

ZONING BOARD OF APPEALS

Town of Orangetown  
20 Greenbush Road  
Orangeburg, New York 10962  
(914) 359-8410 (ex. 4331)

Date: July 22, 2020

TO: OBAPAE

- Environmental Management and Engineering
- ✓ Rockland County Sewer District #1
- New York State Dept. of Transportation
- ✓ Palisades Interstate Park Commission
- Orange and Rockland Utilities
- Orangetown Highway
- Fire Prevention (Performance Standards)

- Rockland County Drainage ✓
- Rockland County Health ✓
- Rockland County Planning ✓
- Rockland County Highway ✓
- NYS DEC ✓
- US Army Corps ✓

Review of Plans: Henry Kaufmann Campgrounds, 667 Blauvelt Road, Pearl River, NY  
Section 69.10 Block 2 Lot 21 and Section 69.14 Block 1 Lot 28 R-80 zone

This matter is scheduled for:

Chapter 43, R-80 District, Section 4.32 (b)(i) "Yards, spacing of buildings and screenings . No buildings, tent, activity area or recreation facility shall be less than 300 feet from any lot line"

The following proposed structures require variances as follows:

- a) Amphitheatre 92Y-2 proposed setback- 161.8'
- b) Home base HB-92Y-7 proposed setback- 15.4'
- c) Home base HB-92Y-8 proposed setback- 283.4'
- d) Home base HB-92Y-9 proposed setback - 104.7'
- e) Home base HB-92Y-10 proposed setback- 214'
- f) Home base HB-92Y-11 proposed setback- 42.9'

Please review the information enclosed and provide comments. These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: [darbolino@orangetown.com](mailto:darbolino@orangetown.com) or
- Fax to the Town of Orangetown ZBA @845 359 8526

**Zoning Board Meeting Date: September 2, 2020**

- ( ) Comments attached
- ( ) No Comments at this time. Please send future correspondence for review.
- ( ) No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- ( ) This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, September 2, 2020** . **Kindly forward your completed review to this office by September 2, 2020.**

Reviewing Agency \_\_\_\_\_

Name \_\_\_\_\_ date: \_\_\_\_\_

Signature: \_\_\_\_\_

Thank you, Deborah Arbolino

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ZONING BOARD OF APPEALS Meeting 09  
SEP 09 2020  
Town Of Orangetown

No.	ISSUE OR REVISION	DATE
2	ZONING BOARD SUBMISSION	07.09.2020
1	PLANNING BOARD SUBMISSION	03.13.2020
No.	ISSUE OR REVISION	DATE

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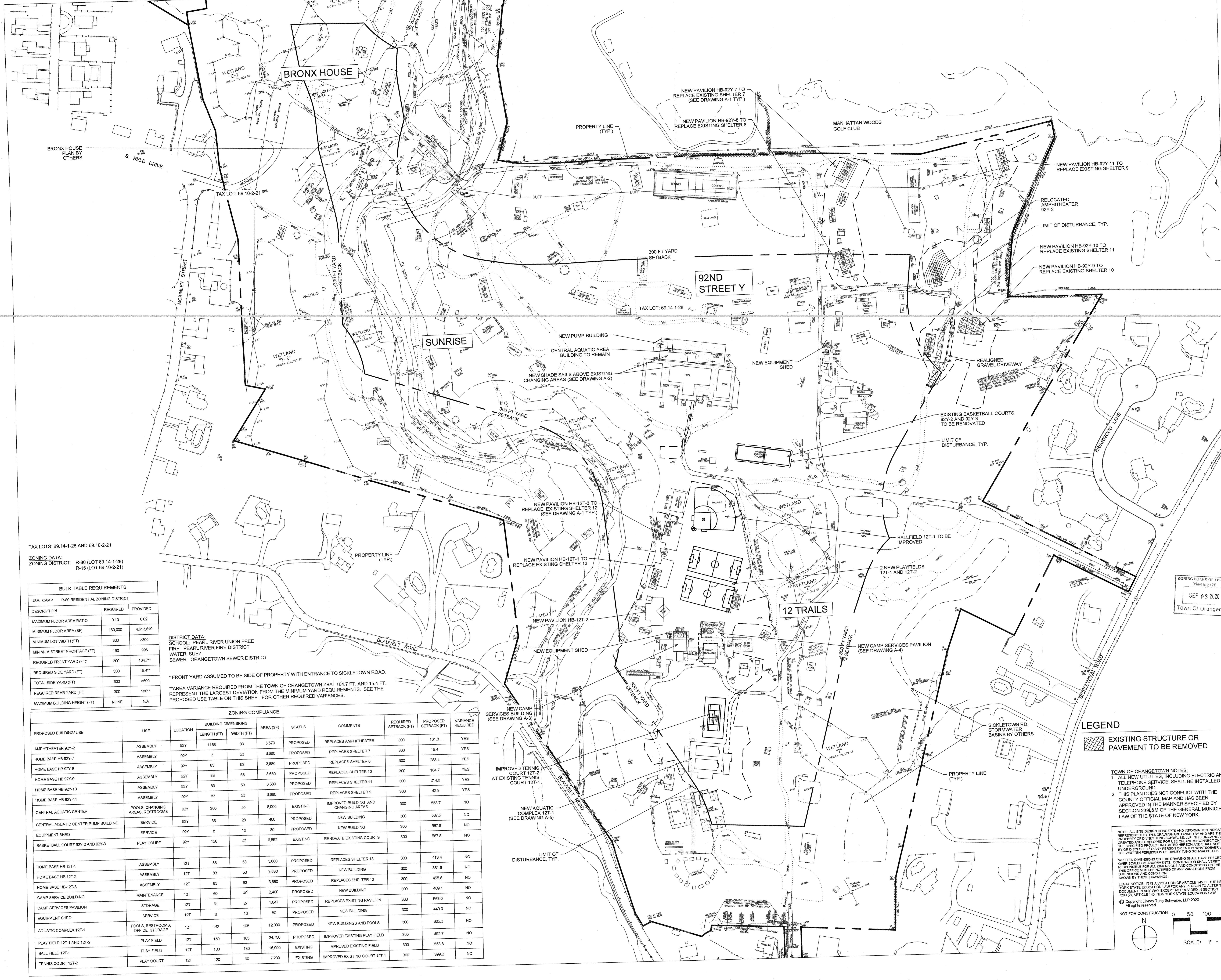
PROJECT TITLE  
**UJA FEDERATION NY**  
PEARL RIVER - 92Y / TWELVE TRAILS  
DAY CAMP PROPOSED IMPROVEMENTS  
667 BLAUVELT ROAD, PEARL RIVER  
(44 HENRY KAUFMANN ROAD)  
ORANGEBURG, NEW YORK 10962

AGENCY

DRAWING TITLE  
**92Y AND 12 TRAILS**  
SITE PLAN

STATE OF NEW YORK  
JULIUS M. CARLINI  
COUNTY OF ORANGE  
Professional Engineer  
06449

SCALE: 1" = 100'  
PROJECT NO. 841  
DRAWING NO. DMM  
CHECKED BY GMS  
DATE 03/13/20



TAX LOTS: 69.14-1-28 AND 69.10-2-21  
ZONING DATA: R-80 (LOT 69.14-1-28)  
ZONING DISTRICT: R-15 (LOT 69.10-2-21)

**BULK TABLE REQUIREMENTS**

DESCRIPTION	REQUIRED	PROVIDED
MAXIMUM FLOOR AREA RATIO	0.10	0.02
MINIMUM FLOOR AREA (SF)	160,000	4,613,619
MINIMUM LOT WIDTH (FT)	300	>300
MINIMUM STREET FRONTAGE (FT)	150	996
REQUIRED FRONT YARD (FT)	300	104.7**
REQUIRED SIDE YARD (FT)	300	15.4**
TOTAL SIDE YARD (FT)	600	>600
REQUIRED REAR YARD (FT)	300	186**
MAXIMUM BUILDING HEIGHT (FT)	NONE	N/A

DISTRICT DATA:  
SCHOOL: PEARL RIVER UNION FREE  
FIRE: PEARL RIVER FIRE DISTRICT  
WATER: SUEZ  
SEWER: ORANGETOWN SEWER DISTRICT

\* FRONT YARD ASSUMED TO BE SIDE OF PROPERTY WITH ENTRANCE TO SICKLETOWN ROAD.  
\*\* AREA VARIANCE REQUIRED FROM THE TOWN OF ORANGETOWN ZBA: 104.7 FT. AND 15.4 FT.  
REPRESENT THE LARGEST DEVIATION FROM THE MINIMUM YARD REQUIREMENTS. SEE THE PROPOSED USE TABLE ON THIS SHEET FOR OTHER REQUIREMENTS.

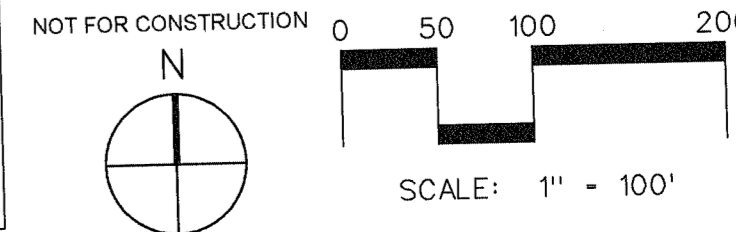
**ZONING COMPLIANCE**

PROPOSED BUILDING/USE	USE	LOCATION	BUILDING DIMENSIONS		AREA (SF)	STATUS	COMMENTS	REQUIRED SETBACK (FT)	PROPOSED SETBACK (FT)	VARIANCE REQUIRED
			LENGTH (FT)	WIDTH (FT)						
AMPHITHEATER 92Y-2	ASSEMBLY	92Y	1168	80	5,570	PROPOSED	REPLACES AMPHITHEATER	300	161.8	YES
HOME BASE HB-92Y-7	ASSEMBLY	92Y	3	53	3,680	PROPOSED	REPLACES SHELTER 7	300	15.4	YES
HOME BASE HB-92Y-8	ASSEMBLY	92Y	83	53	3,680	PROPOSED	REPLACES SHELTER 8	300	283.4	YES
HOME BASE HB-92Y-9	ASSEMBLY	92Y	83	53	3,680	PROPOSED	REPLACES SHELTER 10	300	104.7	YES
HOME BASE HB-92Y-10	ASSEMBLY	92Y	83	53	3,680	PROPOSED	REPLACES SHELTER 11	300	214.0	YES
HOME BASE HB-92Y-11	ASSEMBLY	92Y	83	53	3,680	PROPOSED	REPLACES SHELTER 9	300	42.9	YES
CENTRAL AQUATIC CENTER	POOLS, CHANGING AREAS, RESTROOMS	92Y	200	40	8,000	EXISTING	IMPROVED BUILDING AND CHANGING AREAS	300	553.7	NO
CENTRAL AQUATIC CENTER PUMP BUILDING	SERVICE	92Y	36	28	400	PROPOSED	NEW BUILDING	300	537.5	NO
EQUIPMENT SHED	SERVICE	92Y	8	10	80	PROPOSED	NEW BUILDING	300	567.8	NO
BASKETBALL COURT 92Y-2 AND 92Y-3	PLAY COURT	92Y	156	42	6,552	EXISTING	RENOVATE EXISTING COURTS	300	387.6	NO
HOME BASE HB-12T-1	ASSEMBLY	12T	83	53	3,680	PROPOSED	REPLACES SHELTER 13	300	413.4	NO
HOME BASE HB-12T-2	ASSEMBLY	12T	83	53	3,680	PROPOSED	NEW BUILDING	300	381.6	NO
HOME BASE HB-12T-3	ASSEMBLY	12T	83	53	3,680	PROPOSED	REPLACES SHELTER 12	300	455.6	NO
CAMP SERVICE BUILDING	MAINTENANCE	12T	60	40	2,400	PROPOSED	NEW BUILDING	300	469.1	NO
CAMP SERVICES PAVILION	STORAGE	12T	61	27	1,647	PROPOSED	REPLACES EXISTING PAVILION	300	563.0	NO
EQUIPMENT SHED	SERVICE	12T	8	10	80	PROPOSED	NEW BUILDING	300	449.0	NO
AQUATIC COMPLEX 12T-1	POOLS, RESTROOMS, OFFICE, STORAGE	12T	142	108	12,000	PROPOSED	NEW BUILDINGS AND POOLS	300	305.3	NO
PLAY FIELD 12T-1 AND 12T-2	PLAY FIELD	12T	150	166	24,750	PROPOSED	IMPROVED EXISTING PLAY FIELD	300	492.7	NO
BALL FIELD 12T-1	PLAY FIELD	12T	130	130	16,900	EXISTING	IMPROVED EXISTING FIELD	300	553.8	NO
TENNIS COURT 12T-2	PLAY COURT	12T	120	60	7,200	EXISTING	IMPROVED EXISTING COURT 12T-1	300	399.2	NO

**LEGEND**  
EXISTING STRUCTURE OR PAVEMENT TO BE REMOVED

**TOWN OF ORANGETOWN NOTES:**  
1. ALL NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.  
2. THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 238.14M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.

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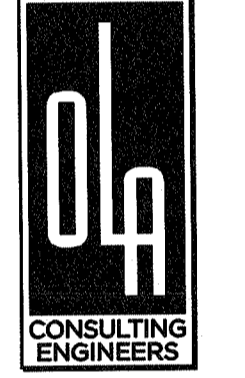
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PROJECT TITLE


**UJA FEDERATION NY**  
PEARL RIVER - 92Y / TWELVE TRAILS  
DAY CAMP PROPOSED IMPROVEMENTS

667 BLAUVELT ROAD, PEARL RIVER  
(44 HENRY KAUFMANN ROAD)  
ORANGETOWN, NEW YORK 10962

AGENCY

DRAWING TITLE


**EXISTING CONDITIONS**  
**AND REMOVALS PLAN**



SCALE	PROJECT NO.
DMM	841
DRAWN BY	DRAWING NO.
GMS	SP-1.0
CHECKED BY	
GMS	
DATE	
03/13/20	



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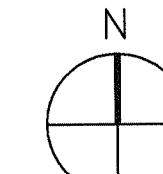
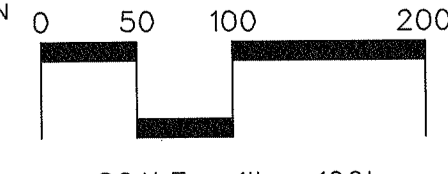
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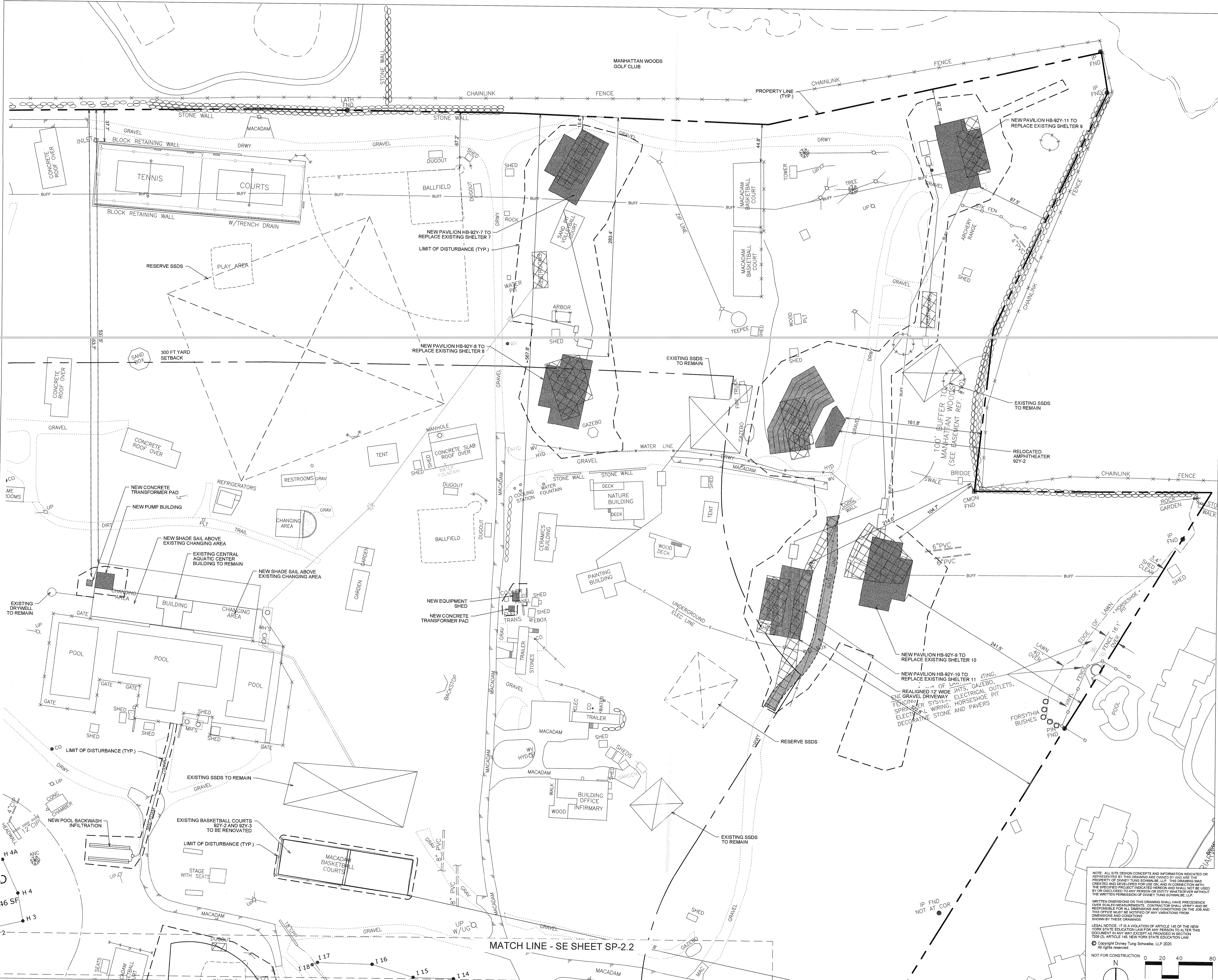
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AGENCY

DRAWING TITLE

**SITE LAYOUT PLAN**  
(92ND STREET Y)

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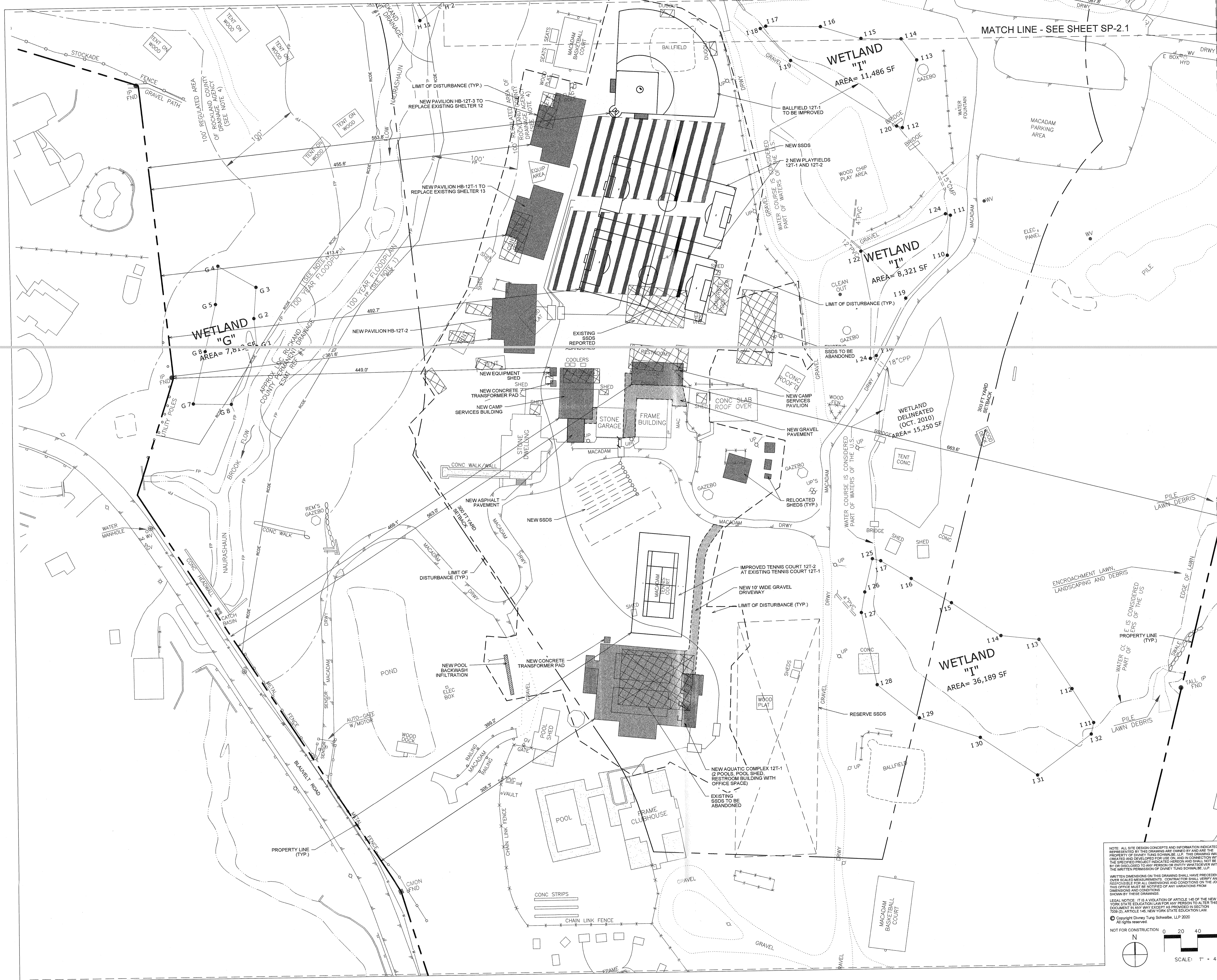
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SCALE: 1" = 40'

PROJECT NO. 841  
DRAWING NO. SP-2.1  
DATE 03/13/20



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 667 BLAUVELT ROAD, PEARL RIVER (44 HENRY KAUFMANN ROAD) ORANGETOWN, NEW YORK 10962

**SITE LAYOUT PLAN (12 TRAILS)**

SCALE: PROJECT NO. 841  
 DRAWN BY: DMM  
 CHECKED BY: GMS  
 DATE: 03/13/20

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ORANGETOWN, NEW YORK 10962

AGENCY

DRAWING TITLE

**SITE GRADING AND DRAINAGE PLAN**  
(92ND STREET Y)

SCALE: PROJECT NO. 841  
DRAWING NO. SP-3.1

DRAWN BY: MJS  
CHECKED BY: GMS  
DATE: 03/13/20

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0 20 40 80  
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MATCH LINE - SEE SHEET SP-3.2



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NEW YORK

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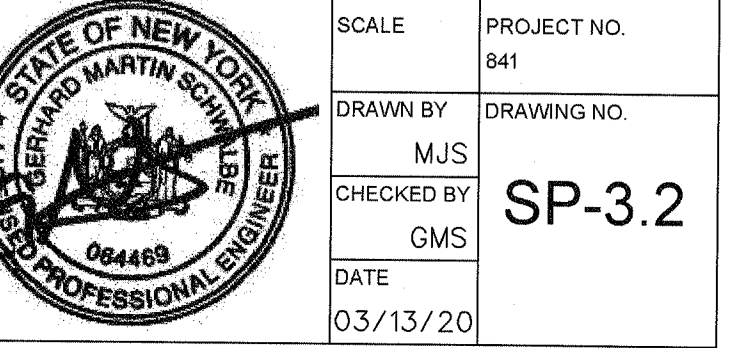
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ORANGEBURG, NEW YORK 10962

AGENCY

DRAWING TITLE  
**SITE GRADING AND DRAINAGE PLAN**  
(12 TRAILS)

SCALE	PROJECT NO.
SCALE	941
DRAWN BY	DRAWING NO.
MJS	
CHECKED BY	
GMS	
DATE	
03/13/20	



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NOT FOR CONSTRUCTION  
SCALE: 1" = 40'

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

### 2017 LAND USE BOARD APPLICATION

*Please check all that apply:*

<input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals  <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board  <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation  <div style="border: 1px solid black; padding: 5px; width: fit-content;">         PERMIT# _____          ASSIGNED _____          INSPECTOR: _____            Referred from Planning Board: YES / NO          If yes provide date of Planning Board meeting: _____       </div>
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Project Name: UJA - Henry Kaufmann Campground / Improvements

Street Address: 687 Blauvelt Road - P.O. Box 175  
Pearl River, N.Y. 10965

Tax Map Designation:

Section: <u>69.14</u>	Block: <u>1</u>	Lot(s): <u>28</u>
Section: <u>69.10</u>	Block: <u>2</u>	Lot(s): <u>21</u>

Directional Location:

On the North side of Blauvelt Rd, approximately 0 feet of the intersection of Blauvelt & Sickletown, in the Town of Orangetown in the hamlet/village of Pearl River

Acreage of Parcel <u>105.914</u>	Zoning District <u>R-80</u>
School District <u>Pearl River</u>	Postal District <u>Pearl River</u>
Ambulance District <u>Pearl River</u>	Fire District <u>Pearl River</u>
Water District <u>United Water</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*  
Updating existing camp facilities, and new structures and pools - Stage 2

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.  
 Date: 7/8/20 Applicant's Signature: [Signature]



### APPLICATION REVIEW FORM

Applicant: UJA Federation of N.Y. Phone # 212-980-1000

Address: 130 East 59th St N.Y. N.Y. 10022  
Street Name & Number (Post Office) City State Zip Code

Property Owner: Same As Above Phone # \_\_\_\_\_

Address: \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Divney Tung Schwalbe LLP Phone # 914-428-0010

Address: One North Broadway, Suite 1407 White Plains NY 10601  
Street Name & Number (Post Office) City State Zip Code

Attorney: Donald Brenner Phone # 845-359-2210

Address: 4 Independence Ave. Tappan N.Y. 10983  
Street Name & Number (Post Office) City State Zip Code

Contact Person: Donald Brenner Phone # 845-359-2210

Address: 4 Independence Ave Tappan NY 10983  
Street Name & Number (Post Office) City State Zip Code

### GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:  
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- State or County Road
- Long Path
- Municipal Boundary

- State or County Park
- County Stream
- County Facility

List name(s) of facility checked above:

Sickletown Road & Naurashaun Brook

Referral Agencies:

- RC Highway Department
- RC Drainage Agency
- NYS Dept. of Transportation
- NYS Thruway Authority
- Adjacent Municipality
- Other \_\_\_\_\_
- RC Division of Environmental Resources
- RC Dept. of Health
- NYS Dept. of Environmental Conservation
- Palisades Interstate Park Commission

**APPLICATION REVIEW FORM**

**FILL IN WHERE APPLICABLE.**

**( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )**

**If subdivision:**

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

**If site plan:**

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

**If special permit, list special permit use and what the property will be used for.**

\_\_\_\_\_

\_\_\_\_\_

**Environmental Constraints:**

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there streams on the site? If yes, please provide the names. \_\_\_\_\_

Are there wetlands on the site? If yes, please provide the names and type: \_\_\_\_\_

**Project History:**

Has this project ever been reviewed before? \_\_\_\_\_

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

\_\_\_\_\_

\_\_\_\_\_

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

\_\_\_\_\_

\_\_\_\_\_

**FROM:** Donald Brenner, P.E., LL.B  
**DATE:** March 20, 2020  
**RE:** Project - 20-2523F-3 Camp Improvements Stage 2  
92Y and 12 Trails Improvements

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**Project Description:**

The proposed project, which is a phase of and consistent with the Henry Kaufmann Campgrounds Master Plan, includes building, site and utility improvements for the 92Y and 12 Trails camp areas. The improvements are not proposed to increase the population of the camps but are proposed to enhance the experience of the current staff and camper populations. Of the 105.9 acre Henry Kaufmann Campground site, the combined areas of improvement for this phase are approximately 19 acres.

At the northeast corner of the site, within the 92Y camp area, the improvements include the removal of 4 homebases and 2 restroom buildings to be replaced by 4 new homebases that include restroom facilities. An existing amphitheater is proposed to be relocated further north and west so that it is more distant from adjacent neighbors. Existing septic areas will remain and be connected to the new homebase buildings.

In the southern portion of the site, within the 12 Trails camp area, the improvements include the removal of 2 homebases and 1 restroom building to be replaced by 3 new homebases that include restroom facilities. Two service/maintenance buildings will be removed and replaced with a new Camp Services Building and a Camp Services Pavilion for vehicle storage. A new aquatic complex with two pools, a lifeguard building and a storage shed will be located at the southernmost end of the improvement area. New septic systems with subsurface discharge are proposed to serve all the new buildings with restroom facilities and existing buildings to remain.

Between 92Y and 12 Trails, improvements to recreational areas are proposed including the renovation of two basketball courts, and the improvement of an existing grass play area with a baseball field and two new playfields. An existing tennis court will also be improved.

For the proposed improvements, new stormwater management structures are proposed to treat the stormwater runoff from buildings and pavement. Underground infiltration structures will capture and retain the runoff before it infiltrates into the ground.

HKCE 667 Blauvelt Rd, T/R 69.10-2-21, R-15 69.14-1-28; R-40 40 Lth  
38 Pss.

69.18-1-64 Megan O'Keefe 45 Lark St, Pearl River, NY 10965	392489 69.10-1-32 Martin Kerley 51 Casazza Pl Pearl River, NY 10965	392489 69.10-1-33 Thomas M Gernon 39 Duhaime Rd Pearl River, NY 10965
69.18-1-82 Orthodox Christian Church PO Box 759 Pearl River, NY 10965	392489 69.10-2-32.2 Brian Mc Garvey 169 S Reld Dr Pearl River, NY 10965	392489 69.19-1-65 Stuart Rasch 40 Sickletown Rd Pearl River, NY 10965
392489 69.19-1-64 Colin Webb 36 Sickletown Rd Pearl River, NY 10965	392489 69.10-2-15 Patrick Tobin 106 Duhaime Rd Pearl River, NY 10965	392489 69.10-2-16 Mary Louise O'Hara 102 Duhaime Rd Pearl River, NY 10965
392489 69.10-2-17 Andrew G Bologovsky 100 Duhaime Rd Pearl River, NY 10965	392489 69.10-2-18 Eileen Holahan 90 Duhaime Rd Pearl River, NY 10965	392489 69.10-2-19 John R Curley 82 Duhaime Rd Pearl River, NY 10965
392489 69.10-2-20 Margaret Thompson 66 Duhaime Rd Pearl River, NY 10965	392489 69.10-2-32.3 Michael Mc Carvill 163 S Reld Dr Pearl River, NY 10965	392489 69.10-2-22 James F Reiley 52 Duhaime Rd Pearl River, NY 10965
392489 69.10-2-23 Christopher W Wilson 46 Duhaime Rd Pearl River, NY 10965	392489 69.10-2-24 Glenn Hodne 40 Duhaime Rd Pearl River, NY 10965	392489 69.10-2-25 Michael Kleber 34 Duhaime Rd Pearl River, NY 10965
392489 69.10-2-26 James F O' Connor 28 Duhaime Rd Pearl River, NY 10965	392489 69.10-2-27 Brian P Teter 22 Duhaime Rd Pearl River, NY 10965	392489 69.10-2-28 Vicente Cueva 16 Duhaime Rd Pearl River, NY 10965
392489 69.10-2-31 Daniel O Casey 147 S Reld Dr Pearl River, NY 10965	392489 69.10-2-34 John R Carroll 62 Mc Kinley St Pearl River, NY 10965	392489 69.10-2-35 Edward Kleber 58 Mc Kinley St Pearl River, NY 10965
392489 69.10-2-36 Henry Reynolds 52 Mc Kinley St Pearl River, NY 10965	392489 69.10-2-37 Matthew Sullivan 45 Mc Kinley St Pearl River, NY 10965	Richard Duttwyler 59 McKinley St, Pearl River, NY 10965
392489 69.10-2-62 Michael Horan 65 Mc Kinley St Pearl River, NY 10965	392489 69.11-1-1 Manhattan Woods Enterprises One Ahlmeyer Dr W Nyack, NY 10994	392489 69.14-1-17 Patrick DeShaum 37 Mc Kinley St Pearl River, NY 10965

392489 69.14-2-19  
William D Bolles  
68 Lark St  
Pearl River, NY 10965

392489 69.14-2-20  
Michael B Haddican  
74 Lark St  
Pearl River, NY 10965

392489 69.14-2-21  
Kristin A O'Connor  
80 Lark St  
Pearl River, NY 10965

392489 69.14-2-22  
Daniel Murphy  
86 Lark St  
Pearl River, NY 10965

392489 69.15-1-1  
Philip Galdi  
5 Briarwood Ln  
Orangeburg, NY 10962

392489 69.15-1-2  
Thomas Gorman  
91 Sickletown Rd  
Orangeburg, NY 10962

392489 69.15-1-3  
Zhong Wei Zhang  
6 Briarwood Ln  
Orangeburg, NY 10962

392489 69.15-1-4  
Shay Furlong  
7 Briarwood Ln  
Orangeburg, NY 10962

392489 69.15-1-5  
David Gallet  
8 Briarwood Ln  
Orangeburg, NY 10962

392489 69.15-1-6  
Etem Haxhaj  
4 Briarwood Ln  
Orangeburg, NY 10962

392489 69.15-1-7  
James Cruz  
3 Briarwood Ln  
Orangeburg, NY 10962

392489 69.15-1-8  
Mark Comerford  
2 Briarwood Ln  
Orangeburg, NY 10962

392489 69.15-1-9  
Michael Nicodema  
1 Briarwood Ln  
Orangeburg, NY 10962

392489 69.15-1-10  
Victoria Gryshuk  
89 Sickletown Rd  
Orangeburg, NY 10962

392489 69.15-1-11  
Loretta Tito  
85 Sickletown Rd  
Orangeburg, NY 10962

392489 69.15-1-12  
Kevin T Mc Comack  
83 Sickletown Rd  
Orangeburg, NY 10962

392489 69.15-1-13  
Robert L Beers  
81 Sickletown Rd  
Orangeburg, NY 10962

392489 69.15-1-14  
John Torpey  
79 Sickletown Rd  
Orangeburg, NY 10962

392489 69.15-1-15  
Niall Conroy  
75 Sickletown Rd  
Orangeburg, NY 10962

392489 69.15-1-16  
Lisa Napolitano  
71 Sickletown Rd  
Orangeburg, NY 10962

392489 69.15-1-17  
James B Van Houten  
69 Sickletown Rd  
Orangeburg, NY 10962

392489 69.15-1-18  
Thomas P Reynolds  
65 Sickletown Rd  
Orangeburg, NY 10962

392489 69.15-1-19  
Patrick J Stapleton  
61 Sickletown Rd  
Orangeburg, NY 10962

392489 69.15-1-20  
Vincent Prainito  
57 Sickletown Rd  
Orangeburg, NY 10962

392489 69.15-1-21  
Naurashaun PresbyterianChurch  
51 Sickletown Rd  
Pearl River, NY 10965

392489 69.15-2-1  
Naurashaun Cemetery  
100 Sickletown Rd  
Pearl River, NY 10965

392489 69.18-1-80  
Frances Yeransian  
25 Robin St  
Pearl River, NY 10965

392489 69.18-1-81  
Town Of Orangetown  
26 Orangeburg Rd  
Orangeburg, NY 10962

392489 69.19-1-1  
Naurashaun PresbyterianChurch  
51 No Sickletown Rd  
Pearl River, NY 10965

392489 69.19-1-2  
Caitlin A McGee  
50 Sickletown Rd  
Orangeburg, NY 10962

392489 69.14-1-18  
William J Curley  
44 Mc Kinley St  
Pearl River, NY 10965

392489 69.14-1-19  
John P Conway  
34 Mc Kinley St  
Pearl River, NY 10965

392489 69.14-1-20  
Donato Siciliano  
26 Mc Kinley St  
Pearl River, NY 10965

392489 69.14-1-21  
Grace D Mowat  
18 Mc Kinley St  
Pearl River, NY 10965

392489 69.14-1-22  
Clifford Shannon  
537 Blauvelt Rd  
Pearl River, NY 10965

Christopher Rooney  
20 Van Zandt Dr,  
Pearl River, NY 10965

392489 69.19-1-63  
James Florio  
17 Peterson Ct  
Pearl River, NY 10965

Donald A Derisi  
555 Blauvelt Rd,  
Pearl River, NY 10965

392489 69.10-2-32.4  
Brian Donohue  
167 S Reld Dr  
Pearl River, NY 10965

392489 69.14-1-25  
Mark Foster  
567 Blauvelt Rd  
Pearl River, NY 10965

392489 69.14-1-26.1  
Kenneth Destefano  
591 Blauvelt Rd  
Pearl River, NY 10965

Stephen O'Shea  
595 Blauvelt Rd  
Pearl River, NY 10965

392489 69.14-1-26.3  
Brian Maloney  
601 Blauvelt Rd  
Pearl River, NY 10965

392489 69.14-1-27  
Brendan Mc Keever  
615 Blauvelt Rd  
Pearl River, NY 10965

392489 69.10-2-32.1  
Christopher Wooster  
159 S Reld Dr  
Pearl River, NY 10965

392489 69.14-1-29  
John Reynolds  
687 Blauvelt Rd  
Pearl River, NY 10965

392489 69.14-1-30  
Anthony Mazzella  
43 Sickletown Rd  
Orangeburg, NY 10962

392489 69.14-2-6  
Patricia M Duffy  
624 Blauvelt Rd  
Pearl River, NY 10965

392489 69.14-2-7  
Thomas Monahan  
632 Blauvelt Rd  
Pearl River, NY 10965

392489 69.14-2-8  
Gerald Moreau  
93 Lark St  
Pearl River, NY 10965

392489 69.14-2-9  
Karen O'Gorman  
92 Lark St  
Pearl River, NY 10965

392489 69.14-2-10  
Louis A Feher  
640 Blauvelt Rd  
Pearl River, NY 10965

392489 69.14-2-11  
County Of Rockland  
County Office Bldg  
New City, NY 10956

392489 69.14-2-12  
County Of Rockland  
County Office Bldg  
New City, NY 10956

392489 69.14-2-13  
County Of Rockland  
County Office Bldg  
New City, NY 10956

392489 69.14-2-14  
County Of Rockland  
County Office Bldg  
New City, NY 10956

392489 69.14-2-15  
Jeffrey Chanin  
17 Robin St  
Pearl River, NY 10965

392489 69.14-2-16  
John F Reynolds  
9 Robin St  
Pearl River, NY 10965

392489 69.14-2-17  
Charles W Flynn Jr  
3 Robin St  
Pearl River, NY 10965

392489 69.14-2-18  
Steven Harmon  
62 Lark St  
Pearl River, NY 10965

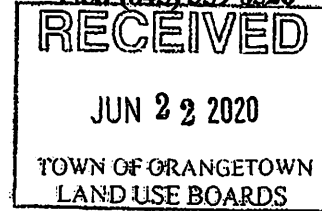


**OFFICE OF BUILDING, ZONING, PLANNING  
ADMINISTRATION AND ENFORCEMENT**  
TOWN OF ORANGETOWN  
20 GREENBUSH ROAD  
ORANGEBURG, N.Y. 10962

**Jane Slavin, RA**  
Director

(845) 359-8410

Fax: (845) 359-8526



Date: June 22, 2020

To: Cheryl Coopersmith, Chief Clerk  
Planning Board

From: Jane Slavin, RA.,  
Director O.B.Z.P.A.E.

Subject: **Henry Kaufmann Campground, Inc. Site Plan PB#20-31**  
**92Y and Camp 12 Trails**  
667 Blauvelt Road, Pearl River;  
69.14/1/28 & 69.10/2/21; R-80 zoning district

**Submission Reviewed:**

92Y & 12 Trails Site Plan Package as prepared by Diviny Tung Schwable, dated March 13, 2020.

- a) Overall site plan must have similar hatching/symbols/information as the Approved Master Plan for consistency.
- b) North Arrow must be shown on all plans.
- c) Applicant is advised that per RCDA, no permits can be issued until all existing RCDA violations are abated.

**92Y:**

- 1) The approved Master Plan calls for the replacement of the existing aquatic center with a new aquatic center building. However, drawing SP-0.2 indicates that the aquatic center is to remain, please clarify.
- 2) Is there any work proposed for the pool and apron area surrounding the pool?
- 3) A note on drawing SP-0.2 indicates a new 400 square foot pump building adjacent to the aquatic center, however there is no indication of a pump building on the approved Master Plan.
- 4) The approved Master Plan call for the following structures/work however, these items are not indicated on the SP-0.2 drawing, applicant must clarify if this work is proposed as part of this phase:
  - a) New gymnastics tent
  - b) Improved basketball courts 92Y 1&2 (Northeast corner of property)  
*Note: label for improved basketball court 92Y 2&3 should be relabeled to 92Y 3&4 on both the proposed drawings and on the Master Plan.*

5) Per Chapter 43, Article IV, Section 4.32(b)(i); "Yards, spacing of buildings and screenings. No buildings, tent, activity area or recreation facility shall be less than 300 feet from any lot line," The following proposed structures require variances as follows:

- a) Amphitheater 92Y-2 proposed setback- 161.8'
- b) Home base HB-92Y-7 proposed setback - 15.4'
- c) Home base HB-92Y-8 proposed setback - 283.4'
- d) Home base HB-92Y-9 proposed setback - 104.7'
- e) Home base HB-92Y-10 proposed setback - 214'
- f) Home base HB-92Y-11 proposed setback - 42.9'

**12 Trails:**

- 1) The approved Master Plan calls for the following structures/work however, these items are not indicated on the SP-0.2 drawing, applicant must clarify if this work is proposed as part of this phase:
  - a) New gymnastics tent
  - b) Nature hut
  - c) Office/First aid building – 12T-1
  - d) Amphitheatre
  - e) Basketball court renovation (court north of HB-12T-3)

**LEAF dated 3/20/2020 as prepared by Gerhard M. Schwalbe, P.E.:**

- 1) Page 4 of 13, item D.1(g)iii; Indicates a 2,400 square foot building to be heated or cooled. Applicant to advise which building and if the building is intended for year round use.
- 2) Page 5 of 13, item D.2(c)i; Total anticipated water usage/demand per day is indicated TBD, an actual estimated value must be indicated.
- 3) Page 6 of 13, item D.29(e)iii; Will stormwater runoff flow to adjacent properties? Applicant checked YES, Applicant to clarify.
- 4) Page 8 of 13, item D.2(p); Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons)? Applicant indicated YES. Under item ii and iii, applicant lists propane tank size to be determined and either buried or above ground near pool complex. The size, location, specification information and installation method must be provided.
- 5) Page 8 of 13, item D.2(q); Will the proposed action use pesticides during construction or operation? Applicant must select YES or NO and provide description of proposed treatments if any; and ii; Will the proposed action use integrated pest management practices? Applicant must select YES or NO and provide description of proposed treatments if any.