	0	And a second and a second as the second as t	§13.10.B.11	MAX. CURB CUTS PER PARCEL
ROUTH 303 OVERLAY DISTRICT s code standard proposed* meets r \$13.10.B.10 35% REQUIRED FRONT YARD KEY= NON-COMFORMUTY	Υ	N/A	150' (ON ANY SINGLE PARCEL OR CONTIGUOUS PARCELS)	§13.10.B.11	MIN. DISTANCE BETWEEN CURB CUTS
ROUTE 303 OVERLAY DISTRICT code standard proposed* meets r	(M) VARIANCE	17 STALLS (43.6%) LOCATED WITHIN REQUIRED FRONT YARD	35%	§13.10.B.10	MAX. FRONT YARD PARKING
	MEETS REQ. (Y/N)	PROPOSED*	STANDARD	CODE	REQUIREMENTS
NON-CONFORMITY	RICT	LAY DIST	TE 303 OVER	ROU	
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¥		N/A	(ON ANY SINGLE PARCEL OR CONTIGUOUS PARCELS)	150' (ON ANY CONTIGU	§13.10.B.11	MIN. DISTANCE BETWEEN CURB CUTS	COOTION IN	
≺ .	S (25%) N REQUIRED /ARD	14 STALLS (25%) LOCATED WITHIN REQUIRED FRONT YARD	35%		§13.10,B.10	MAX. FRONT YARD PARKING	MOCKETA PARTY MANAGEMENT	
MEETS REQ. (Y/N)	SED*	PROPOSED*	STANDARD	\$7	CODE	REQUIREMENTS		Pretta teleforador
	STRICT	AY DIS	OVERI	E 303	ROUT		annual bears	
(v) VARIANCE	(E) EXISTING NON-CONFORMITY	XEY=	Mysokokopaminina kooporatainin kalanda kanada ka	Ski kry Jacopino na manara su Caraly da Makon Chinakeka Katiloo fa tri kriita ya Wa Zanzaka wa ka za manara da manara ka	o projektura kontrologija se sa	TOTAL TO THE TOTAL		ń
ABLISHED BETWEEN	ENT TO BE ESTABLISHE	PARKING AGREEME	IBLE STALLS) OPMENT. ACCESS ANI	NCL. 4 ACCESSI VERALL DEVELO	3 = 58 STALLS () S ARE MET BY O	EXIST. PROVIDED PARKING = 58 STALLS (INCL. 4 ACCESSIBLE STALLS) *PARKING REQUIREMENTS ARE MET BY OVERALL DEVELOPMENT. ACCESS AND PARKING AGREEMENT TO BE EST PROPERTIES		
			76 STALLS	75.15 STALLS =	5,030 SF / 200 =	REQUIRED PARKING: EXIST RETRO FITNESS = 15,030 SF / 200 = 75.15 STALLS = 76 STALLS	ta Matalania Arterita in Palentena de Arterita de Arte	
				/ 200 SF OF GFA	VICE = 1 STALL	USE: RETAIL SALES & SERVICE = 1 STALL / 200 SF OF GFA	CHARLES	- man contribution of technic
~	0	ADING BERTHS D EXCEPT BY THE ZONING LS OR PLANNING RD.	NO OUTDOOR LOADING BERTHS ARE PERMITTED EXCEPT BY PERMISSION OF THE ZONING BOARD OF APPEALS OR PLANNING BOARD.	§3.11	φ.	ON-SITE LOADING BERTHS	estate in material de la marchia de la mentra de la material de la material de la material de la material de l Repubblica de la material del material de la material de la material del material de la material del la material de la material del la material de la material de la material del la material de	
4	9' X 19'	18	9' X 18'	§6.34	TALL	MIN. ON-SITE PARKING STALL SIZE		ñ
(V) VARIANCE	58*		76	§3.11		MIN. ON-SITE PARKING		9
	ENTS	JIREMI	GREQU	RKIN	PA		Sections of	H G
(V) VARJANCE	(E) EXISTING NON-CONFORMITY	KEY=						
	-		S SUBDIVISION LINE	RETROFITNES	N PROPOSED F	*CALCULATED BASED ON PROPOSED RETRO FITNESS SUBDIVISION LINE	erentingological	rather were a
A A	0.31* 1 STORY	70	1.00 22 FT	§3.12 §3.12	0	MAX. FLOOR AREA RATIO MAX. BUILDING HEIGHT		
(E) EXISTING NON-CONFORMITY	0'*		25 FT	§13.10.B.3		RESIDENTIAL ZONE OR USE	o contrator	
Y	30 FT*		25 FT	§3.12	CK.	MIN. REAR YARD SETBACK		
4	31.80 FT* 85.90 FT (TOTAL)*	OVIDED (SINGLE)	NONE, 12 FT IF PROVIDED (SINGLE) NONE, 25 FT IF PROVIDED (TOTAL)	§3.12	¥	MIN. SIDE YARD SETBACK		
(E) EXISTING NON-CONFORMITY	43.4 FT*	45 FT IF PROVIDED	NONE, 45 FT	§3.12	ACK	MIN. FRONT YARD SETBACK		O' you the same of
en elektroniste en elektroniste en elektroniste elektroni	241.6 FT*		25 FT	§3.12		MIN. LOT WIDTH	Estimativida,	e contrata
4	200.36 FT*	FT	25 FT	§3.12		MIN. LOT FRONTAGE	Andreiten Andrei	- Commence of the second
Υ (2.2.2)	48,641 SF*) SF	2,500 SF	§3.12		MIN. LOT AREA		
MEETS REQ.	PROPOSED	DARD	STANDARD	CODE	S	REQUIREMENTS	NATIONAL PROPERTY OF THE PROPE	0
OT)	ZONE: CS (COMMUNITY SHOPPING DISTRICT) ROUTE 303 ZONE OVERLAY DISTRICT USE: PHYSICAL FITNESS STUDIO (PERMITTED AS-OF-RIGHT IN CS DISTRICT) PRELIMINARY ZONING INFORMATION PREPARED FOR THE CS (COMMUNITY SHOPPING DISTRICT)	PPING DISTRICT) LAY DISTRICT ED AS-OF-RIGHT IN THE CS (COMMUNIT	CS (COMMUNITY SHOUTE 303 ZONE OVERI UTE 303 ZONE OVERI SS STUDIO (PERMITTI	ZONE: (ROL YSICAL FITNES ING INFORMAT	USE: PH	PRE		
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	janear .					Andreas Africanopodd		
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PRELIMINARY ZONING INFORMATION PRE

IN. REAR YARD SETBACK
IN. LANDSCAPE BUFFER TO
SIDENTIAL ZONE OR USE
AX. FLOOR AREA RATIO

§13.10.B.3 §3.12 §3.12

0.09* 1 STORY

§3.12

NONE, 12 FT IF PROVIDED (SINGLE)
NONE, 25 FT IF PROVIDED (TOTAL)
25 FT

CULATED BASED ON PROP

LOT AREA

FRONT YARD SETBACK

\$3.12 \$3.12 \$3.12 \$3.12 \$3.12

REQUIREMENTS

CODE

STANDARD

PROPOSED

ZONE: CS (COMMUNITY SHOPPING DISTRICT)

ROUTE 303 ZONE OVERLAY DISTRICT

USE: FAST FOOD NOT PERMITTED IN THE CS DISTRICT

ZONING INFORMATION PREPARED FOR THE CS (COMMUNITY SHOP

WENDY'S RESTAURANT ZONING INFORMATION

W

ON-SITE PARKING
ON-SITE PARKING STALL

§3.11 §6.34

39* 9' X 18'

OF GF

S

\$3.11

OOR LOADING BERTHS
NITTED EXCEPT BY
SION OF THE ZONING
APPEALS OR PLANNING
BOARD.

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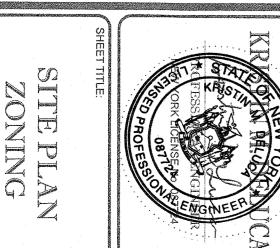
QUIREMENTS

ZONING INHORMATION
ZONE: CS (COMMUNITY SHOPPING DISTRICT)

PERMARKET

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	A CA CAN THE CAME AND	ZONE: LIC	ZONE: LIO (LIGHT INDUSTRIAL-OFFICE DISTRICT ROUTE 303 ZONE OVERLAY DISTRICT	FICE DISTRICT	The state of the s	TO SET ET EN PRESENTATION EN REMANDRACE DES DESCRIPCIONS DE L'ANNOUNT PROGRESSION DE L'ANNOUNT P
USE: PRE	RESIDENTI/ LIMINARY Z	ONING INFOR	USE: RESIDENTIAL (NOT PERMITTED IN THE LIO DISTRICT) - EXISTING NON-CONFORMITY PRELIMINARY ZONING INFORMATION PREPARED FOR THE R-80 RESIDENTIAL DISTRICT	RICT) - EXISTIN	G NON-CONFORMITY	
REQUIREMENTS	(CODE	STANDARD	QS	PROPOSED	MEETS REQ. (Y/N)
MIN. LOT AREA		§43.13	80,000 SF	de .	30,000 SF*	NON-CONFORMITY
MIN. STREET FRONTAGE	2 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	§43.13	100 FT	aparamenten gerinden interioria interioria de primer plan polica di interioria ance	200 FT	Y
MIN. LOT WIDTH	de ser innerell'institutement/menterell de lesses even administration de lesses even administration de lesses even administration de les de le	§43.13	150 FT		150 FT*	Y
MIN. FRONT YARD SETBACK	-	§43.13	50 FT		23.6' FT*	NON-CONFORMITY
MIN. SIDE YARD SETBACK	-	§43.13	30 FT (SINGLE) 100 FT (TOTAL)	AL)	60.40 FT* 151.70 (TOTAL)*	en cincil ex cin al un a cincil est c'instal de la literatura planes described de la literatura de la cincil d Y
MIN. REAR YARD SETBACK	TO THE THE PROPERTY OF THE PRO	§43.13	50 FT		90.7 FT*	×
MAX. FLOOR AREA RATIO	The Victor of Control	§43.13	0.10		0.032*	A may a transfer and a company of the company of th
MAX. BUILDING HEIGHT §43.13	THE RESIDENCE OF THE PROPERTY AND ADDRESS OF THE PROPERTY ADDRESS	§43.13	8" PER FOOT FROM LOT LINE =	LOT LINE =	1 STORY. EXIST. TO REMAIN	man d'en administrativo de mandenare described estre de mandenare de m
	Light collected dealers on the same bear dealers	- Company of the state of the s	de establisha de la companya de la c	KEY=	(E) EXISTING NON-CONFORMITY	(V) VARIANCE
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MIN. ON-SITE PARKING \$43.1 2 COMPLIES RESIDENCE: 1 STALL PER ½ DWELLING + 2 SPACES FOR ANY ACCESSORY HOME OCCUPATION OR PRINCIPAL AGRICULTURAL USE	ELLING + 2 S	§43.1 PACES FOR AN	2 Y ACCESSORY HOME OC	CUPATION OR I	COMPLIES PRINCIPAL AGRICULTURA	AL USE
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RO		E 303	ROUTE 303 OVERLAY DISTRICT		CHARLE A WALLER K.	овария на приняти прин
REQUIREMENTS	CODE		STANDARD		びースーへー	MEETS REQ. (Y/N)
RESIDENTIAL DRIVEWAYS	§13.9	NO RESI SHALL CON TO ROUTE OTHER S	NO RESIDENTIAL DRIVEWAY SHALL CONNECT FROM A PARCEL TO ROUTE 303 IF THERE IS ANY	PROPOSED*	SED' ME	Y
the extension			OTHER SUITABLE INGESS & EGRESS	PROPOSED	SED* ME	

INCLUSION IN COMMITTEE	~	COMPLIES	SHALL CONNECT FROM A PARCEL TO ROUTE 303 IF THERE IS ANY		§13.9	RESIDENTIAL	ACCUPATION OF STREET
	WEETS REQ. (Y/N)	PROPOSED*	STANDARD		CODE	REQUIREMENTS	Shrington and the
		Y DISTRICT	3 OVERLA	TE 303	ROU		- Contract C
Terresco de Caracterio de Cara	(V) VARIANCE	KEY= (E) EXISTING NON-CONFORMITY	X.	MONOMETRICA CONTRACTOR	A CHARLES AND STRAIGHT AND STRA	de destantes de la compresenta del la compresenta de la compresenta del la compresenta de la compresenta de la compresenta del la	A groom-
	JRAL USE	OCCUPATION OR PRINCIPAL AGRICULTURAL	2 SPACES FOR ANY ACCESSORY HOME OCC	+ 2 SPACES FO	PER 2 DWELLING 2 STALLS	RESIDENCE: 1 STALL PER ½ DWELLING REQUIRED PARKING = 2 STALLS	CATOLOGICA
		COMPLIES	ING KEQUI	§43.1	FA	MIN. ON-SITE PARKING	STATE OF THE PARTY
	(V) VARIANCE	KEY= (E) EXISTING NON:CONFORMITY		A. Al. M. A.		CONTRACTOR OF THE PROPERTY OF	anta É arrigante
			0N LINE 15.73'	TAL SUBDIVISION LINE	RESIDENT	*CALCULATED BASED ON RESIDENTIAL	STANDARD AND STANDARD
SECULO SECULO			0.10 8" PER FOOT FROM L	\$43.13	O management of the control of the c	MAX. FLOOR AREA RATIO	CONTRACTOR OF THE PARTY OF THE
3460000	¥	AND REPORTED AND AND AND AND AND AND AND AND AND AN	100 FT (TOTA 50 FT	§43.13	S	MIN. REAR YARD SETBA	entransporter and an entransporter
	NON-CONFORMITY	THE THE PARTY OF T	30 FT (SINGLE)	843.13	7	MIN. SIDE YARD SETBACK	A STATE OF THE PARTY OF T
-	(E) EXISTING	150 FT*	150 FT	§43.13 843.13		MIN. LOT WIDTH MIN FRONT YARD SETBACK	A STATE OF THE PARTY OF T
	Y Y	200 FT*	TOO FT	§43,13	A THE SECTION AND PARTIES AND A SECTION OF THE SECT	MIN. STREET FRONTAGE	and and the same
	(Y/N) (E) EXISTING	AND THE RESIDENCE TO A PROPERTY OF THE PROPERTY OF THE REAL PROPERTY OF THE PR	80,000 SF	§43.13		MIN. LOT AREA	and the second second
	MEETS REQ.	D PROPOSED	STANDARD	CODE	S	REQUIREMENTS	0.000
		ZONE: LIO (LIGHT INDUSTRIAL-OFFICE DISTRICT) ROUTE 303 ZONE OVERLAY DISTRICT USE: RESIDENTIAL (NOT PERMITTED IN THE LIO DISTRICT) - EXISTING NON-CONFORMITY PRELIMINARY ZONING INFORMATION PREPARED FOR THE R-80 RESIDENTIAL DISTRICT	EIO (LIGHT INDUSTRIAL-OFF ROUTE 303 ZONE OVERLAY DE ERMITTED IN THE LIO DISTRI FORMATION PREPARED FOR	ENTIAL (NOT F	SE: RESIDE		Charles Million Co.
		MATION	NG INFORMA	NONING			Th O'COL
	THE COLUMN PROCESSORY AND A PROCESSORY OF THE COLUMN PROCESSORY AND A PROC		0 -1		Comments and displaying the manage of purposes,		THE REAL PROPERTY.
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	A A Market was a second and a s	25'	CONTAINING EITHER NATURAL VEGETATION AND/OR CONTAINING SHRUBS AND/OR TREES A MIN OF 6' HIGH.		§13.10.B.3	LANDSCAPE BUFFER TO ROUTE 303	en la
			1 ANDSCAPE BURGER		§13.10.B.11	MAX. CURB CUTS PER PARCEL	our exchanges and a second
	~	N/A	(ON ANY SINGLE PARCEL OR CONTIGUOUS PARCELS)	150"	§13.10.B.11	MIN. DISTANCE BETWEEN CURB CUTS	documentario de la compansión de la comp
	(V) VARIANCE	121 STALLS (80.1%) LOCATED WITHIN REQUIRED FRONT YARD	35%	.10	§13.10.B.10	MAX. FRONT YARD PARKING	THE RESERVE AND ADDRESS OF THE PARTY OF THE
	MEETS REQ. (Y/N)	The state of the s	STANDARD		CODE	REQUIREMENTS	-
THE CONTROL OF THE CO		Y DISTRICT	3 OVERLA	TE 30			(municipal supering)
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	IED BETWEEN	PARKING AGREEMENT TO BE ESTABLISHED BI	AND	124 STALLS NLLS (INCL. 4 AC Y OVERALL DEN	3 = 123.72 = G = 151 STA ARE MET B	TOTAL REQUIRED PARKING = 123.72 = 124 STALLS TOTAL PROPOSED PARKING = 151 STALLS (INCL 4 ACCESSIBLE STALLS) *PARKING REQUIREMENTS ARE MET BY OVERALL DEVELOPMENT. ACCESS PROPERTIES 1	AND RESIDENCE OF THE PARTY OF T
	d and the management of the second		200 = 98.22 STALLS	.IN= 19,644 SF / STALLS 200 = 9 STALLS	IL TO REMA / 200 = 16.5 ! = 1,800 SF /	EXIST MULTI-TENANT RETA EXIST. SUBWAY = 3,300 SF / PROP. PIZZA RESTAURANT	According to the contract of t
escential displacements				3	9	REQUIRED PARKING:	ENCHOLOGIC TOLLES
				/200 SF OF GFA /75 SF OF GFA	1 STALL / 2 1 STALL / 7	RETAIL SALES & SERVICE = 1 STALL FAST FOOD RESTAURANT = 1 STALL RESTAURANT = 1 STALL / 100 SE OF	Althorization and the second
	~ ~	9' X 18'	9' X 18'	§5.34	STALL	MIN. ON-SITE PARKING ST	CONTRACTOR SECTIONS
		IREMENTS	G REQU	M	PA		SCO COCKETANION
	(V) VARIANCE	KEY= NON-CONFORMITY	1 1	TO THE			- Accompany
		1 STORY	\$3.12 1.00 \$3.12 22 FT SHODDING CENTER SURDIVISION LINE	\$3.12 \$3.12		MAX. FLOOR AREA RATIO MAX. BUILDING HEIGHT *CAI CIII ATED BASED ON OVERALI	CHANGES
a estada forma forma de la composição de l	Y	COMPLIES*	25 FT	§13.10.B.3		MIN. LANDSCAPE BUFFER TO RESIDENTIAL ZONE OR USE	
das do lacinda de la director de la companyo	Y		NONE, 25 FT IF PROVIDED (TOTAL)	§3.12 §3.12	Q ×	MIN. SIDE YARD SETBACK	CONTRACTOR OF THE PARTY OF THE
	Υ	OVIDED 257.8 FT* ED (SINGLE) 0 FT*	NONE, 45 FT IF PROVIDED	§3.12	ACK	MIN. FRONT YARD SETBACK	
			25 FT 25 FT	§3.12 §3.12		MIN. LOT FRONTAGE	CONTRACTOR
	(X/N)	261 150 SE*	STANDAKD 2.500 SF	83.12	V	MIN LOT AREA	SCALE PROPERTY OF THE PARTY OF
		CS (COMMUNITY SHOPPING DISTR	IA I ON FREFAKED FOR THE	ONING INFORM	IWIINAKY Z		DESCRIPTION OF THE PERSON NAMED AND POST OF T
odoteko uza Oznasubreljakopija		RETAIL (PERMITTED AS-OF-RIGHT IN CS DISTRICT) RESTAURANT (PERMITTED AS-OF-RIGHT IN CS DISTRICT) FAST FOOD RESTAURANT (NOT PERMITTED IN THE CS DISTRICT	(PERMITTED AS-OF-RIGHT II ANT (PERMITTED AS-OF-RIGH ESTAURANT (NOT PERMITTE	RETAIL RESTAUR, FAST FOOD R			
are and the second	M-dain-bidec-descriptions	ISTRICT	ROUTE 303 ZONE OVERLAY DUSES:	401		at protect and a second	William Chevrone
sendown	i de	A DISTRICT)	E: CS (COMMUNITY SHOPPIN	NOZ			MADERAND



JCA

2929 EXPRESSWAY DRIVE NORTH
HAUPPAUGE, NY 11749
Phone: (631) 738-1200
Fax: (631) 285-6464
www.BohlerEngineering.com

BOHLERING

PROPOSED
GROCERY STORE #1456
3-58 NYS ROUTE 303
TAPPAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NY 10983
SECTION 77.15 BLOCK 1
LOTS 33-37 & 41

LIDL U.S. OPERATIONS, PLANS

DEVELOPMENT

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Solon Safe System, Inc.

WWW.digsafelynewyork.com

AGENCY REVIEW & APPROVAL

2/17/2020 12/4/2019 OCLIENT COMMENTS
TOWN SITE PLAN
APPLICATION INITIAL TOWN **8** 7 6 7 6 7 8

DATE

REVISIONS

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SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
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Stand Stand

R

ZONING INHORMATION

ZONE: CS (COMMUNITY SHOPPING DISTRICT)

ROUTE 303 ZONE OVERLAY DISTRICT

SHOPPING CENTER

