

Town of Orangetown Planning Board
Planning Board Meeting: Wednesday, May 27, 2020

Location: Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York Time: 7:30 P.M.

Project Name: Onyx Management/ Amazon Delivery Center Site Plan

Location of Parcel: The site is located at 200 and 400 Oritani Drive and 877 Western Highway, Blauvelt, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 65.18, Block 1, Lots 1 & 22 and Section 70.06, Block 1, Lot 1.12 in the LO zoning district.

Distribution:

Rockland County:

- *Planning Department*
- *Highway Department*
- *Park Commission*
- *Environmental Resources*
- *Drainage Agency*
- *Health Dept.*
- *Sewer District No. 1*

Town of Orangetown:

- *Drainage Consultant - Brooker*
- *OBZPA*
- *DEME*
- *Highway*
- *DTA*
- *Fire Prevention*
- *Traffic Advisory Board*
- *ZBA*

Other:

- *New York State Department of Environmental Conservation*
- *New York State Department of Transportation*
- *Army Corp of Engineers*
- *Orange and Rockland Utilities*
- *Suez*

Project Description: Prepreliminary/ Preliminary/ Final Site Plan Review

Please forward your completed review to this office by date of the Meeting. **If your comments are not received by this date, the Board assumes your agency does not have any comments.**

**Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962**

Planning Board Meeting of May 27, 2020

Project Name: Onyx Management/ Amazon Delivery Center Site Plan

Location of Parcel: The site is located at 200 and 400 Oritani Drive and 877 Western Highway, Blauvelt, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 65.18, Block 1, Lots 1 & 22 and Section 70.06, Block 1, Lot 1.12 in the LO zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.

If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

- **U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962**
- **Email to Planning Board at ccoopersmith@orangetown.com, or**
- **Fax to the Town of Orangetown Planning Board @845 359-8526**

- () Comments Attached (or to be provided prior to Meeting date noted above)
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

Dated: _____

Agency Name

By: _____

Please Print Name

Notice of Lead Agency Coordination

Town of Orangetown Planning Board Meeting of May 27, 2020

Meeting Time - 7:30 p.m.

Location: Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York

Project Name: Onyx Management/ Amazon Delivery Center Site Plan

Location of Parcel: The site is located at 200 and 400 Oritani Drive and 877 Western Highway, Blauvelt, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 65.18, Block 1, Lots 1 & 22 and Section 70.06, Block 1, Lot 1.12 in the LO zoning district.

Please be advised that the Orangetown Planning Board is in receipt of an application for Onyx Management/ Amazon Delivery Center Site Plan , and related Part 1, Environmental Assessment Form for the proposed for Plan. Among other approvals, the proposed requires a review of by the Orangetown Planning Board.

In accordance with the implementing regulations of the New York State Environmental Quality Review Act, found at Title 6 Part 617 NYCRR, the Town Planning Board at the meeting of **May 27, 2020**, will adopt a motion to (1) declare the proposed development an unlisted action; (2) identify other involved and interested agencies, and (3) initiate coordinated review of the proposed action pursuant to Title 6 Part 617 NYCRR.

The Planning Board has expressed its desire to serve as lead agency in the environmental quality review of this proposed development. The Planning Board believes that it is the most appropriate lead agency pursuant to the criteria for determining lead agency, as found at Title 6 Part 617.(e)(5).

Your agency has been identified as a potential involved agency. Accordingly, please consider this memorandum as notice that a lead agency must be designated within thirty (30) calendar days of this mailing. If you have any objection to the Planning Board's assumption of lead agency status, please respond within the prescribed time frame. Please see the attached response letter.

Please take note that if the attached letter is not received within 30 days of receipt of this mailing, the Town of Orangetown Planning Board assumes your agency does not have interest in being Lead Agency.

Town of Orangetown Planning Board

Town of Orangetown Planning Board
Planning Board Meeting: Wednesday, May 27, 2020

Meeting Time: 7:30 p.m.

Location: Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York

**Response to request that the Town of Orangetown Planning Board
BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:**

Project Name: Onyx Management/ Amazon Delivery Center Site Plan

Location of Parcel: The site is located at 200 and 400 Oritani Drive and 877 Western Highway, Blauvelt, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 65.18, Block 1, Lots 1 & 22 and Section 70.06, Block 1, Lot 1.12 in the LO zoning district.

On behalf of _____ (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

- CONSENTS that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.
- DOES NOT CONSENT to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that _____ serve as intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.
- TAKES NO POSITION on Lead Agency designation in this matter

Dated: _____

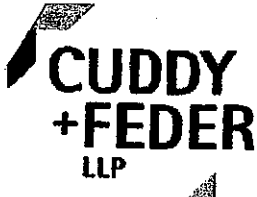
Agency Name

By: _____

Signature

Printed Name of Signer

Please return within 30 days by Fax: (845) 359-8526 E-mail:
ccoopersmith@aol.com



445 Hamilton Avenue, 14th Floor
White Plains, New York 10601
T 914 761 1300
F 914 761 5372
cuddyfeder.com

Rec. 3/27/20

Anthony B. Gioffre III
agioffre@cuddyfeder.com

*TOTS
4-20-20*

3/25/20

BY FEDEX AND ELECTRONIC MAIL

Chairman Thomas Warren
and Members of the Planning Board
Town of Orangetown Planning Board
20 Greenbush Road
Orangeburg, New York 10962

Re: Amazon.com Service Inc.
Site Plan Application
Premises: 877 Western Highway & 200-400 Oritani Drive, Blauvelt NY
Tax IDs: 65.18-1-1 & 65.18-1-18 & 70.06-1-1.12

Dear Chairman Warren and Members of the Planning Board:

On behalf of Amazon.com Services Inc. ("Amazon" or the "Applicant"), the lessee of the above referenced Premises, we respectfully submit the enclosed Town of Orangetown ("Town") Planning Board Application for Site Plan approval in connection with the site improvements related to Amazon's adaptive reuse of the existing warehouse structures at 200-400 Oritani Road and 877 Western Highway, Blauvelt, New York (the "Premises"). Amazon proposes to adaptively reuse the Premises for its delivery station which is the last-mile distribution facility wherein Amazon will unload bulk shipments of goods for delivery, sort the goods, and redistribute the goods onto smaller vans for local deliveries straight to its customers' doors. Amazons' proposed use and operations as described herein were approved by the Town Zoning Board of Appeals ("ZBA") in its Performance Standard Review approval as evidenced in resolutions dated January 22, 2020 which are enclosed hereto as **Exhibit E**. Amazon now seeks approval from the Planning Board to construct an approximately 23,744 s/f canopy over the existing paved parking area between the two existing buildings as well as other site improvements such as grading and re-striping various portions of the existing paved areas around the buildings. The proposed improvements comprise approximately 1.99 acres though only approximately 7,000 s/f of that consists of currently unpaved or impervious surface.

The Premises

The Premises consists of three separate parcels totaling approximately 37.6-acres located along the west side of Bradley Corporate Park, between Western Highway and Route 303. The Property is classified within the Town's Laboratory-Office ("LO") District. The warehousing and distribution uses are permitted pursuant to the New York Supreme Court, Rockland County decision in *Town of Orangetown v. Magee*, 156 Misc.2d 881 (Sup. Ct. 1992) in which the Court found vested rights in the use of the Property pursuant to the Orangetown Zoning Ordinance and Zoning Map as it existed in 1985. This determination has been confirmed by the ZBA in its resolutions enclosed as **Exhibit E**.



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Amazon currently leases the Premises from Onyx Management Group, LLC ("Onyx"). Prestige Motors and Dealer Tire have previously occupied the Premises and used it for warehousing and distribution uses. A portion of 400 Oritani Road is currently occupied by Accurate Moving Systems for warehousing and distribution purposes.

The Premises is situated in the Bradley Corporate Park and is mostly developed with either the two existing structures or the at-grade parking lot. The Premises is currently adjoined by railroad tracks on the east, commercial/light industrial uses to the north and south, and residential uses to the west. A new vegetated buffer will be developed along the western boundary as a condition of the recent Performance Standard Review approval which will further enhance the existing natural buffer separating the Premises from the residential uses. Access to and from the Premises will mostly occur from Route 303 by Bradley Hill Road across the train tracks. The Premises also has emergency access from Western Highway.

As indicated above, Amazon's delivery station will facilitate the "last mile" delivery of its customer orders. Amazon's fulfillment network is comprised of a variety of different building types and operations to ensure Amazon can meet the continued demand from its customers of low prices and great selection. Packages will arrive at the Premises from Amazon's fulfillment and sortation centers by truck and are then sorted and loaded onto delivery vans for delivery directly to Amazon's customers. Packages will arrive at the Premises by truck, totaling approximately 5-13 trips per day which will mostly occur between the hours of 11:00 p.m. and 8:00 a.m. The packages will be delivered directly to 400 Oritani and will then be loaded in one of the loading docks furthest from the residential properties. Packages will be sorted within the 400 Oritani building and prepared to be loaded onto sprinter vans for delivery directly to customers' doors. The delivery vans will queue and be loaded in the space between 200 Oritani and 400 Oritani before leaving the Premises.

Proposed Improvements

The ZBA's Performance Standard Review evaluated, among other things, the traffic, noise, refuse, waste, and other potential conditions related Amazon's use and occupancy. The ZBA issued Performance Standard Review approval as indicated in the resolutions enclosed as **Exhibit E** and found that, subject to certain conditions therein, Amazon's use and occupancy will not result in any such dangerous or objectionable conditions.

Amazon now seeks approval from the Planning Board to construct an approximately 23,744 s/f canopy between the two existing buildings as well as other site improvements, such as grading and re-striping various portions of the existing paved areas around the buildings. The proposed canopy will extend from the northwest side of 400 Oritani and will provide 14' clearance above the currently paved parking lot area. The canopy will allow Amazon's delivery vans to pull the delivery vans underneath the canopy to be loaded before leaving the site. The new canopy is not

expected to create any adverse visual impacts due to the existing dense natural buffer between the location of the proposed canopy and the nearby residences. Figures 1 and 2 show the area where the canopy is proposed (extending from the edge of the building on the left of both photographs to near the edge of the grass median) and the significant tree coverage separating the site and adjacent properties to the west.

Figure 1: Streetview looking westerly towards the location of proposed canopy showing the dense natural buffer in the background

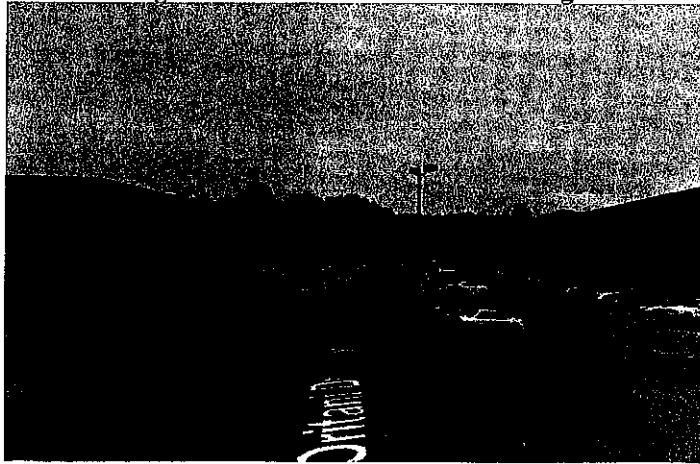


Figure 2: Aerial view of location of proposed canopy showing the dense natural buffer in the background





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Amazon also proposes to install a new ramp/graded transition which will allow the delivery vans to travel directly from the area south of 200 Oritani to the area north of 400 Oritani where the canopy will be installed and loading will occur. New pedestrian paths will be constructed throughout the site. The new pedestrian routes will facilitate safe pedestrian circulation throughout the site and allow vehicles to be parked within the 200 Oritani building and employees to safely travel to the 400 Oritani building where all sorting and loading will take place. Portions of the existing paved areas will also be restriped to appropriately direct site circulation.

Environmental Review

The construction of the proposed canopy and other site improvements constitute an "Unlisted" action under the New York State Environmental Quality Review Act ("SEQRA"). As demonstrated in this application and supporting materials, including the short Environmental Assessment Form enclosed as **Exhibit C**, the proposed improvements to the site will not have significant adverse environmental impacts.

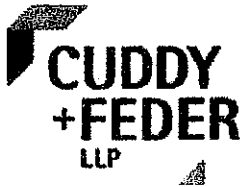
Materials Enclosed

In support of this application, enclosed please find 4 checks made payable to the Town of Orangetown: one in the amount of \$9,200 representing the Non-residential Site Plan Review Fee; one in the amount of \$3,500 representing the Commercial Site Plan Escrow Deposit; one in the amount of \$65 representing the GIS Database Fee; and one in the amount of \$150 representing the Legal Notice Fee. Additionally, please find 2 copies of this letter and the following materials:

- Exhibit A: Planning Board Application Packet;
- Exhibit B: Bargain and Sale Deed by BCPP Holding, LLC and JFM BIP, LLC to AG-OE 200 Oritani Drive Owner, L.L.C. dated May 1, 2019; Bargain and Sale Deed by BCPP Holding, LLC and JFM BIP, LLC to AG-OE 400 Oritani Drive Owner, L.L.C. dated May 1, 2019; Bargain and Sale Deed by BCPP Holding, LLC and JFM BIP, LLC to AG-OE 877 Western Highway Owner, L.L.C. dated May 1, 2019;
- Exhibit C: Short Environmental Assessment Form;
- Exhibit D: 200' abutters map and list;
- Exhibit E: Town of Orangetown Zoning Board of Appeals Resolutions for 400 Oritani Road and 200 Oritani Road confirming Conformance to Town Performance Standards Accepted with Specific Conditions dated January 22, 2020; and
- Exhibit F: Traffic Impact Statement for the Hudson Crossing Industrial Park prepared by Maser Consulting P.A. dated December 5, 2019.¹

Also enclosed, please find 2 copies of the Drainage Report prepared by CESO, Inc. dated March

¹ A full copy of the Traffic Impact Study with appendices is on file with the Town of Orangetown Office of Building, Zoning, Planning, Administration and Enforcement.



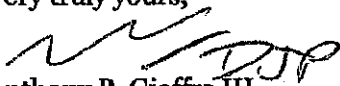
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12, 2020 and 2 copies of the Private Site Improvement Plans for DXY4 – Delivery Station 200 & 400 Oritani Drive prepared by CESO, Inc. dated March 12, 2020 which include:

- C1.0 Cover Sheet
- C2.0 General Notes
- C3.0 Demo Plan
- C4.0 Overall Site Plan
- C4.1 Site Plan West
- C4.2 Site Plan – Parking North
- C4.3 Site Plan – Parking Middle
- C4.4 Site Plan – Parking South
- C5.0 Grading Plan
- C6.0 SWPPP Notes
- C6.1 SWPPP Plan
- C6.2 SWPPP Plan 2
- C6.3 SWPPP Details
- C7.0 Construction Details
- C7.1 Construction Details
- C7.2 Construction Details
- C7.3 Construction Details
- C8.0 Signage Plan - Overall
- C8.1 Signage Plan - West
- C8.2 Signage Plan – Parking North
- C8.3 Signage Plan – Parking Middle
- C8.3 Signage Plan – Parking South
- SC-3 Photometric Plan
- A1.15 Canopy Plans and Elevations
- A1.16 Canopy Section and Details

The requisite 29 additional copies will be submitted to the Planning Board upon review and referral of this submission by Town Staff. The Applicant looks forward to appearing before the Planning Board at its next available meeting. Should the Planning Board or Town Staff have any questions or concerns in the interim, please do not hesitate to contact me. Thank you for your time and consideration in this matter.

Very truly yours,


Anthony B. Gioffre III

Attachments



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cc: Amazon.com Service Inc.
CESO, Inc.
Onyx Management Group, LLC (Landlord)
Seth Mandelbaum, Esq. (Attorney for Landlord)
Rona Korman, Esq. (Attorney for Landlord)

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 3/27/2020

2020 LAND USE BOARD APPLICATION

Please check all that apply:

<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: _____

ASSIGNED

INSPECTOR: _____

Referred from Planning Board: YES / NO
 if yes provide date of Planning Board meeting: _____

Project Name: Delivery Center

Street Address: 200 & 400 Oritani Drive, 877 Western Highway
Blauvelt, NY 10913

Tax Map Designation:
Section: 65.18 Block: 1 Lot(s): 1 & 22
Section: 70.06 Block: 1 Lot(s): 1.12

Directional Location:
On the west side of Route 303, approximately 900 feet west of the intersection of Bradley Hill Rd & NY 303, in the Town of ORANGETOWN in the hamlet/village of Blauvelt

Acreage of Parcel <u>9.749 (200) & 24.513 (400)</u>	Zoning District <u>LO</u>
School District <u>South Orangetown Central</u>	Postal District <u>Blauvelt</u>
Ambulance District <u>South Orangetown</u>	Fire District <u>FD 24 - West Nyack</u>
Water District <u>Sucz Water</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*
The applicant is proposing site improvements and interior renovation of the two existing one story brick warehouses in relation to the site's continued warehouse and distribution use. Proposed site improvements include construction of an approximately 23,744 s/f canopy, greenspace, and re-stripping and re-grading portions of the existing parking lot.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 3/29/20 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

Applicant: Amazon Services Inc. **Phone #** (206) 266-1000

Address: 410 Terry Avenue Seattle WA 98109
Street Name & Number (Post Office) City State Zip Code

Property Owner: See enclosed deeds **Phone #** n/a

Address: n/a n/a n/a n/a
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: CESO, Inc. **Phone #** _____

Address: 175 Montrose West Ave., Suite 400 Akron OH 44321
Street Name & Number (Post Office) City State Zip Code

Attorney: Cuddy & Feder LLP (c/o Daniel Patrick) **Phone #** (914) 761-1300

Address: 445 Hamilton Avenue, Floor 14 White Plains NY 10601
Street Name & Number (Post Office) City State Zip Code

Contact Person: Cuddy & Feder LLP (c/o Daniel Patrick) **Phone #** (914) 761-1300

Address: 445 Hamilton Avenue, Floor 14 White Plains NY 10601
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:

(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|---|---|
| <input checked="" type="checkbox"/> State or County Road
<input type="checkbox"/> Long Path
<input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> State or County Park
<input type="checkbox"/> County Stream
<input type="checkbox"/> County Facility |
|---|---|

List name(s) of facility checked above:

State Route 303

Referral Agencies:

- | | |
|--|---|
| <input type="checkbox"/> RC Highway Department
<input type="checkbox"/> RC Drainage Agency
<input type="checkbox"/> NYS Dept. of Transportation
<input checked="" type="checkbox"/> NYS Thruway Authority
<input type="checkbox"/> Adjacent Municipality _____
<input type="checkbox"/> Other _____ | <input type="checkbox"/> RC Division of Environmental Resources
<input type="checkbox"/> RC Dept. of Health
<input type="checkbox"/> NYS Dept. of Environmental Conservation
<input type="checkbox"/> Palisades Interstate Park Commission |
|--|---|

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? n/a
- 2) Is any open space being offered? n/a If so, what amount? n/a
- 3) Is this a standard or average density subdivision? n/a

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units ⁰ _____

If special permit, list special permit use and what the property will be used for.

n/a

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area No

Are there streams on the site? If yes, please provide the names No

Are there wetlands on the site? If yes, please provide the names and type:

No

Project History:

Has this project ever been reviewed before? Yes

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

ZBA Performance Standard Review (January 22, 2020) ZBA#20-08 & 20-09

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

n/a

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

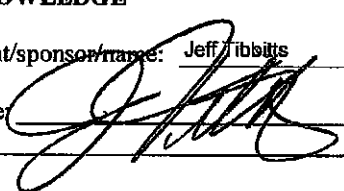
Part 1 – Project and Sponsor Information			
Delivery Center			
Name of Action or Project: Delivery Center at Hudson Crossing			
Project Location (describe, and attach a location map): 200 & 400 Oritani Drive, 877 Western Highway, Blauvelt, NY 10913			
Brief Description of Proposed Action: The applicant is proposing site improvements and a interior renovation of the two existing one story brick warehouse structures in relation to the site's continued warehouse and distribution use. Proposed site improvements include construction of an approximately 23,744 s/f canopy and re-striping and re-grading portions of the existing parking lot. The total site area is approximately 37.6 acres in size of which 1.99 acres will be disturbed.			
Name of Applicant or Sponsor: CESO, Inc.		Telephone: (407) 670-2881	
		E-Mail: dezort@cesoinc.com	
Address: 1323 Brookhaven Drive			
City/PO: Orlando		State: FL	Zip Code: 32803
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYSDEC Stormwater NPDES General Permit			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		37.6 acres	
b. Total acreage to be physically disturbed?		1.99 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		37.6 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies:			
_____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

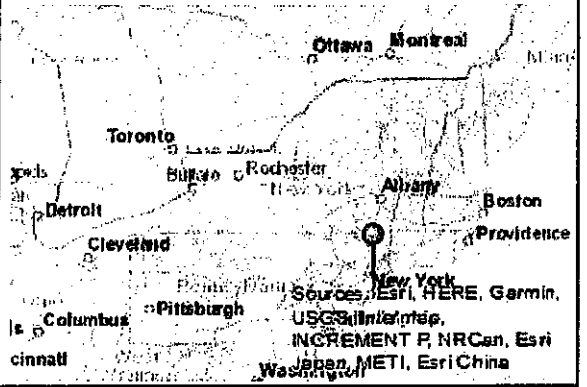
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional		
<input checked="" type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Runoff will be directed to a infiltration basin on-site to control and reduce the amount of runoff off-site. The infiltration basin will have an emergency spillway to limit release rates from larger storm events. The infiltration basin will discharge to the existing on-site stormwater management facility.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: The proposed infiltration basin is 3 feet in depth, the base of the pond is 1,795 square feet, and has a total storage volume of 7,339 cubic feet.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
According to the NYSDEC's environmental monitoring DECinfo Locator, the subject property is not identified as a remediation or hazardous waste site. The eastern adjoining properties are identified as remediation parcels included in the state superfund program.		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: Jeff Tibbits Date: 3/12/2020		
Signature:  Title: VP		

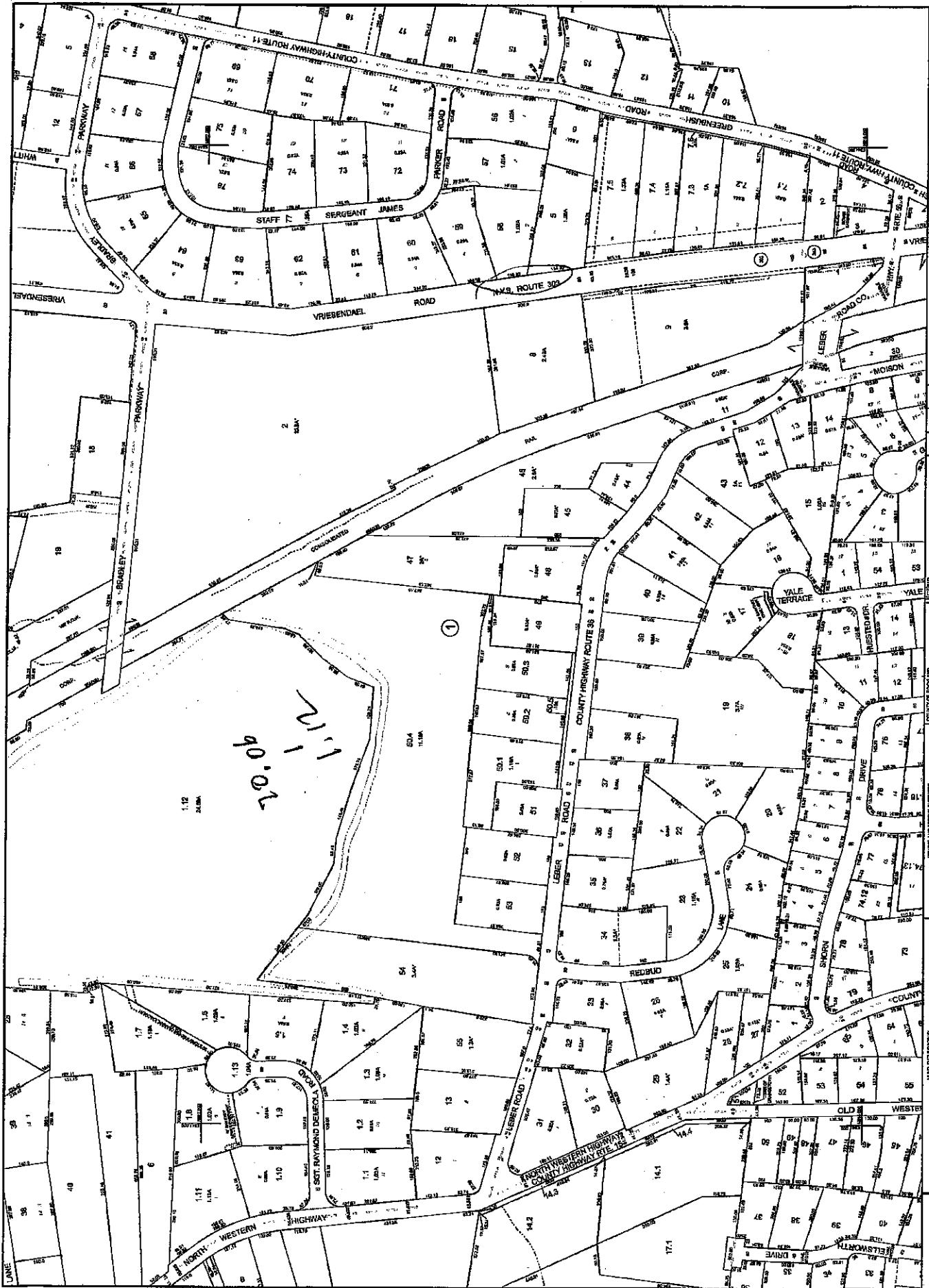
PRINT FORM




Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



- Part 1 / Question 7 [Critical Environmental Area] No
- Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] No
- Part 1 / Question 12b [Archeological Sites] Yes
- Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
- Part 1 / Question 15 [Threatened or Endangered Animal] No
- Part 1 / Question 16 [100 Year Flood Plain] No
- Part 1 / Question 20 [Remediation Site] Yes






 TOWN OF ORANGEBURG
 HANCOCK COUNTY, NEW YORK

REVISIONS THROUGH
FEBRUARY 28, 2019

NO.	DATE	DESCRIPTION
1	02/28/19	INITIAL RELEASE
2	02/28/19	REVISIONS
3	02/28/19	REVISIONS
4	02/28/19	REVISIONS
5	02/28/19	REVISIONS
6	02/28/19	REVISIONS
7	02/28/19	REVISIONS
8	02/28/19	REVISIONS
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100	02/28/19	REVISIONS

COUNTY OF HANCOCK
 TOWN OF ORANGEBURG
 MAP REVISIONS
 DATE: 02/28/19
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]
 TITLE: [Title]
 SCALE: [Scale]
 SHEET NO.: [Sheet No.]
 TOTAL SHEETS: [Total Sheets]



SEWALL
 ENGINEERS & ARCHITECTS
 100 NORTH WESTERN HIGHWAY
 WESTERLY, NEW YORK 12161
 TEL: 518.537.1234
 FAX: 518.537.1235
 WWW.SEWALL-ENR.COM

CONFORMANCE TO TOWN PERFORMANCE STANDARDS ACCEPTED WITH SPECIFIC CONDITIONS

To: Matt Flath (Onyx Amazon)
900 Route 9N Suite 400
Woodbridge, New Jersey 07095

ZBA #20-08
Date: January 22, 2020
Permit # 49589

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA#20-08: Applications of Onyx Management Group LLC: Amazon at Hudson Crossing requesting the Zoning Board of Appeals' review, and determination, of conformance with the Town of Orangetown Zoning Code (Orangetown Code Chapter 43) Section 4.12 Performance Standards review of last-mile distribution facilities, wherein lessee will unload shipments of goods for delivery to local destinations by delivery vans from buildings 200 Oritani Drive, Blauvelt, New York and are identified on the Orangetown Tax Map Section 65.18, Block 1, Lot 22 in the LO zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, January 22, 2020 at which time the Board made the determination hereinafter set forth.

Seth Mandelbaum, Attorney, Onyx Equities, LLC, Jamie Flynn, Real Estate Manager for Amazon, John Collins, Maser Consulting, Nicole Vasquez, Asset Manager, Matt Flath, Amazon, Leonard Cohen, Esq. Cuddy & Feder, Morgan H. Stanley, Onyx/ Amazon, appeared and testified.

The following documents were presented:

1. Plans labeled "Onyx Acquisition, LLC 200 Oritani Drive" dated 03/02/2019 with a revision date of 04/26/2019 signed and sealed by James D. Sens L.S. 2 pages with plans attached labeled "MEP Existing Site Conditions Plan 200 Oritani Drive dated 08/xx/2019 by David J. Mantone, P.E., not signed or sealed 2 pages.
2. Plans labeled "Onyx Acquisition, LLC 100 400 Oritani Drive" dated 03/02/2019 with a revision date of 04/03/2019 and signed and sealed by James D. Sens L.S. on 04/26/2019- 3 pages with plans attached labeled "MEP Existing Site Conditions Plan 400 Oritani Drive dated 08/xx/2019 by David J. Mantone, P.E., not signed or sealed 2 pages.
3. Traffic Impact Study dated December 5, 2019 by Maser Consulting P.A. signed by John T. Collins, Ph.D., P.E.
4. Short Environmental assessment Form Part 1.
5. A cover letter dated December 12, 2019 from Seth M. Mandelbaum, Attorney for Onyx Equities, LLC. (3 pages)
6. Resume of Operations (15 pages).
7. Memorandum dated January 9, 2020 from Eamon Reilly, P.E., Commissioner, Department of Environmental Management and Engineering, Town of Orangetown.

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8. Memorandum dated January 3, 2020 from Michael Weber, Industrial Treatment Coordinator, Department of Environmental Management and Engineering, Town of Orangetown with one page attachment.
9. Memorandum dated December 17, 2019 from Dylan Hofstiss, Junior Public Health Engineer and Zoning Enforcement Officer, Department of Environmental Management and Engineering, Town of Orangetown.
10. A memorandum dated January 7, 2020 from Bruce Peters, Engineer III, Department of Environmental Management and Engineering, Town of Orangetown with a letter dated July 10, 2019 addressed to the Planning board attached.
11. A memorandum dated January 3, 2020 from Michael Bettmann, Chief Fire Safety Inspector, Town of Orangetown.
12. A letter dated January 7, 2020 from the Rockland County Department of Planning signed by Douglas J. Schuetz, Acting Commissioner of Planning.
13. A letter dated January 10, 2020 from Seth M. Mandelbaum, Attorney for Onyx Management Group LLC.
14. A letter dated January 9, 2020 from the Rockland County Sewer District No.1 signed by Joseph LaFiandra, Engineer II.
15. A no comment letter dated January 15, 2020 from Rockland County Department of Health signed by Elizabeth Mello, P.E., Senior Public Health Engineer.
16. A no comment letter dated January 3, 2020 from Dyan Rajasingham, Rockland County Highway Department.
17. A letter dated January 17, 2020 from the New York State Department of Transportation signed by Mohammed S. Islam, Assistant Engineer.
18. A letter dated January 22, 2020 from John T. Collins, Ph. D., P.E., Maser Consulting, Executive Principal.

Mr. Sullivan, Chairman, made a motion to open the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

On advice of Denise Sullivan, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Mr. Sullivan moved for a Board determination, based upon the testimony heard by this Board and the facts as presented in the application submissions and in the record, that since the application seeks a Performance Standards Review for a proposed last mile distribution facility for Amazon.com Bulk parcel shipments will be shipped to the facility by truck, sorted, and loaded onto sprinter vans for delivery to their ultimate destination. The application is a Type II action exempt from the State Environmental Quality Review Act (SEQRA), pursuant to SEQRA Regulations §617.5 (e) (25); which does not require SEQRA environmental review. The motion was seconded by Ms. Castelli and carried as follows: Mr. Quinn, aye; Mr. Sullivan, aye; and Ms. Castelli, aye. Mr. Bosco was absent.

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Seth Mandelbaum, Attorney, testified that the use of 200 Oritani and 400 Oritani is not changing; but that the tenancy is changing. The applicant will only be using the parking field at 877 Western Highway. This operation will create 215 new jobs; that there will be five shifts a day and operations will be 7 days a week, 24 hours a day. The traffic study prepared by Maser Consulting was done with the full use of the buildings being taken into consideration; that there will not be fuel storage on site; that the loading docks are inward on the site; that there is a berm with evergreen plantings that will mitigate any impacts of the surrounding properties; that this is an adaptive use of the two buildings, 200 & 400 Oritani; that 877 Western Highway has parking that is associated with 200 Oritani; that there is enough room to park 160 Sprinter Vans on Site; that they will separate the Resume of Operations and Equipment into two applications, one for 200 Oritani and one for 400 Oritani; that they would appreciate approval for the full buildout because that is what the traffic study was done on; that they plan on using all 98, 536 sq. ft. of the 400 Oritani building by mid 2021; that presently they would not be using all of the loading docks at 400 Oritani and they will return for the full build out if the Board deems that to be necessary; that they will provide the Board with a planting plan for the southwest corner of 400 Oritani going two hundred (200') feet to the south and two hundred (200') feet to the west; and they appreciate the Boards consideration.

Jamie Flynn, Real Estate Manager for Amazon, testified that this site will be used for local deliveries; that the operation will use this space as a delivery station for local delivery by Sprinter vans; that this is an evolving operations and Amazon is trying to deliver faster and more efficiently; that the semi-trucks will be delivering to the site overnight hours, usually between 11:00 p.m. to 8:00 a.m.; that they are expecting about five to ten tractor trailers a night, at first; that they are planning on five shifts of delivery from the Sprinter vans and that would start from 7:00 or 7:30 a.m. and returning ten hours later; however that the revised delivery times may start at 10 a.m. and return no later than 8:00 p.m.; that the delivery area is within 45 miles of this delivery station; that Amazon is opening these stations all over the country; that there is enough parking for the Sprinter vans and the employees; that they will be using 7 loading docks and the drive -in door in phase I at 400 Oritani and the three drive -in doors will be used at 200 Oritani; that they will use the docks farthest away from the residences first; and that they will return for performance standards review if they must when they are at full operation of 400 Oritani.

John Collins, Principal Maser Consulting, author of the traffic study, testified that the traffic study was done for the warehouse operation at full use of the buildings (200 Oritani and 400 Oritani), and that would be 173,000 sq. ft. for both buildings. The traffic study was estimated for trucks, van and employees and heavy commuter traffic between 7:30 a.m. and 8:30 a.m. and 4:30 to 5:30 P.M.; and the report was for both 200 & 400 Oritani at their maximum use of both facilities; and that the traffic generated should not have a significant impact in the area.

Public Comment:

Dennis Noonan, 5 Sgt, DeMeola Road, Blauvelt, testified that he is not opposed to Amazon using this space; that he thinks it is a good use but he is concerned about the hours of operation and the larger trucks backing into the docks at night; that the reverse alarms on these trucks are loud; that he would ask for the semi-trucks to use the bays further away from the residents first and that he and his neighbors house at the corner of 400 Oritani are not heavily screened and more landscaping in that area may help to alleviate the noise.

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Dan Sullivan, Chairman, stated that the applicant shall not use bays 11 through 15 at 400 Oritani until they return for the second phase of Performance Standards when the entire building will be utilized.

The Board reviewed the Performance Standards and Fire Supplement forms.

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Mr. Sullivan made a motion to close the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing all of the documents submitted, the Board found and concluded that:

Based upon the information contained in the applicant's Resume of Operations and Equipment, and the Fire Prevention Supplement; the reports dated January 3, 2020 from Michael Weber, Chief Operator and Bruce Peters, Engineer III, memo dated January 7, 2020 Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); memo dated December 17, 2019, from Dylan Hofstiss, Junior Public Health Engineer and Zoning Enforcement Officer, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); the Memorandum dated January 9, 2020 from Eamon Reilly, PE, Commissioner, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); the report dated January 3, 2020 from Michael B. Bettmann, Chief Fire Inspector, Town of Orangetown Bureau of Fire Prevention (B.F.P.); Rockland County Department of Planning dated January 7, 2020 signed by Douglas J. Schuetz, Acting Commissioner of Planning; the report dated January 9, 2020 from the Rockland County Sewer District No.1 signed by Joseph LaFiandra, Engineer II; the report from the New York State Department of Transportation dated January 17, 2020 signed by Mohammed S. Islam, Assistant Engineer; the other documents submitted to the Board, and the testimony of Applicant's representatives, the Board finds and concludes that the application conforms with the Performance Standards set forth in Zoning Code Section 4.1, subject to compliance with the orders, rules and regulations of the Orangetown Office of Building, Zoning & Planning Administration & Enforcement, D.E.M.E., B.F.P., and all other departments having jurisdiction of the premises.

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DECISION: In view of the foregoing and the testimony and documents submitted, the Board: RESOLVED that the Application for Performance Standards Conformance, pursuant to Zoning Code § 4.1, is APPROVED with the following SPECIFIC CONDITIONS that the Applicant: (1) **Submit two revised Resume of Operations (200 Oritani and 400 Oritani) that complies with the comments contained in:** (1) report dated January 3, 2020 from Michael Weber, Chief Operator (2) Bruce Peters, Engineer III, memo dated January 7, 2020 Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.);(3) memo dated December 17, 2019, from Dylan Hofstiss, Junior Public Health Engineer and Zoning Enforcement Officer, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (4) the Memorandum dated January 9, 2020 from Eamon Reilly, PE, Commissioner, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (5) the report dated January 3, 2020 from Michael B. Bettmann, Chief Fire Inspector, Town of Orangetown Bureau of Fire Prevention (B.F.P.);(6) Rockland County Department of Planning dated January 7, 2020 signed by Douglas J. Schuetz, Acting Commissioner of Planning; (6) the report dated January 9, 2020 from the Rockland County Sewer District No.1 signed by Joseph LaFiandra, Engineer II;(7) the report from the New York State Department of Transportation dated January 17, 2020 signed by Mohammed S. Islam, Assistant Engineer;(8) the applicant shall submit a planting plan for the southwest corner of 400 Oritani that includes evergreen planting 200' to the south and 200' to the west with a maintenance plan to ensure that the neighbors properties remain shielded from the activity at 400 Oritani as much as possible; **AND FURTHER RESOLVED**, that the applicants shall return for additional PERFORMANCE STANDARDS REVIEW OF OPERATIONS AT 400 ORITANI PRIOR TO EXPANDING TO FULL USE OF THE 400 ORITANI BUILDING; **AND STILL FURTHER RESOLVED** that the applicant shall FIRST UTILIZE THE TEN LOADING DOCKS AT 400 Oritani farthest away from the adjacent residential neighborhood (the southwest corner of 400 Oritani) for incoming deliveries prior to using any other loading docks; that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

General Conditions:

(i) The approval of any variance, Performance Standards Conformance, or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.

(ii) Any approval of a variance, Performance Standards Conformance, or Special Permit by the Board is limited to the specific variance, Performance Standards Conformance, or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

(iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any Performance Standards Conformance, variances, or Special Permit being requested.

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(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance, Performance Standards Conformance, or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.


(v) Any approved variance, Performance Standards Conformance, or Special Permit will lapse if any contemplated construction of the project or any use for which the variance, Performance Standards Conformance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision, or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

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The foregoing Resolution, to approve the application for the requested conformance to Performance Standards with the following conditions that the applicant: (1) **Submit two revised Resume of Operations (200 Oritani and 400 Oritani) that complies with the comments contained in:** (1) report dated January 3, 2020 from Michael Weber, Chief Operator (2) Bruce Peters, Engineer III, memo dated January 7, 2020 Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.);(3) memo dated December 17, 2019, from Dylan Hofsis, Junior Public Health Engineer and Zoning Enforcement Officer, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (4) the Memorandum dated January 9, 2020 from Eamon Reilly, PE, Commissioner, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (5) the report dated January 3, 2020 from Michael B. Bettmann, Chief Fire Inspector, Town of Orangetown Bureau of Fire Prevention (B.F.P.);(6) Rockland County Department of Planning dated January 7, 2020 signed by Douglas J. Schuetz, Acting Commissioner of Planning; (6) the report dated January 9, 2020 from the Rockland County Sewer District No.1 signed by Joseph LaFiandra, Engineer II;(7) the report from the New York State Department of Transportation dated January 17, 2020 signed by Mohammed S. Islam, Assistant Engineer;(8) the applicant shall submit a planting plan for the southwest corner of 400 Oritani that includes evergreen planting 200' to the south and 200' to the west with a maintenance plan to ensure that the neighbors properties remain shielded from the activity at 400 Oritani as much as possible; **AND FURTHER RESOLVED**, that the applicants shall return for additional PERFORMANCE STANDARDS REVIEW OF OPERATIONS AT 400 ORITANI PRIOR TO EXPANDING TO FULL USE OF THE 400 ORITANI BUILDING; **AND STILL FURTHER RESOLVED** that at the 400 Oritani location, the applicant shall first utilize the ten docks farthest away from the adjacent residential neighborhood (the southwest corner of 400 Oritani) for incoming deliveries prior to using any other loading docks; was presented and moved by Mr. Sullivan, seconded by Mr. Quinn and carried as follows: Mr. Quinn, aye; Mr. Sullivan, aye, and Ms. Castelli, aye. Mr. Bosco was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.
DATED: January 22, 2020

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Deborah Arbolino
Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR- G.M.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGMT. and ENGINEERING
FILE ZBA, PB
CHAIRMAN, ZBA, PB, ACAIBOR

TOWN OF ORANGETOWN
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TOWN CLERK'S OFFICE

**CONFORMANCE TO TOWN PERFORMANCE STANDARDS ACCEPTED WITH
SPECIFIC CONDITIONS**

To: Matt Flath (Onyx Amazon)
900 Route 9N Suite 400
Woodbridge, New Jersey 07095

ZBA # 20-09
Date: January 22, 2020
Permit # 49591

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA#20-09: Applications of Onyx Management Group LLC: Amazon at Hudson Crossing requesting the Zoning Board of Appeals' review, and determination, of conformance with the Town of Orangetown Zoning Code (Orangetown Code Chapter 43) Section 4.12 Performance Standards review of last-mile distribution facilities, wherein lessee will unload shipments of goods for delivery to local destinations by delivery vans from building 400 Oritani Drive, Blauvelt, New York and are identified on the Orangetown Tax Map as Section 70.06, Block 1, Lot 1.12 in the LO zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, January 22, 2020 at which time the Board made the determination hereinafter set forth.

Seth Mandelbaum, Attorney, Onyx Equities, LLC, Jamie Flynn, Real Estate Manager for Amazon, John Collins, Maser Consulting, Nicole Vasquez, Asset Manager, Matt Flath, Amazon, Leonard Cohen, Esq. Cuddy & Feder, Morgan H. Stanley, Onyx/ Amazon, appeared and testified.

The following documents were presented:

1. Plans labeled " Onyx Acquisition, LLC 200 Oritani Drive" dated 03/02/2019 with a revision date of 04/26/2019 signed and sealed by James D. Sens L.S. 2 pages with plans attached labeled " MEP Existing Site Conditions Plan 200 Oritani Drive dated 08/xx/2019 by David J. Mantone, P.E., not signed or sealed 2 pages.
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5. A cover letter dated December 12, 2019 from Seth M. Mandelbaum, Attorney for Onyx Equities, LLC. (3 pages)
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15. A no comment letter dated January 15, 2020 from Rockland County Department of Health signed by Elizabeth Mello, P.E., Senior Public Health Engineer.
16. A no comment letter dated January 3, 2020 from Dyan Rajasingham, Rockland County Highway Department.
17. A letter dated January 17, 2020 from the New York State Department of Transportation signed by Mohammed S. Islam, Assistant Engineer.
18. A letter dated January 22, 2020 from John T. Collins, Ph. D., P.E., Maser Consulting, Executive Principal.

Mr. Sullivan, Chairman, made a motion to open the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

On advice of Denise Sullivan, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Mr. Sullivan moved for a Board determination, based upon the testimony heard by this Board and the facts as presented in the application submissions and in the record, that since the application seeks a Performance Standards Review for a proposed last mile distribution facility for Amazon.com Bulk parcel shipments will be shipped to the facility by truck, sorted, and loaded onto sprinter vans for delivery to their ultimate destination; in a zoned LO lot, the application is a Type II action exempt from the State Environmental Quality Review Act (SEQRA), pursuant to SEQRA Regulations §617.5 (c) (25); which does not require SEQRA environmental review. The motion was seconded by Ms. Castelli and carried as follows: Mr. Quinn, aye; Mr. Sullivan, aye; and Ms. Castelli, aye. Mr. Bosco was absent.

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Seth Mandelbaum, Attorney, testified that the use of 200 Oritani and 400 Oritani is not changing; but that the tenancy is changing. The applicant will only be using the parking field at 877 Western Highway. This operation will create 215 new jobs; that there will be five shifts a day and operations will be 7 days a week, 24 hours a day. The traffic study prepared by Maser Consulting was done with the full use of the buildings being taken into consideration; that there will not be fuel storage on site; that the loading docks are inward on the site; that there is a berm with evergreen plantings that will mitigate any impacts of the surrounding properties; that this is an adaptive use of the two buildings, 200 & 400 Oritani; that 877 Western Highway has parking that is associated with 200 Oritani; that there is enough room to park 160 Sprinter Vans on Site; that they will separate the Resume of Operations and Equipment into two applications, one for 200 Oritani and one for 400 Oritani; that they would appreciate approval for the full buildout because that is what the traffic study was done on; that they plan on using all 98, 536 sq. ft. of the 400 Oritani building by mid 2021; that presently they would not be using all of the loading docks at 400 Oritani and they will return for the full build out if the Board deems that to be necessary; that they will provide the Board with a planting plan for the southwest corner of 400 Oritani going two hundred (200') feet to the south and two hundred (200') feet to the west; and they appreciate the Boards consideration.

Jamie Flynn, Real Estate Manager for Amazon, testified that this site will be used for local deliveries; that the operation will use this space as a delivery station for local delivery by Sprinter vans; that this is an evolving operations and Amazon is trying to deliver faster and more efficiently; that the semi-trucks will be delivering to the site overnight hours, usually between 11:00 p.m. to 8:00 a.m.; that they are expecting about five to ten tractor trailers a night, at first; that they are planning on five shifts of delivery from the Sprinter vans and that would start from 7:00 or 7:30 a.m. and returning ten hours later; however that the revised delivery times may start at 10 a.m. and return no later than 8:00 p.m.; that the delivery area is within 45 miles of this delivery station; that Amazon is opening these stations all over the country; that there is enough parking for the Sprinter vans and the employees; that they will be using 7 loading docks and the drive-in door in phase I at 400 Oritani and the three drive-in doors will be used at 200 Oritani; that they will use the docks farthest away from the residences first; and that they will return for performance standards review if they must when they are at full operation of 400 Oritani.

John Collins, Principal Maser Consulting, author of the traffic study, testified that the traffic study was done for the warehouse operation at full use of the buildings (200 Oritani and 400 Oritani), and that would be 173,000 sq. ft. for both buildings. The traffic study was estimated for trucks, van and employees and heavy commuter traffic between 7:30 a.m. and 8:30 a.m. and 4:30 to 5:30 P.M.; and the report was for both 200 & 400 Oritani at their maximum use of both facilities; and that the traffic generated should not have a significant impact in the area.

Public Comment:

Dennis Noonan, 5 Sgt, DeMeola Road, Blauvelt, testified that he is not opposed to Amazon using this space; that he thinks it is a good use but he is concerned about the hours of operation and the larger trucks backing into the docks at night; that the reverse alarms on these trucks are loud; that he would ask for the semi-trucks to use the bays further away from the residents first and that he and his neighbors house at the corner of 400 Oritani are not heavily screened and more landscaping in that area may help to alleviate the noise.

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Dan Sullivan, Chairman, stated that the applicant shall not use bays 11 through 15 at 400 Oritani until they return for the second phase of Performance Standards when the entire building will be utilized.

The Board reviewed the Performance Standards and Fire Supplement forms.

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Mr. Sullivan made a motion to close the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing all of the documents submitted, the Board found and concluded that:

Based upon the information contained in the applicant's Resume of Operations and Equipment, and the Fire Prevention Supplement; the reports dated January 3, 2020 from Michael Weber, Chief Operator and Bruce Peters, Engineer III, memo dated January 7, 2020 Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); memo dated December 17, 2019, from Dylan Hofstiss, Junior Public Health Engineer and Zoning Enforcement Officer, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); the Memorandum dated January 9, 2020 from Eamon Reilly, PE, Commissioner, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); the report dated January 3, 2020 from Michael B. Bettmann, Chief Fire Inspector, Town of Orangetown Bureau of Fire Prevention (B.F.P.); Rockland County Department of Planning dated January 7, 2020 signed by Douglas J. Schuetz, Acting Commissioner of Planning; the report dated January 9, 2020 from the Rockland County Sewer District No.1 signed by Joseph LaFiandra, Engineer II; the report from the New York State Department of Transportation dated January 17, 2020 signed by Mohammed S. Islam, Assistant Engineer; the other documents submitted to the Board, and the testimony of Applicant's representatives, the Board finds and concludes that the application conforms with the Performance Standards set forth in Zoning Code Section 4.1, subject to compliance with the orders, rules and regulations of the Orangetown Office of Building, Zoning & Planning Administration & Enforcement, D.E.M.E., B.F.P., and all other departments having jurisdiction of the premises.

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DECISION: In view of the foregoing and the testimony and documents submitted, the Board: RESOLVED that the Application for Performance Standards Conformance, pursuant to Zoning Code § 4.1, is APPROVED with the following SPECIFIC CONDITIONS that the Applicant: (1) **Submit two revised Resume of Operations (200 Oritani and 400 Oritani) that complies with the comments contained in:** (1) report dated January 3, 2020 from Michael Weber, Chief Operator (2) Bruce Peters, Engineer III, memo dated January 7, 2020 Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.);(3) memo dated December 17, 2019, from Dylan Hofstiss, Junior Public Health Engineer and Zoning Enforcement Officer, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (4) the Memorandum dated January 9, 2020 from Eamon Reilly, PE, Commissioner, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (5) the report dated January 3, 2020 from Michael B. Bettmann, Chief Fire Inspector, Town of Orangetown Bureau of Fire Prevention (B.F.P.);(6) Rockland County Department of Planning dated January 7, 2020 signed by Douglas J. Schuetz, Acting Commissioner of Planning; (6) the report dated January 9, 2020 from the Rockland County Sewer District No.1 signed by Joseph LaFiandra, Engineer II;(7) the report from the New York State Department of Transportation dated January 17, 2020 signed by Mohammed S. Islam, Assistant Engineer;(8) the applicant shall submit a planting plan for the southwest corner of 400 Oritani that includes evergreen planting 200' to the south and 200' to the west with a maintenance plan to ensure that the neighbors properties remain shielded from the activity at 400 Oritani as much as possible; **AND FURTHER RESOLVED**, that the applicants shall return for additional PERFORMANCE STANDARDS REVIEW OF OPERATIONS AT 400 ORITANI PRIOR TO EXPANDING TO FULL USE OF THE 400 ORITANI BUILDING; **AND STILL FURTHER RESOLVED** that at the 400 Oritani location, the applicant shall first utilize the ten loading docks at 400 Oritani farthest away from the adjacent residential neighborhood (the southwest corner of 400 Oritani) for incoming deliveries prior to using any other loading docks; that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

General Conditions:

(i) The approval of any variance, Performance Standards Conformance, or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.

(ii) Any approval of a variance, Performance Standards Conformance, or Special Permit by the Board is limited to the specific variance, Performance Standards Conformance, or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

(iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any Performance Standards Conformance, variances, or Special Permit being requested.

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(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance, Performance Standards Conformance, or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

(v) Any approved variance, Performance Standards Conformance, or Special Permit will lapse if any contemplated construction of the project or any use for which the variance, Performance Standards Conformance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision, or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

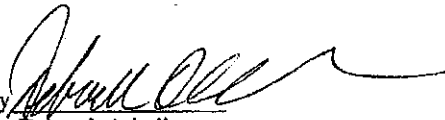
TOWN OF ORANGETOWN
2020 FEB 11 A 10: 07
TOWN CLERK'S OFFICE

The foregoing Resolution, to approve the application for the requested conformance to Performance Standards with the following conditions that the applicant: (1) **Submit two revised Resume of Operations (200 Oritani and 400 Oritani) that complies with the comments contained in:** (1) report dated January 3, 2020 from Michael Weber, Chief Operator (2) Bruce Peters, Engineer III, memo dated January 7, 2020 Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.);(3) memo dated December 17, 2019, from Dylan Hofsis, Junior Public Health Engineer and Zoning Enforcement Officer, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (4) the Memorandum dated January 9, 2020 from Eamon Reilly, PE, Commissioner, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (5) the report dated January 3, 2020 from Michael B. Bettmann, Chief Fire Inspector, Town of Orangetown Bureau of Fire Prevention (B.F.P.);(6) Rockland County Department of Planning dated January 7, 2020 signed by Douglas J. Schuetz, Acting Commissioner of Planning; (6) the report dated January 9, 2020 from the Rockland County Sewer District No.1 signed by Joseph LaFiandra, Engineer II;(7) the report from the New York State Department of Transportation dated January 17, 2020 signed by Mohammed S. Islam, Assistant Engineer;(8) the applicant shall submit a planting plan for the southwest corner of 400 Oritani that includes evergreen planting 200' to the south and 200' to the west with a maintenance plan to ensure that the neighbors properties remain shielded from the activity at 400 Oritani as much as possible; **AND FURTHER RESOLVED**, that the applicants shall return for additional PERFORMANCE STANDARDS REVIEW OF OPERATIONS AT 400 ORITANI BUILDING; PRIOR TO EXPANDING TO FULL USE OF THE 400 ORITANI BUILDING; **AND STILL FURTHER RESOLVED** that at the 400 Oritani location, the applicant shall first utilize the ten loading docks farthest away from the adjacent residential neighborhood (the southwest corner of 400 Oritani) for incoming deliveries prior to using any other loading docks; was presented and moved by Mr. Sullivan, seconded by Mr. Quinn and carried as follows: Mr. Quinn, aye; Mr. Sullivan, aye, and Ms. Castelli, aye. Mr. Bosco was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: January 22, 2020

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Deborah Arbolino
Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OEBZPAE
BUILDING INSPECTOR- G.M.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGMT. and ENGINEERING
FILE/ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

TOWN CLERK'S OFFICE
2020 FEB 11 A 10:07
TOWN OF ORANGETOWN



MASER
CONSULTING P. A.

Traffic Impact Study

Hudson Crossing Industrial Park
(Formally Bradley Corporate Park)

Buildings 200-400 Oritani Drive
Town of Orangetown, Rockland County, New York

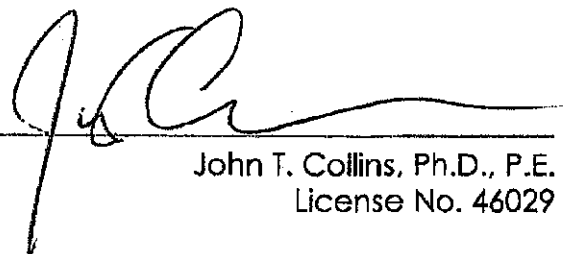
December 5, 2019

Prepared For

Onyx Equities, LLC
900 Route 9 North, Suite 400
Woodbridge, NJ 07095

Prepared By

Maser Consulting P.A.
400 Columbus Avenue, Suite 180E
Valhalla, NY 10595
914.347.7500



John T. Collins, Ph.D., P.E.
License No. 46029

MC Project No. 19003643A





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APPENDIX D CAPACITY ANALYSIS



I. INTRODUCTION

A. PROJECT DESCRIPTION AND LOCATION

(Figure No. 1)

The scope of this study is to evaluate the traffic impacts associated with the use of two existing building totaling some 173,000 s.f. (200-400 Oritani Drive), located in Hudson Crossing Industrial Park (formally known as Bradley Corporate Park). The two buildings are currently used for temporary car storage but could be used as a typical warehouse (ITE Land Use Code 150) or as a High-Cube Parcel Hub Warehouse (ITE Land Use Code 156). Note the current proposal is for use by Amazon, which is a high cube use.

Hudson Crossing Industrial Park has its primary access from the signalized intersection of Route 303/Bradley Parkway. There are two secondary access points, a right turn in/out driveway to Route 303 located north of the signalized access to Route 303 and a driveway to Western Highway. No new access points are proposed in this study.

Route 303 is a four-lane roadway under the jurisdiction of the New York State Department of Transportation (NYSDOT). Within two miles north of the site, it connects with Route 59 and the NYS Thruway. Within three miles south of the site, it connects to Palisades Interstate Parkway and several east/west county roads, including Erie Street and Orangeburg Road.

Western Highway is a two lane north/south roadway connection with Route 59 in the Town of Clarkstown (north of the site) with several east/west county roads including Erie Street, located south of the site.

B. YEAR 2019 EXISTING TRAFFIC VOLUMES

(Figures No. 2, 3, 4 and 5)

In order to establish existing and future conditions, intersection turning movement counts were conducted on Thursday, November 7, 2019 and Thursday, November 14, 2019 at the following locations:

- Route 303 and Corporate Drive
- Route 303 and Bradley Parkway
- Route 303 and Erie Street
- Western Highway and Corporate Drive



Based on a review of the turning movement traffic counts, the peak hours were identified as follows.

Weekday Peak AM Hour	7:30 AM – 8:30 AM
Weekday Peak PM Hour	4:30 AM – 5:30 PM

The results of these counts are shown graphically in Figures No. 2 and 3.

The information collected was also used to establish the distribution of traffic for the existing facility, as shown on Figures No. 4 and 5. It is anticipated that this distribution will apply for both Build conditions being evaluated.

C. YEAR 2021 FUTURE TRAFFIC VOLUMES

(Figures No. 6, 7, 8 and 9 and Table No. 1)

There is the potential that either of the warehouse uses could be open and in full operation within two (2) years. Thus, the Design Year for analysis purposes is 2021. To estimate the Design Year background traffic volumes, the existing volumes were increased at a rate of 1% per year (total of 2%) to account for normal growth in the corridor. Added to these projections would be traffic that could be generated by existing buildings that would be in full operation by the design year.

In this case, there are two buildings that could be occupied (200-400 Oritani Drive). For analysis purposes, we have assumed the typical warehouse (ITE 150) use as the Build "A" with the High-Cube Parcel delivery (ITE 156) use as Build "B". The traffic to be generated by each of these two uses are shown in Table 1.

Note that the high cube parcel delivery (ITE 156) use has been replaced by projected traffic volume supplied by Amazon, which are higher than the ITE use. These volumes are shown graphically on Figures No. 6 and 7 for Build "A" and Figures No. 8 and 9 for Build "B".

D. DESCRIPTION OF ANALYSIS PROCEDURES

It was necessary to perform capacity analyses in order to determine existing and future traffic operating conditions at the study area intersections. The following is a brief description of the analysis method utilized in this report:

- **Signalized Intersection Capacity Analysis**
The capacity analysis for a signalized intersection was performed in accordance with the procedures described in the *Highway Capacity Manual, 6th Edition, dated 2016*, published by the Transportation Research Board. The terminology used in identifying traffic flow conditions is Levels of Service. A Level of Service “A” represents the best condition and a Level of Service “F” represents the worst condition. A Level of Service “C” is generally used as a design standard while a Level of Service “D” is acceptable during peak periods. A Level of Service “E” represents an operation near capacity. In order to identify an intersection’s Level of Service, the average amount of vehicle delay is computed for each approach to the intersection as well as for the overall intersection.

- **Unsignalized Intersection Capacity Analysis**
The unsignalized intersection capacity analysis method utilized in this report was also performed in accordance with the procedures described in the *Highway Capacity Manual, 6th Edition, dated 2016*. The procedure is based on total elapsed time from when a vehicle stops at the end of the queue until the vehicle departs from the stop line. The average total delay for any particular critical movement is a function of the service rate or capacity of the approach and the degree of saturation. In order to identify the Level of Service, the average amount of vehicle delay is computed for each critical movement to the intersection.

Additional information concerning signalized and unsignalized Levels of Service can be found in Appendix “C” of this report.

E. RESULTS OF ANALYSIS

(Tables No. 2 and 3)

Capacity analyses which take into consideration appropriate truck percentages, pedestrian activity, lane widths, roadway grades and other factors were performed at the study area intersections utilizing the procedures described above to determine the Levels of Service and average vehicle delays. Summarized below is a description of the existing geometrics, traffic control and a summary of the existing and future Levels of Service.

Tables No. 2 and 3 summarizes the results of the capacity analysis for the Year 2019 Existing, Year 2021 Build “A” and Year 2021 Build “B” conditions. Appendix “D”

contains copies of the capacity analysis that also indicate the existing geometrics and other characteristics for each of the individual intersections studied.

1. NYS Route 303 and Bradley Parkway

NYS Route 303 and Bradley Parkway intersect at a full-movement, signalized intersection. The north and southbound NYS Route 303 approaches each consist of a left-turn/through and through/right-turn lanes, while the east and westbound Bradley Parkway approaches both consist of a single lane serving all turning movements. Note that the eastbound approach (exiting Hudson Crossing Industrial Park) is 20' wide providing sufficient width to provide for a right and left turn lane. The signal operation as a fixed time with the observed timings used in all analyses.

Capacity analysis conducted at this intersection utilizing the Year 2019 Existing Traffic Volumes indicates that the intersection is currently operating at an overall Level of Service "B" or "C" during the Weekday Peak AM and Peak PM hours.

The capacity analysis using the Year 2021 Build "A" and Year 2021 Build "B" Traffic Volumes indicates that the intersection is projected to continue to operate at the same overall Levels of Service under the future conditions.

2. NYS Route 303 and East/West Erie Street

NYS Route 303 and East/West Erie Street intersect at a signalized intersection. The eastbound/westbound Erie Street approaches to this intersection each consist of one lane for left, through and right turn movements. The southbound Route 303 approach consists of two through lanes, a right lane and a left turn lane. The northbound Route 303 approach consist of a left turn lane, one through and one through/right lane. Note the signal is actuated, which permits variable cycle lengths, green intervals, etc. The timings are based on observations of the existing signal during peak hours and has been used for all conditions.

Capacity analysis conducted at this intersection indicates that utilizing the Year 2019 Existing Traffic Volumes, the overall intersection will operate at a Level of Service "B" for the AM and PM Peak Hours.

The capacity analysis was recomputed using the Year 2021 Build "A" and Build "B" Traffic Volumes. This intersection is projected to continue to operate at the same Level of Service "B".

3. NYS Route 303 and Corporate Drive

This location is a right turn in/out driveway. Under all conditions, Route 303 will operate a Level of Service "A" with the driveway operating at a Level of Service "C".

4. Western Avenue and Existing Site Driveway

The existing Site Driveway to Western Avenue intersects at an unsignalized "T" intersection. Each approach to the intersection will consist of a single lane serving all turning movements.

The capacity analysis indicates that the intersection will operate at a Level of Service "B" or better under all conditions.

F. SUMMARY AND CONCLUSION

Based on the above analysis, similar Levels of Service and delays will be experienced at the area intersections under either of the Build conditions. Thus, the traffic expected to be generated by the proposed Amazon facility is not anticipated to have a significant impact in the overall operation of the study area roadway network.

PRIVATE SITE IMPROVEMENT PLANS FOR DXY4 - DELIVERY STATION

200 & 400 ORITANI DRIVE
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK
MARCH 2020

OWNER/DEVELOPER:

PATRIARCH III LP
200 ORITANI DRIVE
BLAUVELT, NY 10913
CONTACT:
EMAIL:

PLANS PREPARED BY CESO CO.

3601 RIGBY ROAD SUITE 300
MIAMISBURG, OH 45342
ENGINEER OF RECORD: JEFFREY A. TIBBITTS, P.E.

PROJECT CONTACT:

JEFF DE ZORT, P.E.
PHONE: (407) 670 - 2881
EMAIL: DEZORT@CESOINC.COM

GOVERNING AGENCIES AND UTILITY COMPANIES:

WATER / SEWER / STORMWATER

TOWN OF ORANGETOWN DEPARTMENT OF
ENVIRONMENTAL MANAGEMENT AND ENGINEERING
SEWER DEPARTMENT - 127 ROUTE 303
ORANGETOWN, NY 10962
PHONE: (845) 359-6951

GAS & ELECTRIC:

ORANGE AND ROCKLAND UTILITY COMPANY
390 W. ROUTE 59
SPRING VALLEY, NY 10977
PHONE: (877) 434-4100

COMMUNICATIONS:

VERIZON
500 SUMMIT LAKE DR.
VALHALLA, NY 10595
PHONE: (914) 741-7395

PLANNING COMMISSION

TOWN OF ORANGETOWN PLANNING COMMISSION
20 GREENBUSH ROAD
ORANGETOWN, NY 10962

STATE AGENCIES

NYSDEC - REGION 3
21 SOUTH PUTT CORNERS ROAD
NEW PALTZ, NY 12561
(845) 256-3000

NYS DOT - REGION 8

LANCE GORNEY
4 BURNETT BOULEVARD,
POUGHKEEPSIE, NY 12603
PHONE: (845) 437 - 3325
EMAIL: LANCE.GORNEY@DOT.NY.GOV

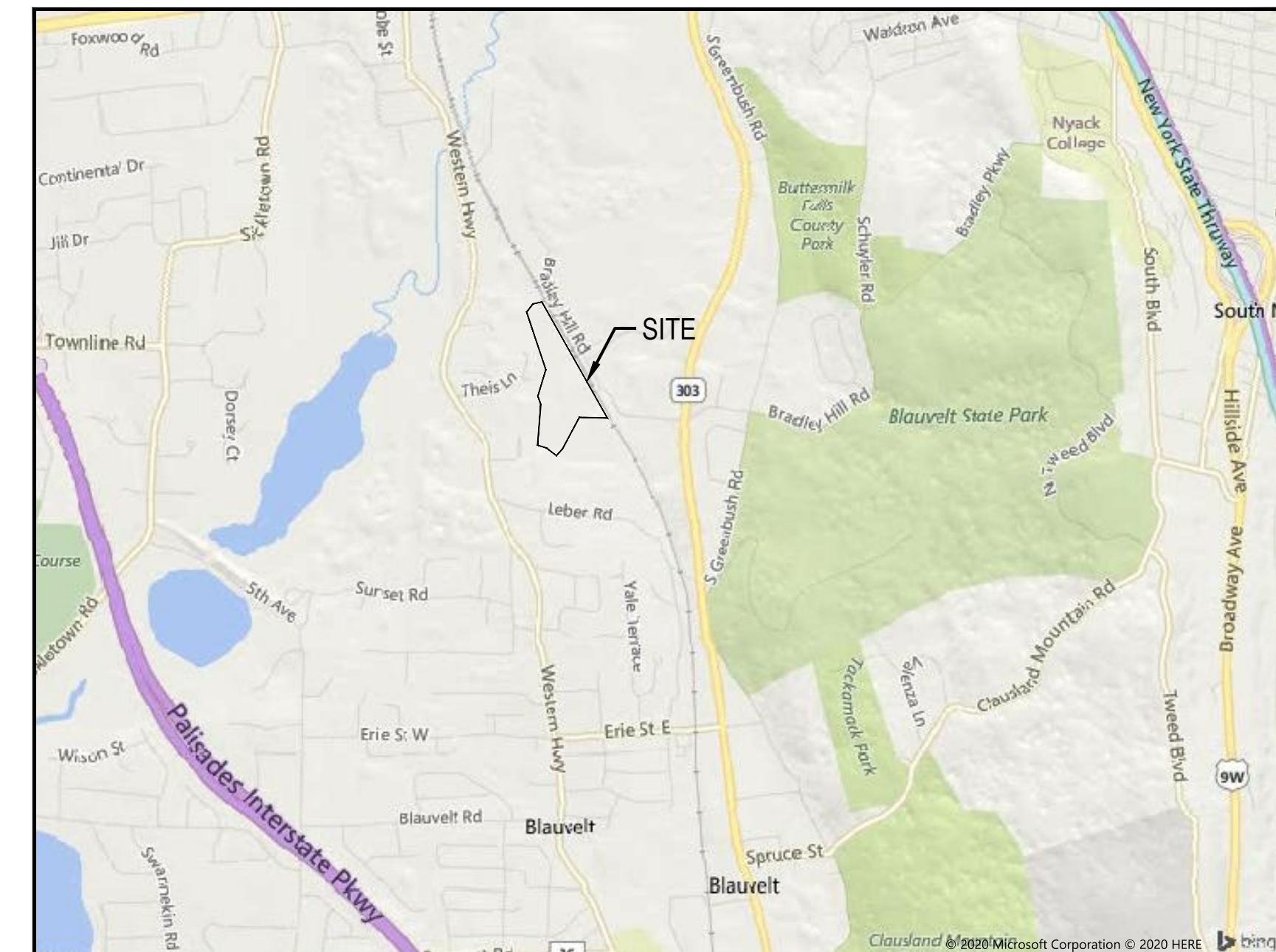
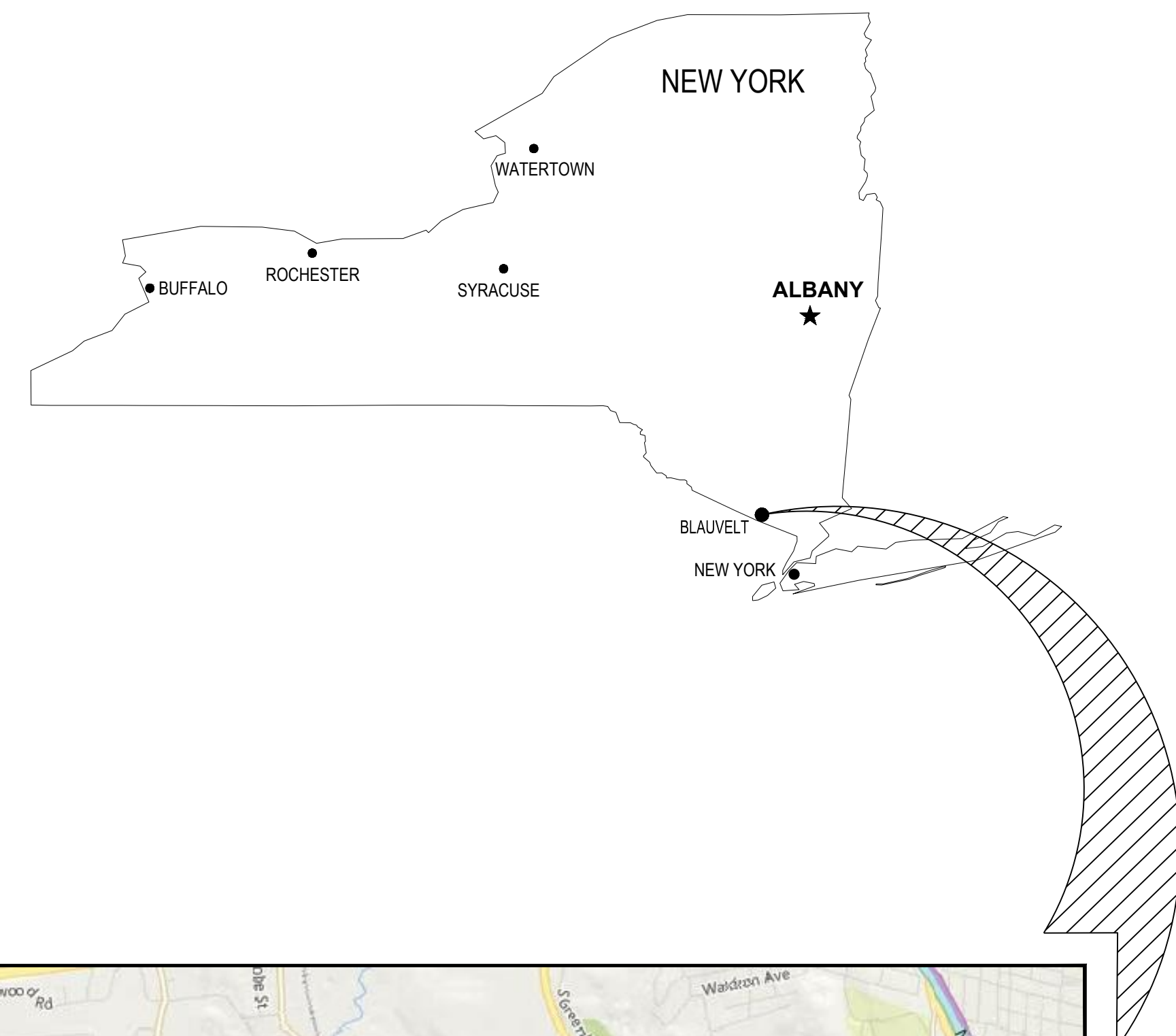
PROPERTY DATA:

PARCEL OWNER:	PATRIARCH III LP	PATRIARCH III LP	PATRIARCH III LP
PARCEL ID:	T.M. 65.18-1-1	T.M. 65.18-1-22	T.M. 70.06-1-1.12
ADDRESS:	877 WESTERN HWY, BLAUVELT, NY 10913	300 ORITANI DRIVE, BLAUVELT, NY 10913	200 ORITANI DRIVE, BLAUVELT, NY 10913
PROPERTY AREA:	3.8 ACRES	9.4 ACRES	24.69 ACRES
PROPOSED USE:	LABORATORY-OFFICE DISTRICT [LO]	LABORATORY-OFFICE DISTRICT [LO]	LABORATORY-OFFICE DISTRICT [LO]

SHEET INDEX	
Sheet Number	Sheet Title
C1.0	COVER
C2.0	GENERAL NOTES
C3.0	DEMO PLAN
C4.0	OVERALL SITE PLAN
C4.1	SITE PLAN - WEST
C4.2	SITE PLAN - PARKING NORTH
C4.3	SITE PLAN - PARKING MIDDLE
C4.4	SITE PLAN - PARKING SOUTH
C5.0	GRADING PLAN
C6.0	SWPPP NOTES
C6.1	SWPPP PLAN
C6.2	SWPPP PLAN 2
C6.3	SWPPP DETAILS
C7.0	CONSTRUCTION DETAILS
C7.1	CONSTRUCTION DETAILS
C7.2	CONSTRUCTION DETAILS
C7.3	CONSTRUCTION DETAILS
C8.0	SIGNAGE PLAN - OVERALL
C8.1	SIGNAGE PLAN - WEST
C8.2	SIGNAGE PLAN - PARKING NORTH
C8.3	SIGNAGE PLAN - PARKING MIDDLE
C8.4	SIGNAGE PLAN - PARKING SOUTH

ADDITIONAL REFERENCE DRAWINGS:

1 OF 1	PHOTOMETRIC PLAN
-	SURVEY DRAWING



VICINITY MAP
1" = 2,000'

FLOODPLAIN DESIGNATION:
ACCORDING TO F.I.R.M. NO. 36087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	816832.73 N, 641443.82 E
BM 2	5 / 8" REBAR	71.22 FT	818739.46 N, 641528.88 E

SURVEY (DATED 10/31/2019) BY:
BLEW & ASSOCIATES, PA
3825 N. SHILOH DRIVE
FAYETTEVILLE, AR 72703
PHONE: (479) 582-1883
CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEWYORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEWYORK 811 CALL.

NO.	DATE	REVISION DESCRIPTION
0	03/12/20	FOR PERMIT

DELIVERY STATION
200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913



ISSUE:
FOR PERMIT
DATE:
03/12/20
JOB NO.: 757184
SCALE: AS SHOWN
DESIGN: T. LEJA
DRAWN: S. BAILEY
CHECKED: J. KOCINSKI
DRAWING TITLE

COVER

SHEET NO.
C1.0

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GENERAL NOTES

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. THE DEMOLITION, REMOVAL, AND DISPOSAL IS TO BE APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES. CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO INHABITED BUILDINGS ON SITE AND ADJACENT PROPERTIES AT ALL TIMES. INTERRUPTIONS SHALL BE APPROVED BY THE OWNERS OF THE BUILDINGS/PROPERTIES.
3. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE CITY/COUNTY PRIOR TO CONSTRUCTION START.
5. CONTINUOUS ACCESS SHALL BE MAINTAINED TO THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
6. PRIOR TO DEMOLITION, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PER THE GOVERNING AGENCIES GUIDELINES AND STANDARDS.
7. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR. SAWCUT SHOWN IS FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THAT WHICH IS NECESSARY TO COMPLETE THE INTENT OF THE PROPOSED IMPROVEMENTS.
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO STUDY THE PLANS AND VISIT THE SITE TO DETERMINE THE ITEMS THAT MUST BE REMOVED TO COMPLY WITH THE SITE DEVELOPMENT PLANS. NO EXTRA FEE WILL BE PAID FOR THE REMOVAL OF ANY ITEM NOT LISTED THAT IS VISIBLE UPON A SITE VISIT. THE DEMOLITION PLAN IS INTENDED TO PRESENT THE SCOPE OF THE DEMOLITION, AND DOES NOT GUARANTEE THAT ALL ITEMS ARE ADDRESSED.
9. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO THE BEST OF THEIR ABILITIES. TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
3. ALL DISTURBED AREAS ARE TO RECEIVE 6" OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF THE CURB OR EDGE OF PAVEMENT, AS APPLICABLE, UNLESS OTHERWISE NOTED.
5. PROVIDE STRIPING AS SHOWN. PARKING STALLS SHALL BE PAINTED WITH 4" WHITE, WIDE LINES.
6. REFER TO GEOTECHNICAL ENGINEERING REPORT ONCE PREPARED AND FINALIZED.
7. SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. DATED: 10/31/2019 REFER TO SURVEY FOR ADDITIONAL INFORMATION.
8. REFER TO SURVEY FOR BENCHMARK LOCATIONS AND ELEVATIONS.

GRADING NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. THE TOPOGRAPHIC SURVEY WAS PERFORMED BY A REGISTERED LAND SURVEYOR. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
5. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS ARE SHOWN AT 1 FOOT INTERVALS.
6. EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED TO REMOVE ALL SILT AND DEBRIS AFTER CONSTRUCTION IS COMPLETE.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
8. ALL TOPSOIL MUST BE REMOVED BEFORE FILL IS PLACED.
9. ALL WET, OR OTHERWISE UNSUITABLE, SOILS MUST BE STABILIZED. THIS MAY BE ACCOMPLISHED BY DRYING, REMOVAL & REPLACEMENT, REMOVAL & DRYING & RECOMPACTION, OR SOIL TREATMENT (LIME/CEMENT).
10. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 6" OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER AND SEED WITH LOW MAINTENANCE GRASS SEED MIX. CONTRACTOR SHALL SEED DISTURBED AREAS IN ACCORDANCE WITH SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. ALL EXPOSED SURFACE AREAS SHALL BE STABILIZED PER THE SWPPP AND LANDSCAPE REQUIREMENTS AS PART OF THIS SET.
11. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
12. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM Poured MORTAR INVERT FROM INVERT IN TO INVERT OUT.
13. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. IF PRECAST STRUCTURES ARE UTILIZED, THE CONTRACTOR SHALL VERIFY ELEVATIONS AT CONNECTION POINTS OR ANY EXISTING UTILITY CROSSING PRIOR TO ORDERING STRUCTURES. REPORT ANY CONFLICTS TO THE ENGINEER.
14. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

MATERIAL	TYPE	PIPE SPEC	JOINT SPEC	INSTALLATION	ACCEPTABLE AREAS OF USE
HIGH DENSITY POLY-ETHYLENE (HDPE)	SMOOTH-WALLED CORRUGATED ADS-N12 OR EQUAL	AASHTO M294 (TYPE S)	ASTM F477	ASTM D2321	ON SITE, 12" TO 60" DIA.
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D3212	ASTM D2321	ON SITE, 4" TO 10"

15. SAWCUT LINE PROVIDED IS FOR REFERENCE ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXTENT OF THE SAWCUT THAT WILL BE REQUIRED.
16. ALL STORM SEWER STRUCTURE GRATES AND FRAMES WITHIN PAVEMENT SHALL BE HEAVY DUTY.
17. ALL STORM DRAINAGE SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF ORANGETOWN AND NEW YORK STATE STANDARDS.
18. ALL DOWNSPOUT DRAINS ARE TO HAVE A 1.04% MINIMUM SLOPE UNLESS OTHERWISE NOTED. CONNECT DOWNSPOUTS TO THE PROPOSED STORM SEWER SYSTEM. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.
19. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
20. THE STORM SEWER GRADE WILL BE SUCH THAT A MINIMUM COVER IS MAINTAINED TO WITHSTAND AASHTO HS-25 LOADING ON THE PIPE. PROVIDE MINIMUM 2 FEET OF COVER FOR ALL STORM SEWERS UNLESS OTHERWISE NOTED.
21. WHEN A SANITARY SEWER MAIN LIES ABOVE A STORM SEWER, OR WITHIN 18 INCHES BELOW, THE SANITARY SEWER WILL HAVE AN IMPERVIOUS ENCASEMENT OR BE CONSTRUCTED OF STRUCTURAL SEWER PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF WHERE THE STORM SEWER CROSSES.
22. IF EXISTING FIELD TILES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE REPAIRED AND/OR TIED INTO A STORM SEWER SYSTEM AS NEEDED TO MAINTAIN POSITIVE DRAINAGE.

UTILITY NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF O.S.H.A. DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR O.S.H.A.
3. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
4. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
5. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
6. WATER AND SANITARY UTILITIES SHALL HAVE TEN (10') FEET OF CLEARANCE (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.) THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER LINE JOINTS.
7. IF A WATER LINE PASSES UNDER THE SANITARY SEWER LINE, THE SEWER LINE SHOULD BE CONSTRUCTED OF A WATERTIGHT MATERIAL APPROVED BY THE REGULATORY AGENCY FOR USE IN WATER MAIN CONSTRUCTION AND SHALL EXTEND TEN (10') FEET ON BOTH SIDES OF THE CROSSING, AS MEASURED PERPENDICULAR TO THE MAIN. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.
8. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
9. REFER TO ARCHITECTURAL AND MECHANICAL PLANS FOR EQUIPMENT TIE-IN OF ALL BUILDING UTILITIES.
10. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
11. UTILITY TRENCHES WITHIN PAVED AREAS TO BE BACKFILLED PER SEWER BEDDING DETAIL ON CONSTRUCTION DETAILS SHEET AND GEOTECHNICAL REPORT.
12. ALL WATER LINE WORK SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF ORANGETOWN & NEW YORK STATE CONSTRUCTION STANDARDS AND REGULATIONS. COORDINATE WITH TOWN OF ORANGETOWN.
13. PROVIDE WATER LINE A MINIMUM OF 5'-0" OF COVER.

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NO. DATE REVISION DESCRIPTION

NO.	DATE	REVISION DESCRIPTION
0	03/12/20	FOR PERMIT

DELIVERY STATION

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913

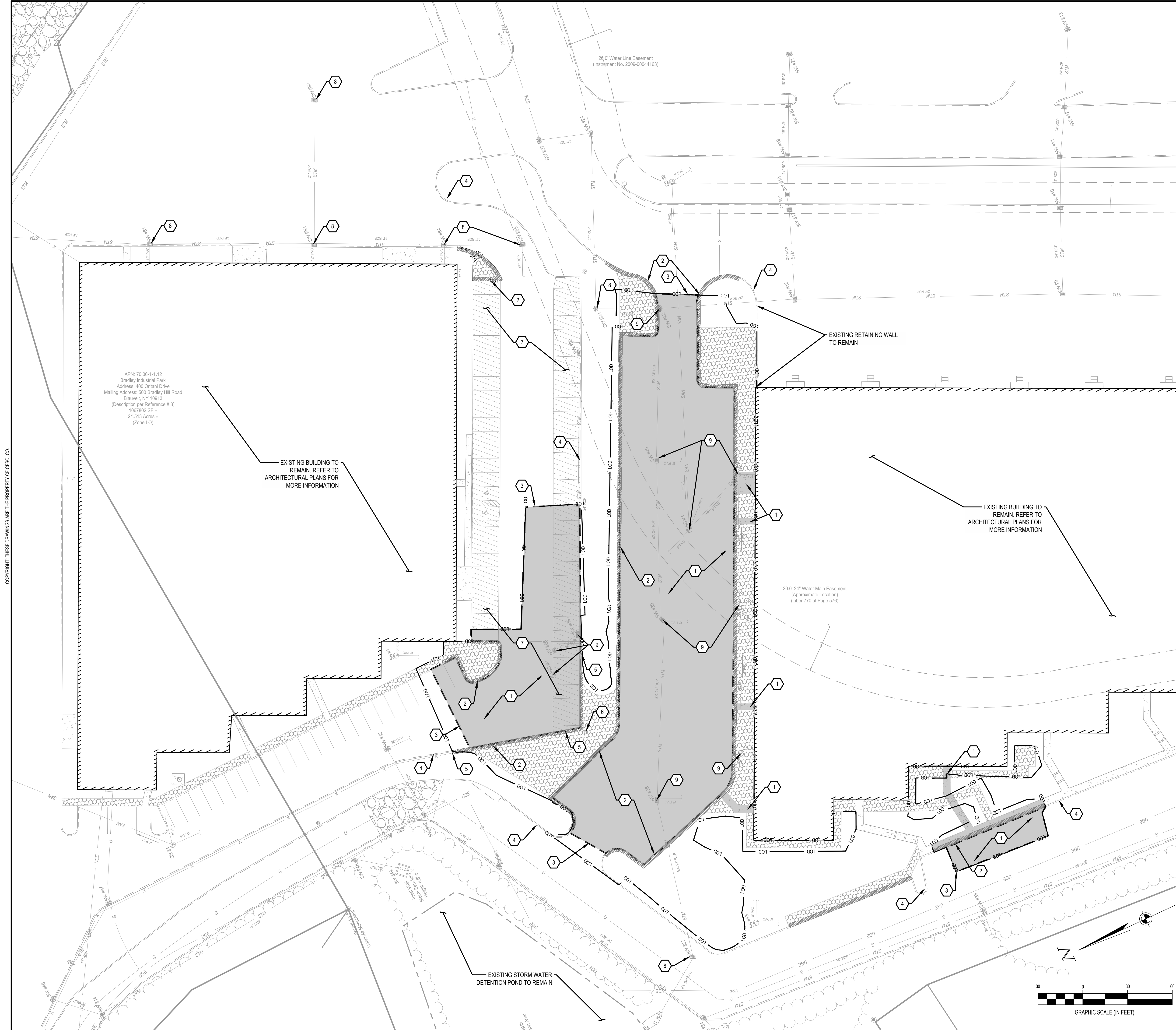


FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEWYORK 811 CALL.

ISSUE FOR PERMIT	
DATE:	03/12/20
JOB NO.:	757184
SCALE:	AS SHOWN
DESIGN:	T. LEJA
DRAWN:	S. BAILEY
CHECKED:	J. KOCINSKI
DRAWING TITLE	

GENERAL NOTES

SHEET NO. C2.0



LEGEND

EXISTING

REFER TO TOPOGRAPHIC SURVEY

PROPOSED

REMOVE EXISTING ASPHALT PAVEMENT/CURBING/CONCRETE WALK. REFER TO SITE PLAN FOR PROPOSED WORK

EXISTING GREENSPACE TO BE REMOVED

EXISTING PARKING SPACES TO BE REMOVED

SAWCUT LINE

REMOVE AND DISPOSE OF EXISTING CURB / EXISTING CONCRETE CHANNEL

L.O.D. LIMITS OF DISTURBANCE

CODED NOTES

1. EXISTING CONCRETE PAVEMENT TO BE REMOVED.
2. EXISTING CURB TO BE REMOVED.
3. SAW-CUT LINE.
4. EXISTING CURB TO REMAIN.
5. EXISTING CHAIN LINK FENCE TO BE REMOVED.
6. EXISTING LIGHT POLE TO BE RELOCATED.
7. EXISTING PARKING SPACES / STRIPING TO BE REMOVED.
8. EXISTING UTILITIES TO REMAIN.
9. EXISTING RIMS TO BE ADJUSTED TO PROPOSED GRADE.

APN: 70.06-1-1.12
Bradley Industrial Park
Address: 400 Ortara Drive
Mailing Address: 500 Bradley Hill Road
Blauvelt, NY 10913
(Description per Reference # 3)
1067802 SF ±
24.513 Acres ±
(Zone L0)

EXISTING BUILDING TO REMAIN. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION

EXISTING BUILDING TO REMAIN. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION

BENCHMARK

	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	816832.73 N, 641443.82 E
BM 2	5 / 8" REBAR	71.22 FT	818739.46 N, 641528.88 E

SURVEY (DATED 10/31/2019) BY:

BLEW & ASSOCIATES, PA
3825 N. SHILOH DRIVE
FAYETTEVILLE, AR 72703
PHONE: (479) 582-1883
CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

FLOODPLAIN DESIGNATION:

ACCORDING TO F.I.R.M. NO. 36087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

NO.	DATE	REVISION DESCRIPTION
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DELIVERY STATION

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913



ISSUE FOR PERMIT DATE:	03/12/20
JOB NO.:	757184
SCALE:	1" = 30'
DESIGN:	T. LEJA
DRAWN:	T. LEJA
CHECKED:	J. KOCINSKI
DRAWING TITLE	

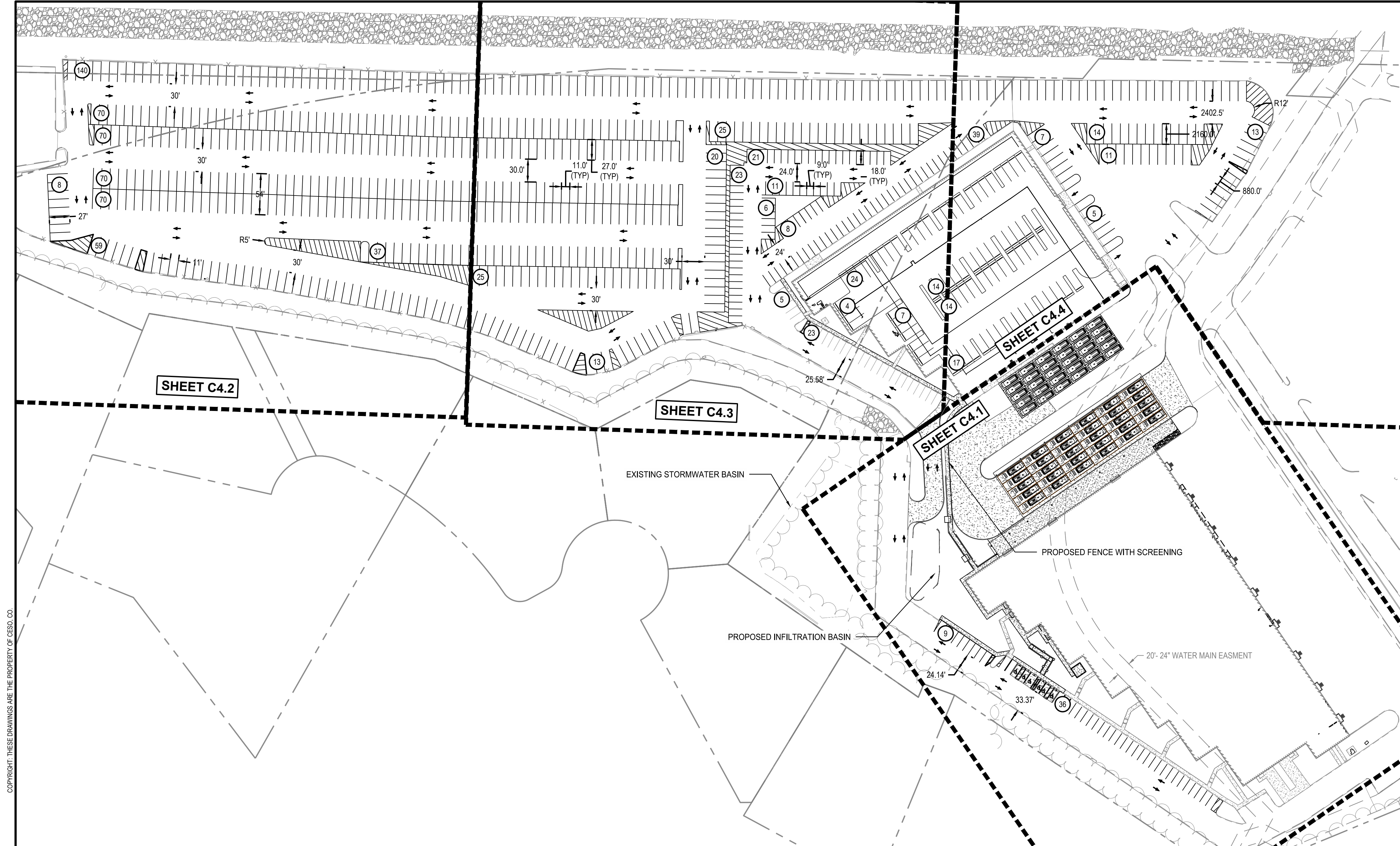


FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEWYORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEWYORK 811 CALL.

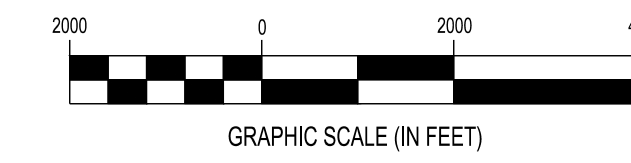
DEMO PLAN

SHEET NO. C3.0

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VICINITY MAP
1" = 2,000'



ZONING INFORMATION

LOCATION: 200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913
 PARCELS: 65.18-1-1, 65.18-1-22, 70.06-1-1.12
 ZONE: (LO) LABORATORY-OFFICE DISTRICT
 USE: DISTRIBUTION CENTER
 LOT AREA: ± 37.61 ACRES (± 1,638,292 SF)
 ADJACENT ZONING:
 NORTH: LABORATORY-OFFICE (LO), LABORATORY OFFICE (LO)
 SOUTH: LOW DENSITY RESIDENTIAL (R-40), LABORATORY OFFICE (LO)
 EAST: LIGHT INDUSTRIAL OFFICE (LIO), LIGHT INDUSTRIAL (LI)
 WEST: LOW DENSITY RESIDENTIAL (R-40)

ITEM	REQUIREMENTS	EXISTING	PROPOSED
MINIMUM FRONT BUILDING SETBACK	100 FEET	298.5 FEET	---
MINIMUM SIDE BUILDING SETBACK	100 FEET	70.7 FEET	---
MINIMUM REAR BUILDING SETBACK	100 FEET	133.7 FEET	---
MAXIMUM FLOOR RATIO	0.4	0.1	---
BUILDING SIZE	NOT SPECIFIED	175,193 SF	---
BUILDING HEIGHT	± 17.5 FEET	33 FEET	---
PARKING REQUIREMENTS	AT LEAST 1 SPACE PER 200 SF OF GROSS FLOOR AREA = 876 SPACES	85 SPACES	183 SPACES (ASSOCIATE)
MINIMUM ACCESSIBLE STALLS	6 SPACES FOR 151 - 200 TOTAL PROVIDED SPACES, 1 VAN	2 SPACES	6 SPACES (1 VAN)
MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET	9 FEET X 18 FEET	9 FEET X 19 FEET MIN.
MINIMUM AISLE WIDTH	22 FEET	24 FEET	24 FEET
MINIMUM PARKING SETBACK	25 FEET	± 60 FEET	± 87 FEET

SITE NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL NEW YORK ONE CALL AND ALL UTILITY COMPANIES TO SCHEDULE ANY UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. ALL UTILITIES SHALL BE REMOVED AND/OR RELOCATED PER THE SPECIFICATIONS OF THE UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF RAMPS.
- ALL DISTURBED AREAS ARE TO RECEIVE 6" OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF THE CURB OR EDGE OF PAVEMENT, AS APPLICABLE, UNLESS OTHERWISE NOTED.
- PROVIDE STRIPING AS SHOWN. PARKING STALLS SHALL BE PAINTED WITH 4" WHITE, WIDE LINES.
- REFER TO SIGNAGE PLAN FOR PROPOSED SIGNAGE.
- REFER TO MECHANICAL PLANS FOR EQUIPMENT LAYOUT.
- REFER TO ELECTRICAL PLANS FOR ELECTRICAL WORK.
- REFER TO ORIGINAL SURVEY PROVIDED BY BLEW & ASSOCIATES, DATED 10/31/2019.

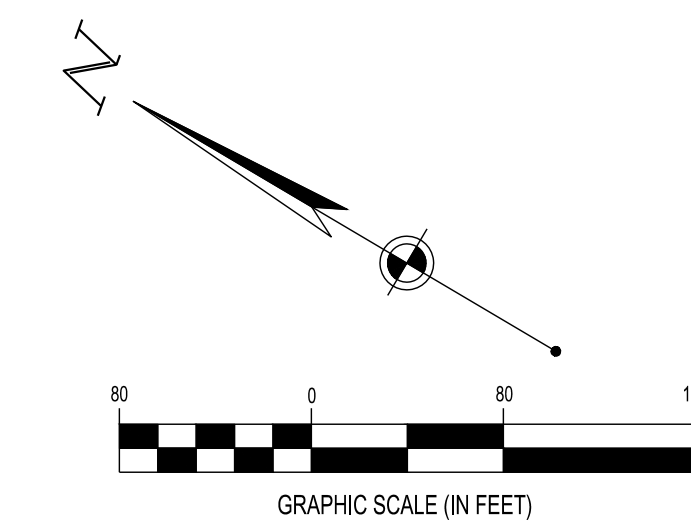
PARKING
 ADA SPACES = 6 SPACES (1 VAN)
 STANDARD SPACES (9' x 18') = 175
 TOTAL ASSOCIATE SPACES = 181
 VAN SPACES (11' x 27') = 737 (80 INTERIOR)
 LOADING ZONES (12' x 60') = 5

FLOODPLAIN DESIGNATION:
 ACCORDING TO F.I.R.M. NO. 36087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	816832.73 N, 641443.82 E
BM 2	5 / 8" REBAR	71.22 FT	818739.46 N, 641528.88 E

SURVEY (DATED 10/31/2019) BY:
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 PHONE: (479) 582-1883
 CONTACT: PAXTON SINGLETON
 CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

- LEGEND**
- EXISTING**
 REFER TO TOPOGRAPHIC SURVEY
- PROPOSED**
- PROPERTY BOUNDARY
 - LIMIT OF WORK
 - PROPOSED CONCRETE
 - PARKING COUNT



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DELIVERY STATION

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913



ISSUE: FOR PERMIT
 DATE: 03/12/20
 JOB NO.: 757184
 SCALE: 1" = 80'
 DESIGN: T. LEJA
 DRAWN: S. BAILEY
 CHECKED: J. KOCINSKI
 DRAWING TITLE

OVERALL SITE PLAN

SHEET NO.
C4.0

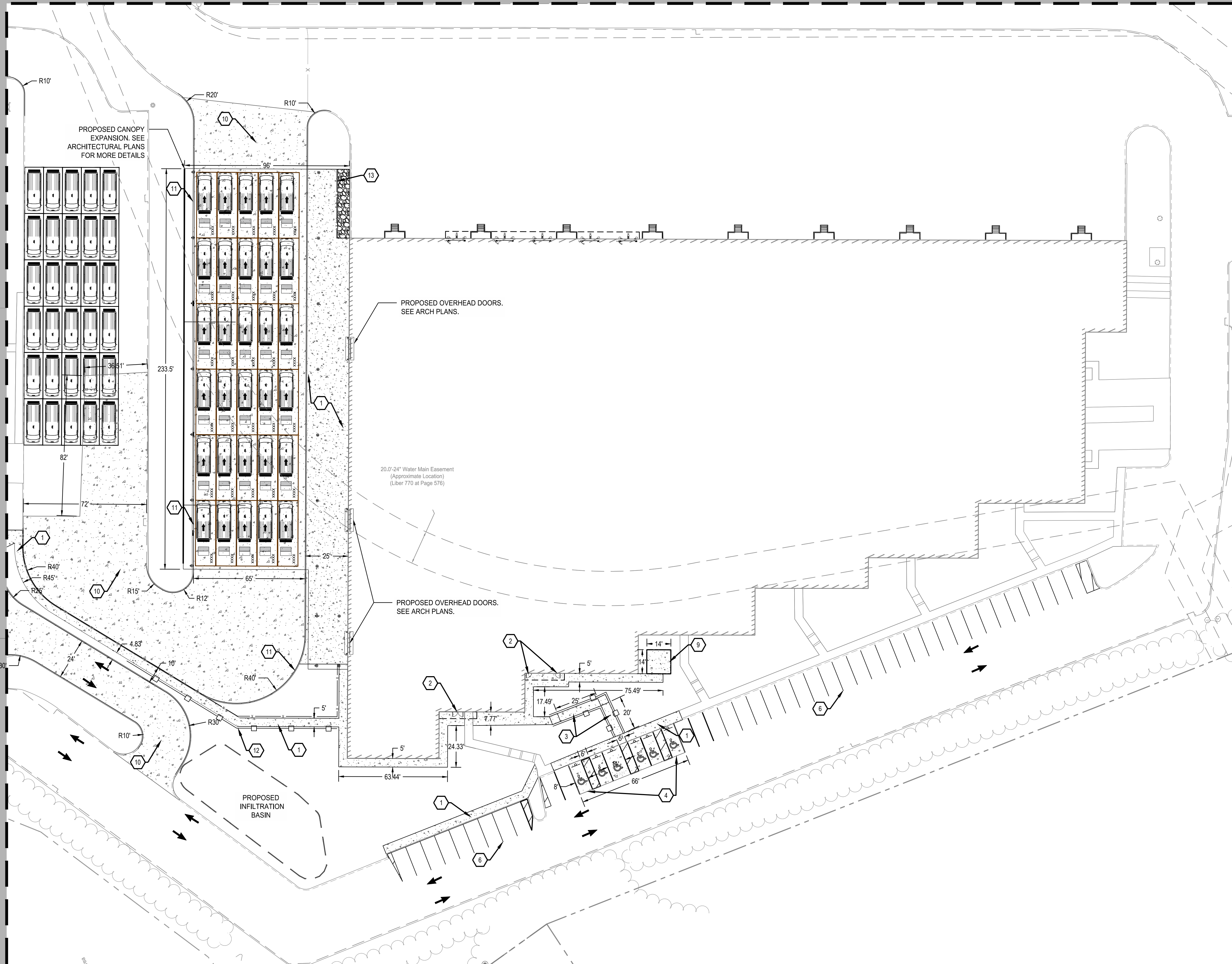
CODED NOTES:

1. PROPOSED CONCRETE SIDEWALK PER DETAIL ON SHEET SERIES C7.0
2. PROPOSED INGRESS/EGRESS DOOR (SEE ARCHITECTURAL PLANS FOR DETAILS)
3. PROPOSED SIDEWALK RAMP PER DETAIL ON SHEET SERIES C7.0
4. PROPOSED ACCESSIBLE PARKING STALL STRIPING PER DETAILS ON SHEET SERIES C7.0
5. PROPOSED INTERIOR PARKING (SEE ARCHITECTURAL PLANS FOR DETAILS)
6. PROPOSED STANDARD PARKING STALL STRIPING PER DETAIL ON SHEET SERIES C7.0
7. EXISTING PARKING STALL STRIPING TO REMAIN
8. PROPOSED VAN PARKING STALL STRIPING PER DETAIL ON SHEET SERIES C7.0
9. CONTRACTOR TO INSTALL 14'X14' CONCRETE PAD FOR SMOKERS SHELTER PER DETAILS ON SHEET SERIES C7.0
10. PROPOSED CONCRETE DRIVE AISLE PER DETAILS ON SHEET SERIES C7.0
11. PROPOSED 6" CONCRETE CURB PER DETAIL ON SHEET SERIES C7.0
12. PROPOSED FENCE PER DETAIL ON SHEET SERIES C7.0
13. PROPOSED GUARDRAIL PER DETAIL ON SHEET SERIES C7.0

LEGEND

- EXISTING PAVEMENT TO BE RESURFACED OR RESEALED. PAVEMENT CONDITION AND APPROPRIATE MITIGATION MEASURE TO BE DETERMINED PRIOR TO CONSTRUCTION.
- PROPOSED CONCRETE DRIVE AISLE/ SIDEWALK. REFER TO SHEET SERIES C7.0 FOR DETAILS.
- PARKING SPACE COUNT
- CURB
- HAND RAIL
- FENCE
- HYDRANT
- SIGN
- WHEEL STOP
- BOLLARD

MATCH LINE SHEET C4.4 (SITE PLAN - PARKING SOUTH)



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SITE PLAN - WEST

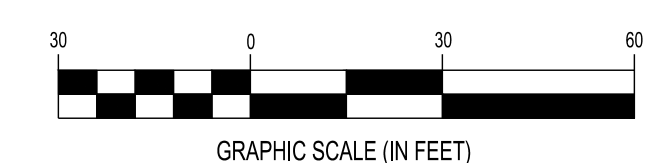
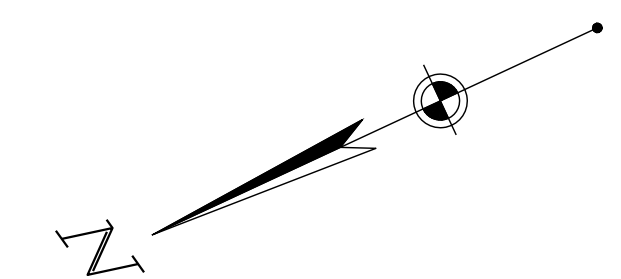
SHEET NO.
C4.1

FLOODPLAIN DESIGNATION:
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BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	816832.73 N, 641443.82 E
BM 2	5 / 8" REBAR	71.22 FT	818739.46 N, 641528.88 E

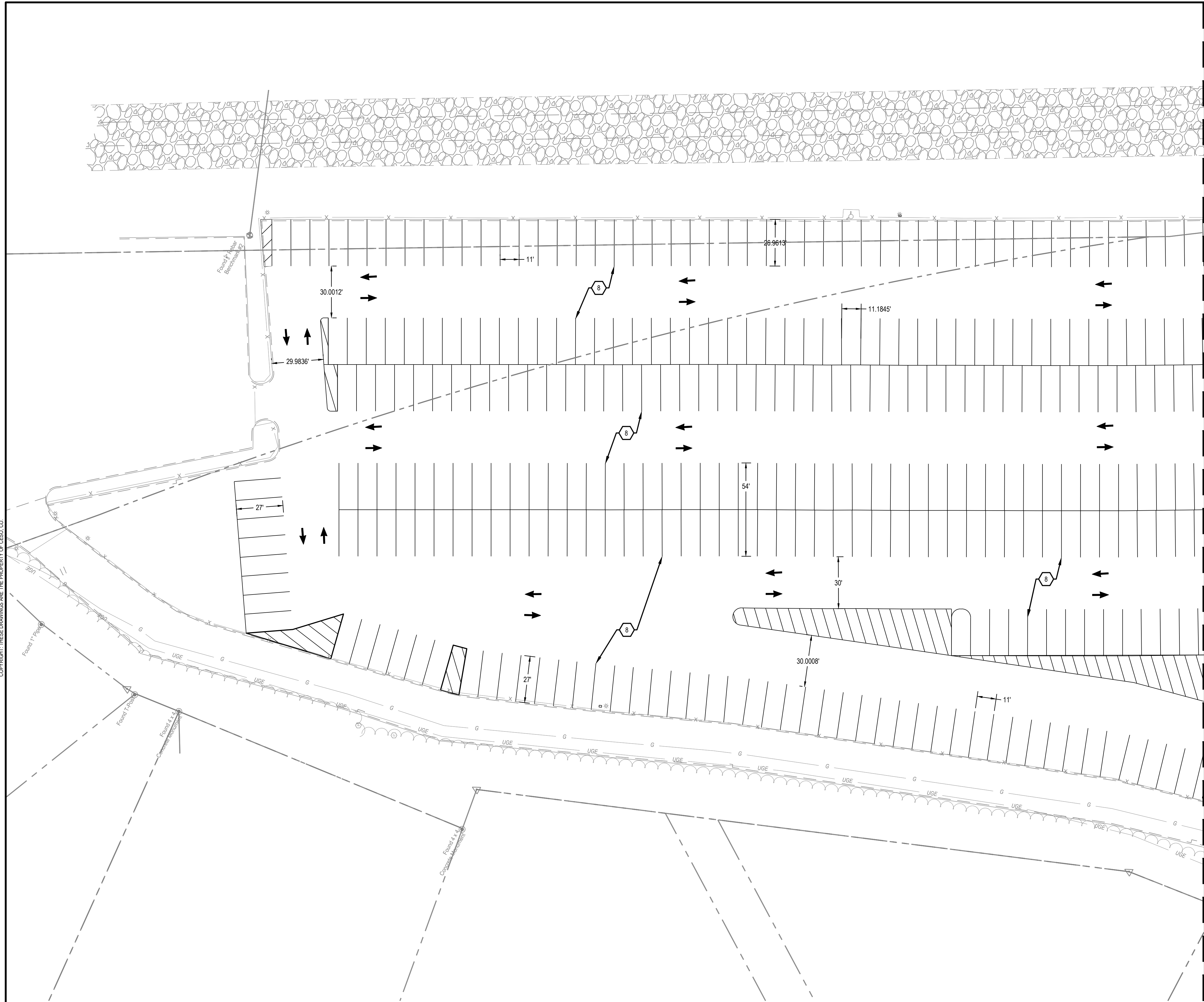
SURVEY (DATED 10/31/2019) BY:
BLEW & ASSOCIATES, PA
3825 N. SHILOH DRIVE
FAYETTEVILLE, AR 72703
PHONE: (479) 582-1883
CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 OR 1 (800) 272-4480 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811.

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MATCH LINE SHEET C4.3 (SITE PLAN - PARKING MIDDLE)

CODED NOTES:

1. PROPOSED CONCRETE SIDEWALK PER DETAIL ON SHEET SERIES C7.0
2. PROPOSED INGRESS/EGRESS DOOR (SEE ARCHITECTURAL PLANS FOR DETAILS)
3. PROPOSED SIDEWALK RAMP PER DETAIL ON SHEET SERIES C7.0
4. PROPOSED ACCESSIBLE PARKING STALL STRIPING PER DETAILS ON SHEET SERIES C7.0
5. PROPOSED INTERIOR PARKING (SEE ARCHITECTURAL PLANS FOR DETAILS)
6. PROPOSED STANDARD PARKING STALL STRIPING PER DETAIL ON SHEET SERIES C7.0
7. EXISTING PARKING STALL STRIPING TO REMAIN
8. PROPOSED VAN PARKING STALL STRIPING PER DETAIL ON SHEET SERIES C7.0
9. CONTRACTOR TO INSTALL 14'X14' CONCRETE PAD FOR SMOKERS SHELTER PER DETAILS ON SHEET SERIES C7.0
10. PROPOSED CONCRETE DRIVE AISLE PER DETAILS ON SHEET SERIES C7.0
11. PROPOSED 6" CONCRETE CURB PER DETAIL ON SHEET SERIES C7.0
12. PROPOSED FENCE PER DETAIL ON SHEET SERIES C7.0
13. PROPOSED GUARDRAIL PER DETAIL ON SHEET SERIES C7.0

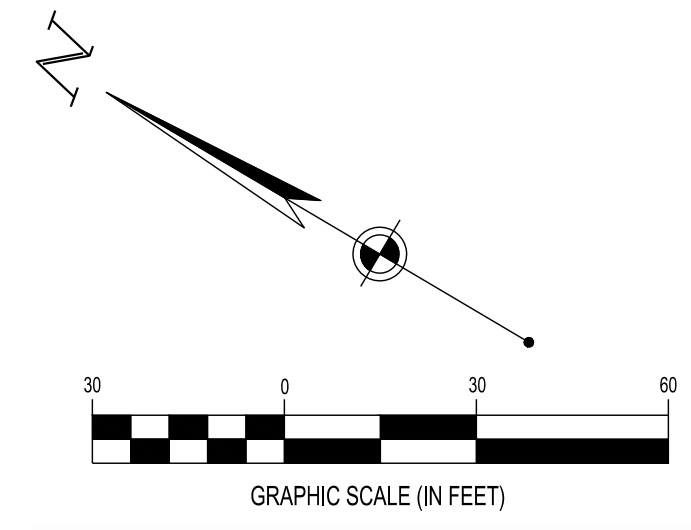
LEGEND

- EXISTING PAVEMENT TO BE RESURFACED OR RESEALED. PAVEMENT CONDITION AND APPROPRIATE MITIGATION MEASURE TO BE DETERMINED PRIOR TO CONSTRUCTION.
- PROPOSED CONCRETE DRIVE AISLE/ SIDEWALK. REFER TO SHEET SERIES C7.0 FOR DETAILS.
- PARKING SPACE COUNT
- CURB
- HYDRANT
- SIGN
- WHEEL STOP
- BOLLARD

NO.	DATE	REVISION DESCRIPTION
0	03/12/20	FOR PERMIT

DELIVERY STATION

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913



FLOODPLAIN DESIGNATION:
 ACCORDING TO F.I.R.M. NO. 36087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAN).

BENCHMARK			
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ISSUE:	FOR PERMIT
DATE:	03/12/20
JOB NO.:	757184
SCALE:	1" = 30'
DESIGN:	T. LEJA
DRAWN:	S. BAILEY
CHECKED:	J. KOCINSKI
DRAWING TITLE	SITE PLAN - PARKING NORTH
SHEET NO.	C4.2

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MATCH LINE SHEET C4.2 (SITE PLAN - PARKING NORTH)

MATCH LINE SHEET C4.4 (SITE PLAN - PARKING SOUTH)



CODED NOTES:

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LEGEND

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- PARKING SPACE COUNT
- CURB
- HYDRANT
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DELIVERY STATION

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913



ISSUE FOR PERMIT	DATE: 03/12/20
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DRAWING TITLE	

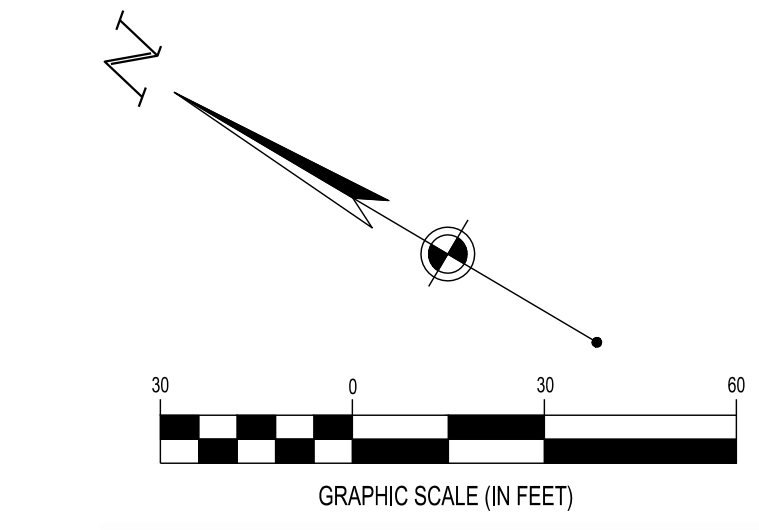
SITE PLAN - PARKING MIDDLE

SHEET NO. **C4.3**

FLOODPLAIN DESIGNATION:
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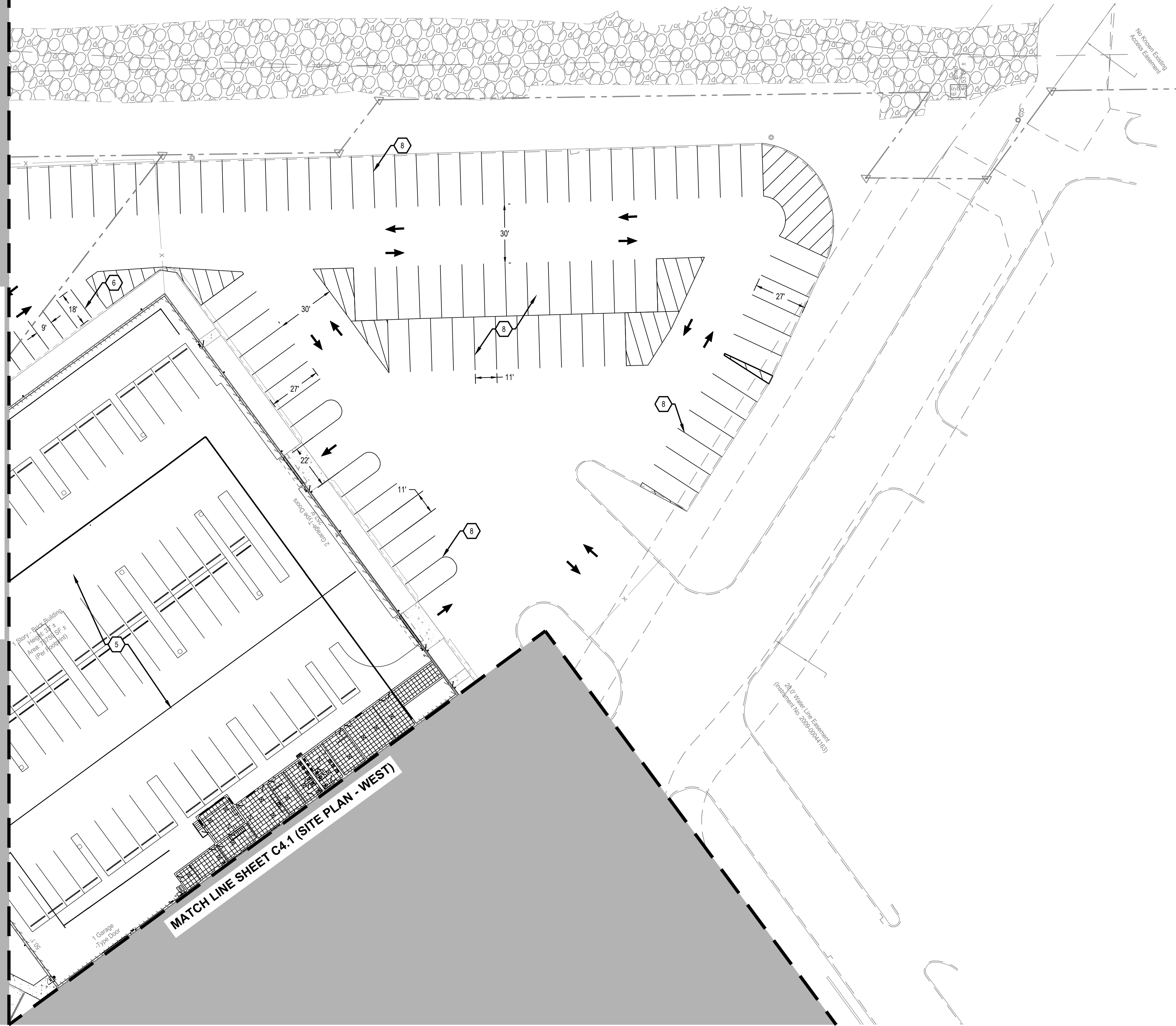


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MATCH LINE SHEET C4.3 (SITE PLAN - PARKING MIDDLE)

MATCH LINE SHEET C4.1 (SITE PLAN - WEST)



- CODED NOTES:**
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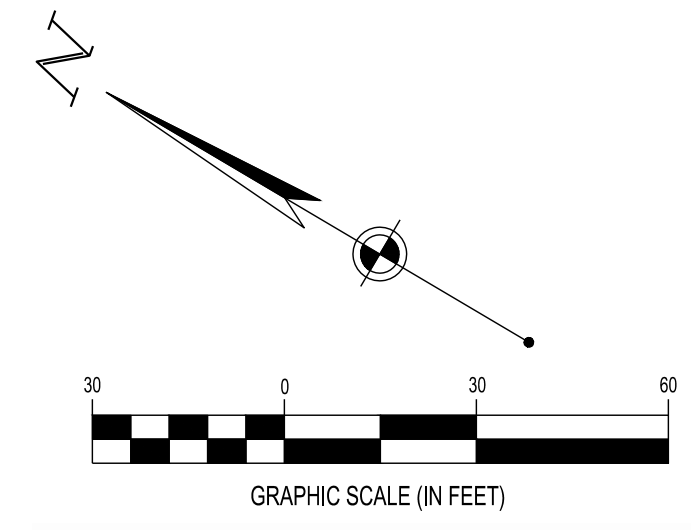
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DELIVERY STATION

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913



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 DRAWN: S. BAILEY
 CHECKED: J. KOCINSKI
 DRAWING TITLE
SITE PLAN - PARKING SOUTH
 SHEET NO.
C4.4

EROSION AND SEDIMENT CONTROL NARRATIVE

SITE ADDRESS: 200 & 400 ORITANI DRIVE
BLAUVELT, NEW YORK 10913

EXISTING SITE CONDITIONS: THE EXISTING SITE CONSISTS OF A WAREHOUSE / OFFICE BUILDING, PARKING LOT, ASPHALT AND CONCRETE PAVEMENT AREAS AND GREEN SPACE.

THE SUBJECT PARCEL IS LOCATED WITHIN "ZONE X" (AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS INDICATED BY THE FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY-PANEL NUMBER 36087C-0179-G, EFFECTIVE DATE: MARCH 3, 2014; PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

PROJECT DESCRIPTION: THE PROJECT CONSISTS OF REMODEL AND PARTIAL DEMOLITION OF THE EXISTING WAREHOUSE & OFFICE SPACE. ADDITIONAL PAVEMENT AND GREEN SPACE IS BEING ADDED.

TOTAL SITE AREA: 37.89 ACRES

DISTURBED AREA: 1.33 ACRES
PRE-CONSTRUCTION IMPERVIOUS ACREAGE = 0.91 ACRES
POST-CONSTRUCTION IMPERVIOUS ACREAGE = 1.07 ACRES

SITE DRAINS TO: AN EXISTING STORMWATER MANAGEMENT POND WEST OF THE EXISTING BUILDINGS ON SITE.

SITE BMP'S: FINAL LOCATIONS OF ALL SITE BMP'S INCLUDE DUMPSTER, VEHICLE FUELING AREAS, CONCRETE TRUCK WASH, MATERIAL STORAGE, AND TOPSOIL STOCKPILES SHALL BE DETERMINED BY CONTRACTOR. IF FINAL LOCATION OF BMP'S DIFFER FROM THE LOCATIONS SHOWN, CONTRACTOR SHALL MODIFY SWPPP AND INFORM NEW YORK STATE OF NEW LOCATION OF BMP'S.

ADJACENT AREAS: NORTH: LABORATORY OFFICE (LO)
SOUTH: LOW DENSITY RESIDENTIAL (R-4J), LABORATORY OFFICE (LO)
EAST: LIGHT INDUSTRIAL OFFICE (LI), LIGHT INDUSTRIAL (LI)
WEST: LOW DENSITY RESIDENTIAL (R-4D)

SOILS IN LOD: ReB RIVERHEAD FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES 100.0%
REFER THIS SHEET FOR SOILS MAP BOUNDARIES.

EROSION AND SEDIMENT CONTROL MEASURES: PROVIDE INLET PROTECTION OF ALL NEW AND EXISTING DRAINAGE STRUCTURES INDICATED ON THIS PLAN.

ANY OFF-SITE BORROW OR SPOIL AREAS SHALL BE SUBJECT TO THE REQUIREMENTS SET FORTH BY THE TOWN OF ORANGETOWN. ALL EROSION AND SEDIMENT CONTROL MEASURES FOR OFF-SITE AREAS NOT COVERED BY A SEPARATE NPDES PERMIT OR SWPPP SHALL BE COORDINATED WITH THE TOWN OF ORANGETOWN.

ALL TRENCH OR EXCAVATION GROUNDWATER CONTAINING SEDIMENT MUST BE EFFECTIVELY TREATED PRIOR TO DISCHARGE INTO THE STORM SEWER SYSTEM.

USE ANY MEANS NECESSARY AND ACCEPTABLE TO THE JURISDICTION TO CONTROL DUST ON THE SITE AND PREVENT TRACKING SOIL OFF SITE.

CRITICAL AREAS: NONE

JURISDICTION: ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE TOWN OF ORANGETOWN.

INSPECTIONS: INSPECTIONS OF OUTFALLS/EPSC MEASURES SHALL BE INSPECTED AT LEAST TWICE WEEKLY AND AT LEAST 72 HOURS APART. COORDINATION OF THESE INSPECTIONS IS THE RESPONSIBILITY OF THE OWNER'S REPRESENTATIVE.

DOCUMENT INSPECTIONS WEEKLY AND SUBMIT INSPECTION REPORT MONTHLY. A COPY OF THIS SWPPP AND INSPECTION REPORT IS TO BE MADE AVAILABLE ON SITE AT ALL TIMES. ON-SITE SWPPP IS TO BE LOCATED IN THE JOB TRAILER.

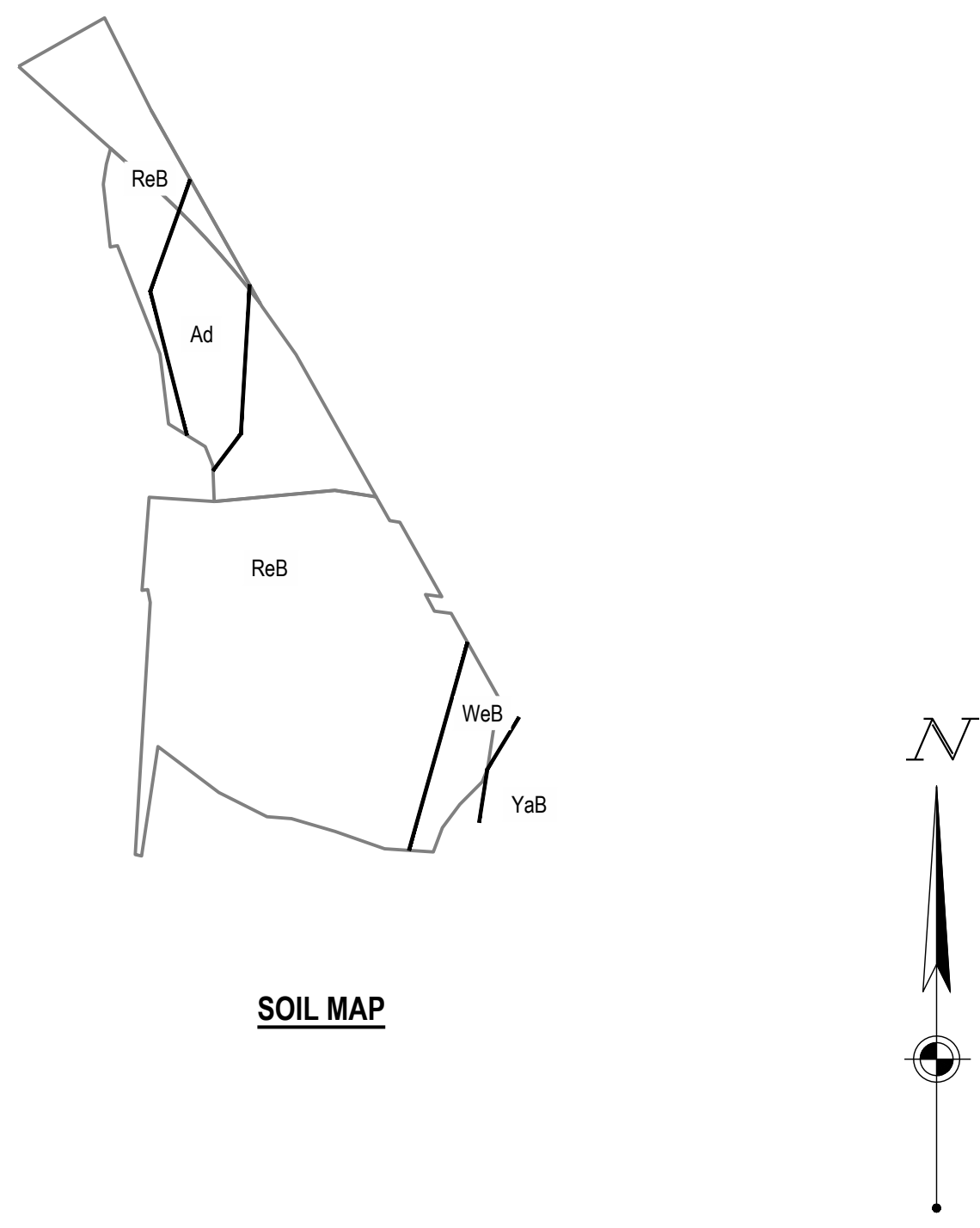
OUTFALLS/EPSC AND OTHER PROTECTIVE MEASURES SHALL BE REPAIRED, REPLACED OR MODIFIED WITHIN 7 DAYS ACCORDING TO THE NEEDS IDENTIFIED IN THE INSPECTION REPORT.

STORMWATER POLLUTION PREVENTION PLAN CONTACTS

OWNER/DEVELOPER: JUPITER LANE LCC
49 RAILROAD AVENUE
ALBANY, NY 12205
CONTACT: PETER LUIZZI
EMAIL: PLUIZZI@LUIZZIBROS.COM

PLAN PREPARED BY CESO CO. 3601 RIGBY ROAD SUITE 300
MIAMISBURG, OH 45342
ENGINEER OF RECORD: JEFFREY A. TIBBITTS, P.E.

PROJECT CONTACT: JEFF DE ZORT, P.E.
PHONE: (407)-670-2881
EMAIL: DEZORT@CESOINC.COM



STORMWATER POLLUTION PREVENTION PLAN NOTES

- SITE EPSC SHALL BE CHECKED AND IF NECESSARY, REPAIRED WEEKLY AND WITHIN 24 HOURS AFTER EACH RAINFALL GREATER THAN 1/8". IN THE EVENT OF CONTINUOUS RAINFALL, EROSION CONTROLS SHALL BE CHECKED DAILY.
- REMOVE TRAPPED SEDIMENT FROM SEDIMENT CONTROLS AT OR BEFORE 50% OF DESIGN CAPACITY.
- ALL AREAS TO REMAIN BARE GREATER THAN 7 DAYS MUST BE TEMPORARILY STABILIZED.
- THERE SHALL BE NO DIRT, DEBRIS, OR STORAGE OF MATERIALS IN THE STREET.
- GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STONE LAYER OF THE CONSTRUCTION ENTRANCE.
- STRAW BALES SHALL NOT BE USED AS A FORM OF EROSION CONTROL.
- ALL EPSC PROPOSED MUST BE INSTALLED TO CONTROL RAINFALL AND RUNOFF FOR THE 2-YR, 24-HOUR STORM EVENT.
- QUALITY ASSURANCE INSPECTION OF EROSION AND SEDIMENT CONTROLS SHALL BE PERFORMED WITHIN ONE MONTH OF CONSTRUCTION COMMENCING PER SECTION IV OF THE STATE OF NEW YORK NPDES PERMIT GUIDELINES.
- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED ACCORDING TO SWPPP AND DETAIL PLANS, ACCORDING TO THE LATEST NEW YORK AUTHORIZATION FOR CONSTRUCTION ACTIVITY UNDER THE "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES); ANY AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS. SEE TOWN OF ORANGETOWN CODE FOR SWPPP RULES AND REGULATIONS. ALL CONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.
 - CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AND GRADE CHANGES TO THE SITE AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
 - CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE MAXIMUM EXTENT POSSIBLE OR AS REQUIRED BY THE GENERAL PERMIT. DO NOT DISTURB AREA OUTSIDE OF THE LIMITS OF DISTURBANCE (L.O.D.).
 - SEDIMENT STRUCTURE AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE SLOPE DEVELOPMENT AREA IS REESTABLISHED.
 - PERMANENT SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF VEGETATION, LANDSCAPE TYPE, MULCHING, MATTING, SOD, RIP RAP, AND OTHER APPROVED LANDSCAPING TECHNIQUES TO BE APPLIED AS FOLLOWS:
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR ONE (1) YEAR OR MORE.
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM AT FINAL GRADE.
WITHIN SEVEN (7) DAYS FOR ANY OTHER AREA AT FINAL GRADE.
 - TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOD, PRESERVATION OF EXISTING VEGETATION, AND OTHER APPROVED TECHNIQUES TO BE APPLIED AS FOLLOWS:
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM NOT AT FINAL GRADE. WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR MORE THAN FOURTEEN (14) DAYS, BUT LESS THAN ONE (1) YEAR, PRIOR TO THE ONSET OF WINTER WEATHER FOR AREAS THAT WILL BE IDLE OVER WINTER.
 - TEMPORARY SEEDING, MULCHING, AND FERTILIZER SPECIFICATIONS:
SEEDING: ANNUAL RYEGRASS AT 2.02 #/1,000 S.F.
MULCHING: STRAW MATERIAL SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT A RATE OF TWO (2) TON/ACRE, OR 80-100 POUNDS PER 1,000 S.F. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITIVE/NOXIOUS WEEDS. MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICAL MEANS, FROM NOVEMBER 01 THRU MARCH 15 INCREASE THE RATE OF STRAW MULCH TO THREE (3) TON/ACRE.
FERTILIZER: APPLY FERTILIZER AT HALF THE RATE OF PERMANENT APPLICATION AND AS PER STATE DOT SPECIFICATIONS. IF PROJECT CONDITIONS PREVENT FERTILIZING THE SOIL, THEN THIS ITEM MAY BE WAIVED.
 - PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH NEW YORK STATE STANDARD SPECIFICATIONS.
 - SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. ALL SLOPES 3:1 OR GREATER THAN 3:1 SHALL BE FERTILIZED, SEEDED, EROSION CONTROL BLANKETS INSTALLED, AND LOW MAINTENANCE GRASS SEED MIX APPLIED ON THE SLOPES, AS SPECIFIED IN THE PLANS.
 - NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. ALL NON-SEDIMENT POLLUTANTS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN DESIGNATED PIT OR DIKED AREAS, WHERE WASHINGS CAN BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE WHEN THEY HARDEN. STORAGE TANKS SHOULD ALSO BE LOCATED IN PIT OR DIKED AREAS. IN ADDITION, SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CLEAN AND CONTAIN FUEL AND CHEMICAL SPILLS MUST BE KEPT ON SITE.
 - IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION EXIT DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD, PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
 - RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
 - DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.
 - ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS. AT A MINIMUM, A SILT FENCE IS TO BE PLACED AT PERIMETER OF STOCKPILE AREA TO PREVENT SOIL FROM LEAVING THE STOCKPILE AREA.
 - ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.
 - ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.

- THE LAST LAYER OF SOIL, INCLUDING TOP SOIL, SHALL BE COMPACTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY. IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION, THIS IS PARTICULARLY IMPORTANT IN CUT SLOPE AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPACTED TO 98% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY RESPECTIVELY; THE LAST COMPACTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.
- IN THE EVENT THAT HIGH GROUND WATER IS ENCOUNTERED, CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND IMPLEMENTING A PLAN TO CONTROL BOTH SURFACE AND GROUND WATER DURING THE COURSE OF CONSTRUCTION. ALL DEWATERING ACTIVITIES SHALL PASS THROUGH A BMP PRIOR TO LEAVING THE SITE.

INSPECTION/MAINTENANCE NOTES

FILTER BARRIERS, INCLUDING BUT NOT LIMITED TO SILT FENCE AND INLET PROTECTION, SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY HALF THE HEIGHT OF THE BARRIER.

IF THE FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE, AND THE BARRIER IS STILL REQUIRED, THE FABRIC SHALL BE REPLACED PROMPTLY.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, AND SEEDED.

ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:

- ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:
 - INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND OR DETERIORATION.
 - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
 - SILT FENCES AND CHECK DAMS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT ACCUMULATION MUST BE REMOVED WHEN SEDIMENT HEIGHT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE OR CHECK DAM.
 - OUTLET STRUCTURES IN SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT MUST BE REMOVED FROM BASINS AND OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 40%.
 - MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED BY GENERAL CONTRACTOR AND IN GOOD WORKING ORDER AT ALL TIMES; THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.
 - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE) BY GENERAL CONTRACTOR. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, INCLUDING DETENTION BASINS AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.
- ALL RIP RAP MUST BE PLACED OVER GEOTEXTILE FILTER.
- STONE CONSTRUCTION EXIT TO BE MAINTAINED BY GENERAL CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.

SOLID/SANITARY/TOXIC WASTES NOTES

- CONTAINERS SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.
- BRICKS, HARDENING CONCRETE AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.
- CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.
- ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN APPROVED C&DD LANDFILL. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED OF IN AN APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS.
- AREA SHALL BE DESIGNATED BY CONTRACTOR AND SHOWN ON SWPPP MAP FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE. THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY.
- A SPILL PREVENTION CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 660 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.
- ALL DESIGNATED CONCRETE WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS OR OTHER STORMWATER DRAINAGE AREAS.
- ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED OF IN AN APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES.
- THE CONTRACTOR SHALL CONTACT THE TOWN OF ORANGETOWN, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.
- OPEN BURNING IS NOT PERMITTED ON THE SITE.

GENERAL NOTES

- ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED AS IDENTIFIED WITH THE TOWN OF ORANGETOWN AND LOCAL JURISDICTION INSPECTOR.
- CONTRACTOR SHALL REVIEW THE COMPLETE DRAWING SET AND NOTIFY THE DESIGN PROFESSIONAL IN WRITING PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE FOUND WITHIN THE DRAWINGS OR WITH ACTUAL FIELD CONDITIONS.
- ALL STORMWATER POLLUTION PREVENTION PLANS, NOTES AND DETAILS SHALL COMPLY WITH THE VILLAGE OF COLONIE CODE AND THE NEW YORK STATE STANDARDS.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN EROSION CONTROL MEASURES UNTIL ADEQUATE RE-VEGETATION AND STABILIZATION ARE ACHIEVED.
- CONTRACTOR SHALL PROVIDE AND POST NOTICE OF INTENT (NOI) WITH PROJECT DESCRIPTION AND CONTACT NUMBERS.
- CONTRACTOR SHALL MODIFY THE SEQUENCE OF CONSTRUCTION BASED ON MEANS AND METHODS. ALL EROSION AND SEDIMENT CONTROL MEASURES FROM THE BEGINNING OF EARTH DISTURBING ACTIVITIES TO THE FINAL COMPLETION OF THE PROJECT ARE THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR.

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DELIVERY STATION

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913



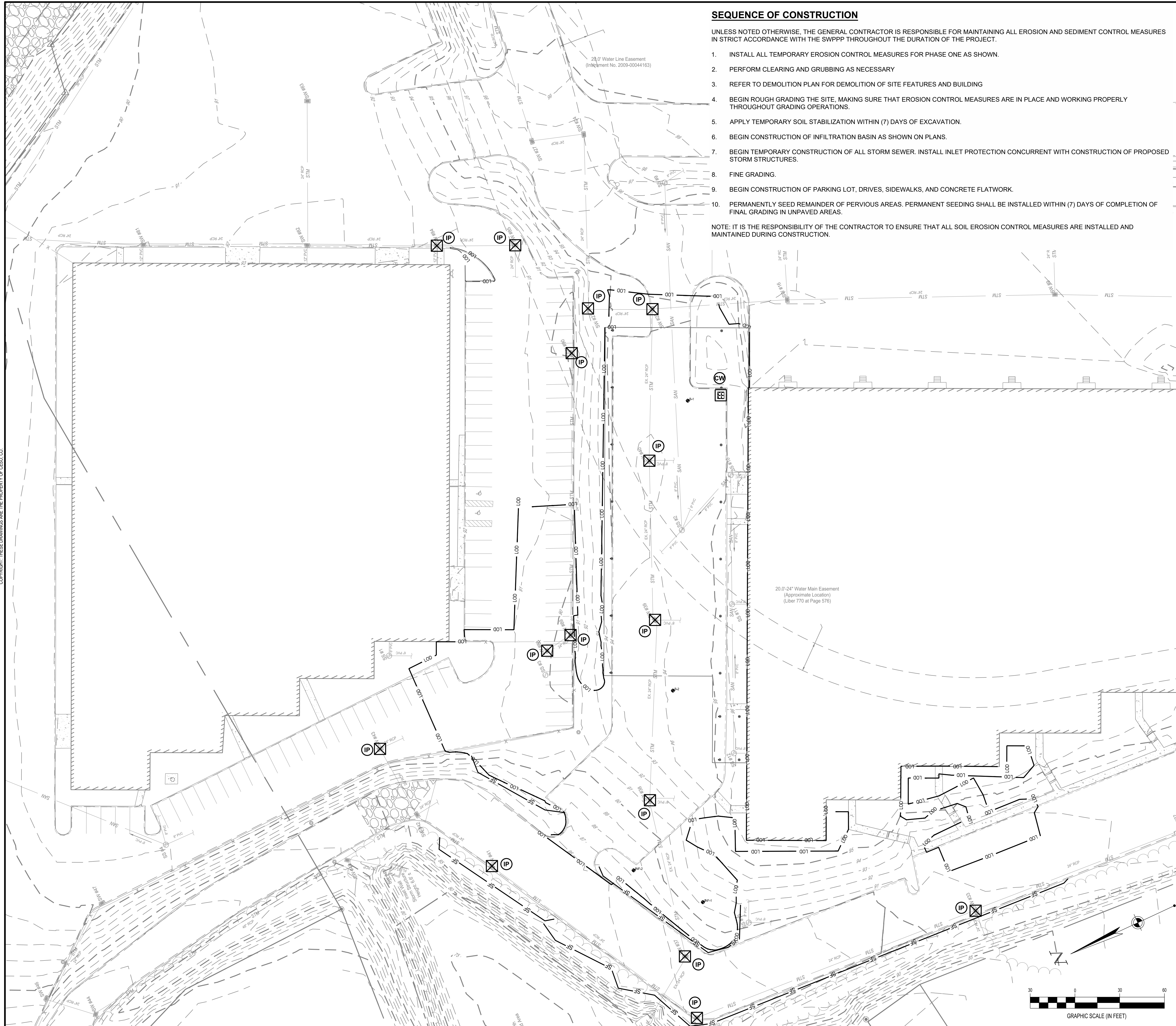
ISSUE: FOR PERMIT
DATE: 03/12/20

JOB NO.: 757184
SCALE: 1" = 80'
DESIGN: T. LEJA
DRAWN: S. BAILEY
CHECKED: J. KOCINSKI

DRAWING TITLE

SWPPP NOTES

SHEET NO.
C6.0



SEQUENCE OF CONSTRUCTION

UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES IN STRICT ACCORDANCE WITH THE SWPPP THROUGHOUT THE DURATION OF THE PROJECT.

1. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES FOR PHASE ONE AS SHOWN.
2. PERFORM CLEARING AND GRUBBING AS NECESSARY
3. REFER TO DEMOLITION PLAN FOR DEMOLITION OF SITE FEATURES AND BUILDING
4. BEGIN ROUGH GRADING THE SITE, MAKING SURE THAT EROSION CONTROL MEASURES ARE IN PLACE AND WORKING PROPERLY THROUGHOUT GRADING OPERATIONS.
5. APPLY TEMPORARY SOIL STABILIZATION WITHIN (7) DAYS OF EXCAVATION.
6. BEGIN CONSTRUCTION OF INFILTRATION BASIN AS SHOWN ON PLANS.
7. BEGIN TEMPORARY CONSTRUCTION OF ALL STORM SEWER. INSTALL INLET PROTECTION CONCURRENT WITH CONSTRUCTION OF PROPOSED STORM STRUCTURES.
8. FINE GRADING.
9. BEGIN CONSTRUCTION OF PARKING LOT, DRIVES, SIDEWALKS, AND CONCRETE FLATWORK.
10. PERMANENTLY SEED REMAINDER OF PERVIOUS AREAS. PERMANENT SEEDING SHALL BE INSTALLED WITHIN (7) DAYS OF COMPLETION OF FINAL GRADING IN UNPAVED AREAS.

NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL SOIL EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED DURING CONSTRUCTION.

LEGEND

- REFER TO TOPOGRAPHIC SURVEY
- EXISTING**
- 080 MAJOR CONTOUR
 - 081 MINOR CONTOUR
- PROPOSED**
- SF SILT FENCE
 - L.O.D. GRADING/SEEDING LIMITS (L.O.D. - LIMITS OF DISTURBANCE)
 - IP INLET PROTECTION
 - TS TEMPORARY SEEDING
 - CW CONCRETE WASHOUT
 - IB INFILTRATION BASIN REFER TO DETAIL SHEET CXX AND C5.0 FOR GRADING PLAN
 - CE TEMPORARY CONSTRUCTION ENTRANCE

GENERAL NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL SOIL EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED DURING CONSTRUCTION.
2. DEVELOPER/OWNER IS RESPONSIBLE TO MAINTAIN POST-CONSTRUCTION PERMANENT EROSION CONTROL MEASURES UNTIL ADEQUATE RE-VEGETATION AND STABILIZATION IS ACHIEVED.
3. CONTRACTOR SHALL REVIEW THE COMPLETE DRAWING SET AND NOTIFY THE DESIGN PROFESSIONAL IN WRITING PRIOR TO CONSTRUCTION, IF ANY DISCREPANCIES ARE FOUND WITHIN THE DRAWINGS OR WITH ACTUAL FIELD CONDITIONS.
4. ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED AS IDENTIFIED WITH THE TOWN OF ORANGETOWN AND LOCAL JURISDICTION INSPECTOR.
5. CONTRACTOR SHALL MODIFY THE SEQUENCE OF CONSTRUCTION BASED ON SITE CONDITIONS AND CONTRACTOR'S MEANS AND METHODS. ALL EROSION AND SEDIMENT CONTROL MEASURES FROM THE BEGINNING OF EARTH DISTURBING ACTIVITIES TO THE FINAL COMPLETION OF THE PROJECT ARE THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR.
6. SILT FENCE SHOWN OFF OF LIMITS OF DISTURBANCE FOR CLARITY PURPOSES ONLY. CONTRACTOR TO ENSURE SILT FENCE IS PLACED AT LIMITS OF DISTURBANCE. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ENGINEER PRIOR TO PLACEMENT OF ANY EROSION CONTROL MEASURES.

SURVEY (DATED 10/31/2019) BY:
 BLEW & ASSOCIATES, PA
 3825 N. SHILOH DRIVE
 FAYETTEVILLE, AR 72703
 PHONE: (479) 582-1883
 CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

FLOODPLAIN DESIGNATION:
 ACCORDING TO F.I.R.M. NO. 36087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK

	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	816832.73 N, 641443.82 E
BM 2	5/8" REBAR	71.22 FT	818739.46 N, 641528.88 E



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEWYORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEWYORK 811 CALL.

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DELIVERY STATION

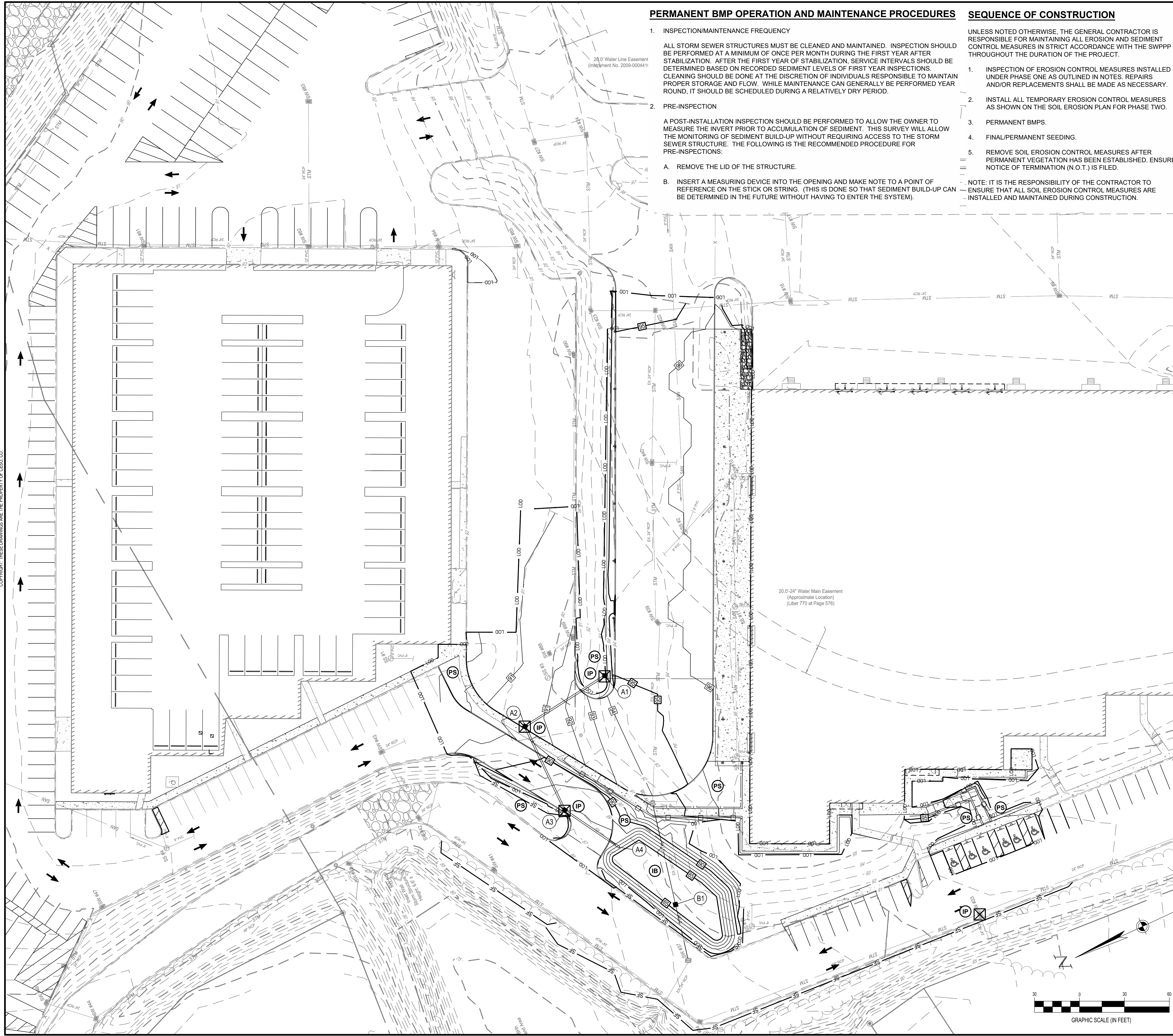


ISSUE: FOR PERMIT
 DATE: 03/12/20

JOB NO.: 757184
 SCALE: 1" = 30'
 DESIGN: T. LEJA
 DRAWN: S. BAILEY
 CHECKED: J. KOCINSKI
 DRAWING TITLE

SWPPP PLAN

SHEET NO.
C6.1



PERMANENT BMP OPERATION AND MAINTENANCE PROCEDURES

- 1. INSPECTION/MAINTENANCE FREQUENCY**
ALL STORM SEWER STRUCTURES MUST BE CLEANED AND MAINTAINED. INSPECTION SHOULD BE PERFORMED AT A MINIMUM OF ONCE PER MONTH DURING THE FIRST YEAR AFTER STABILIZATION. AFTER THE FIRST YEAR OF STABILIZATION, SERVICE INTERVALS SHOULD BE DETERMINED BASED ON RECORDED SEDIMENT LEVELS OF FIRST YEAR INSPECTIONS. CLEANING SHOULD BE DONE AT THE DISCRETION OF INDIVIDUALS RESPONSIBLE TO MAINTAIN PROPER STORAGE AND FLOW. WHILE MAINTENANCE CAN GENERALLY BE PERFORMED YEAR ROUND, IT SHOULD BE SCHEDULED DURING A RELATIVELY DRY PERIOD.
- 2. PRE-INSPECTION**
A POST-INSTALLATION INSPECTION SHOULD BE PERFORMED TO ALLOW THE OWNER TO MEASURE THE INVERT PRIOR TO ACCUMULATION OF SEDIMENT. THIS SURVEY WILL ALLOW THE MONITORING OF SEDIMENT BUILD-UP WITHOUT REQUIRING ACCESS TO THE STORM SEWER STRUCTURE. THE FOLLOWING IS THE RECOMMENDED PROCEDURE FOR PRE-INSPECTIONS:
A. REMOVE THE LID OF THE STRUCTURE.
B. INSERT A MEASURING DEVICE INTO THE OPENING AND MAKE NOTE TO A POINT OF REFERENCE ON THE STICK OR STRING. (THIS IS DONE SO THAT SEDIMENT BUILD-UP CAN BE DETERMINED IN THE FUTURE WITHOUT HAVING TO ENTER THE SYSTEM).

SEQUENCE OF CONSTRUCTION

- UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES IN STRICT ACCORDANCE WITH THE SWPPP THROUGHOUT THE DURATION OF THE PROJECT.
1. INSPECTION OF EROSION CONTROL MEASURES INSTALLED UNDER PHASE ONE AS OUTLINED IN NOTES. REPAIRS AND/OR REPLACEMENTS SHALL BE MADE AS NECESSARY.
 2. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES AS SHOWN ON THE SOIL EROSION PLAN FOR PHASE TWO.
 3. PERMANENT BMPs.
 4. FINAL/PERMANENT SEEDING.
 5. REMOVE SOIL EROSION CONTROL MEASURES AFTER PERMANENT VEGETATION HAS BEEN ESTABLISHED. ENSURE NOTICE OF TERMINATION (N.O.T.) IS FILED.
- NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL SOIL EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED DURING CONSTRUCTION.

LEGEND

- EXISTING**
REFER TO TOPOGRAPHIC SURVEY
- PROPOSED**
- 080 MAJOR CONTOUR
 - 081 MINOR CONTOUR
 - SF SILT FENCE
 - L.O.D. GRADING/SEEDING LIMITS (L.O.D. - LIMITS OF DISTURBANCE)
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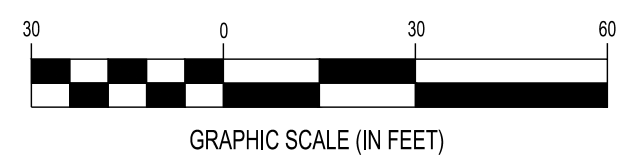
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BENCHMARK

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BM 2	5/8" REBAR	71.22 FT	818739.46 N, 641528.88 E



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811 CALL.



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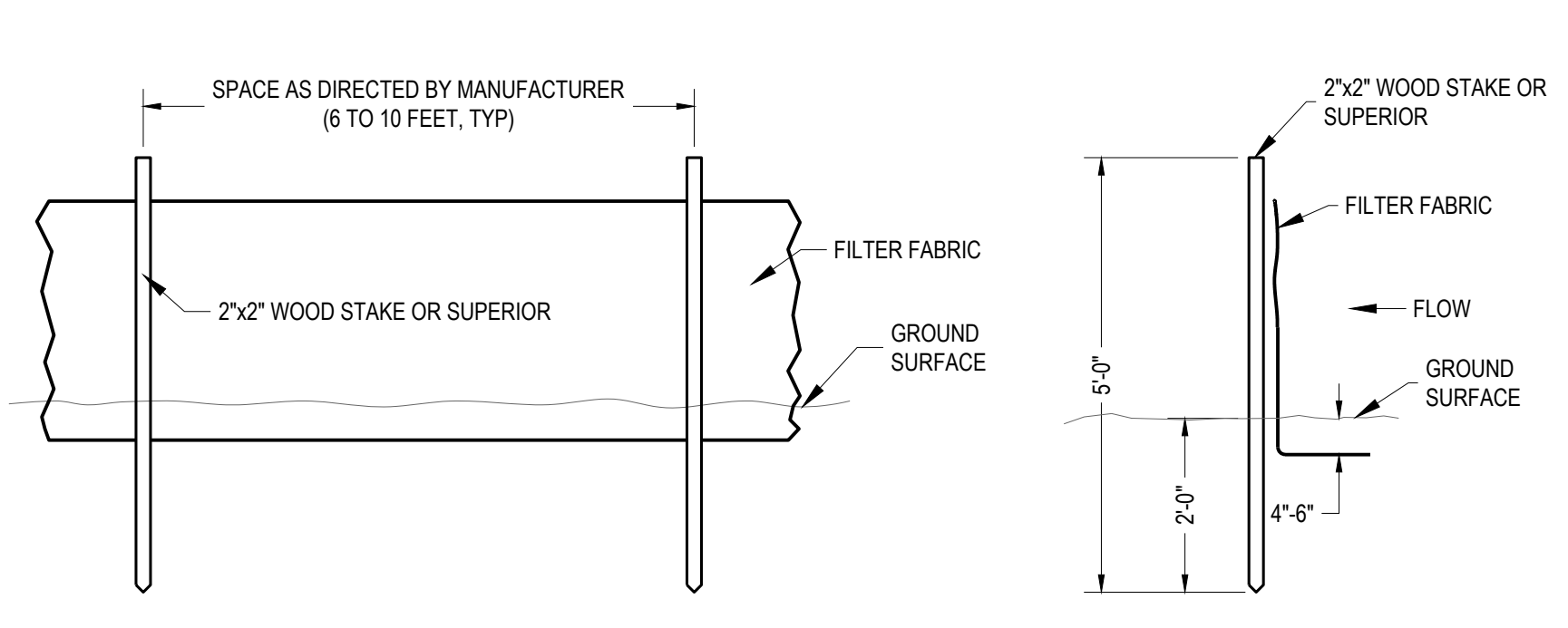


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JOB NO.: 757184
SCALE: 1" = 30'
DESIGN: T. LEJA
DRAWN: S. BAILEY
CHECKED: J. KOCINSKI
DRAWING TITLE

SWPPP PLAN 2

SHEET NO. C6.2



TEMPORARY SILT FENCE / FILTER SOCK (ALTERNATE)

SILT FENCE NOTES:

NOT TO SCALE

FILTER FABRIC SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.

FILTER FABRIC SHALL BE MIRAFI 140 FABRIC OR EQUIVALENT. BURLAP CANNOT BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.

STEEL POST SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.

WOOD POSTS SHALL BE 6'-0" TO 7'-0" IN HEIGHT AND 2" IN DIAMETER. WIRE FABRIC SHALL BE FASTENED TO WOODEN POST WITH NOT LESS THAN #9 WIRE STAPLES 1-1/2" LONG.

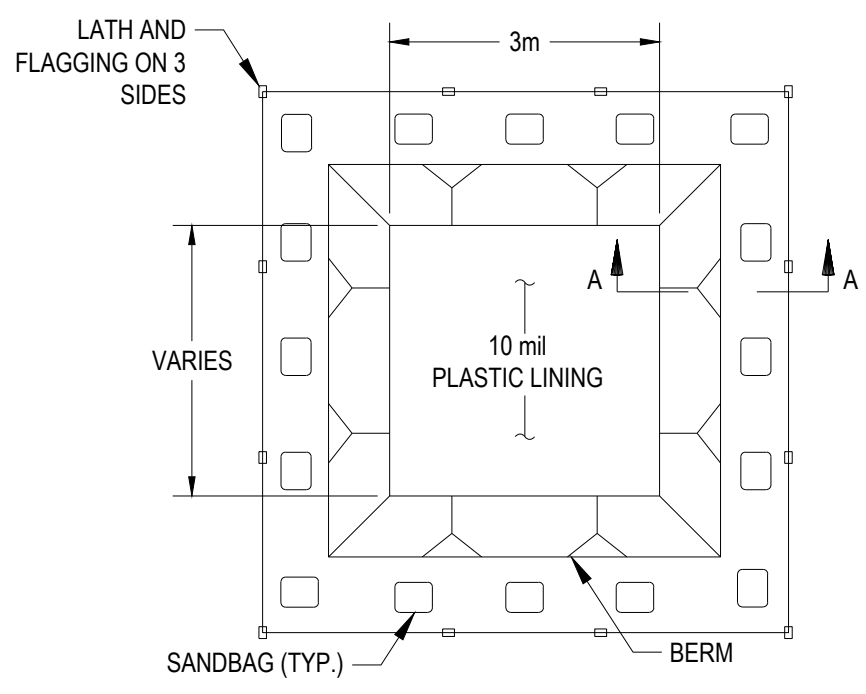
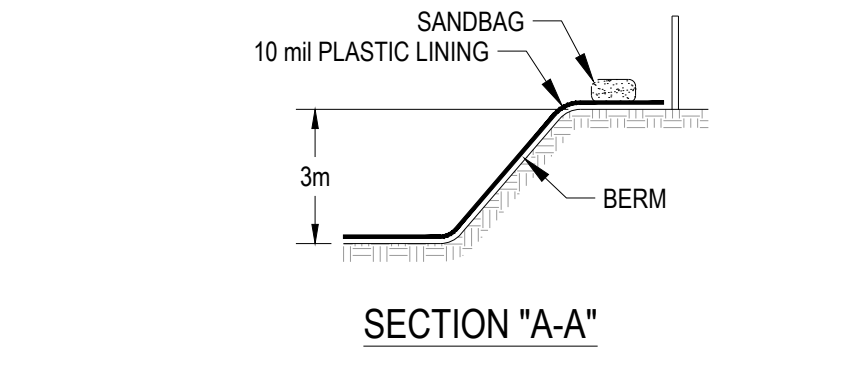
MAINTENANCE NOTES:

FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

IF THE FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE, AND THE BARRIER IS STILL REQUIRED, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, AND SEEDED.

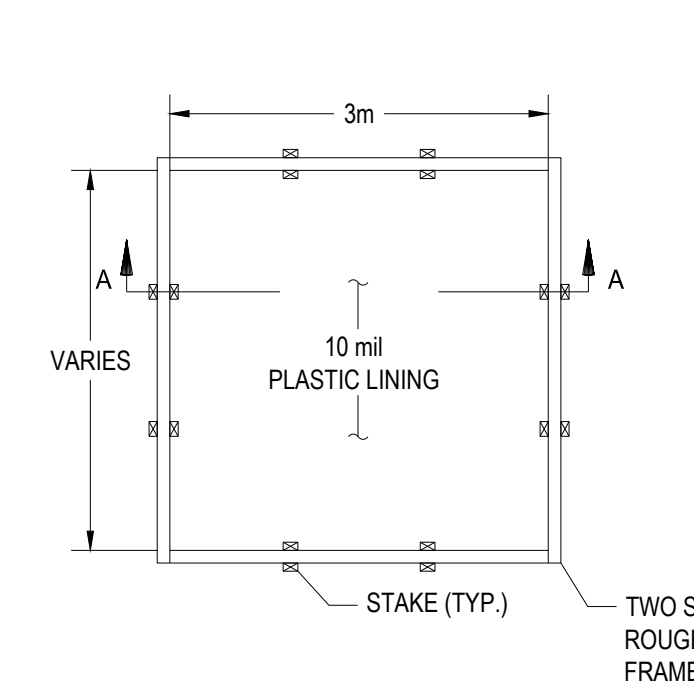
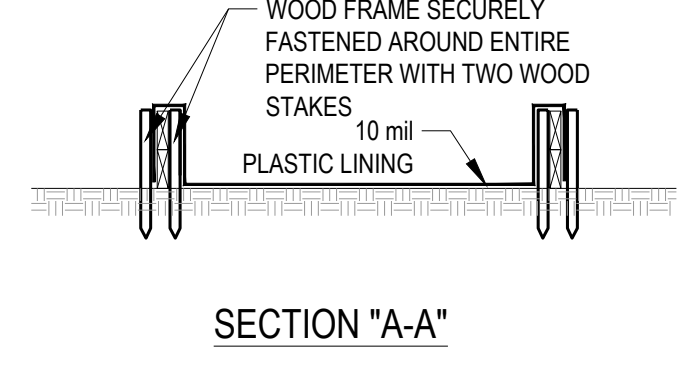


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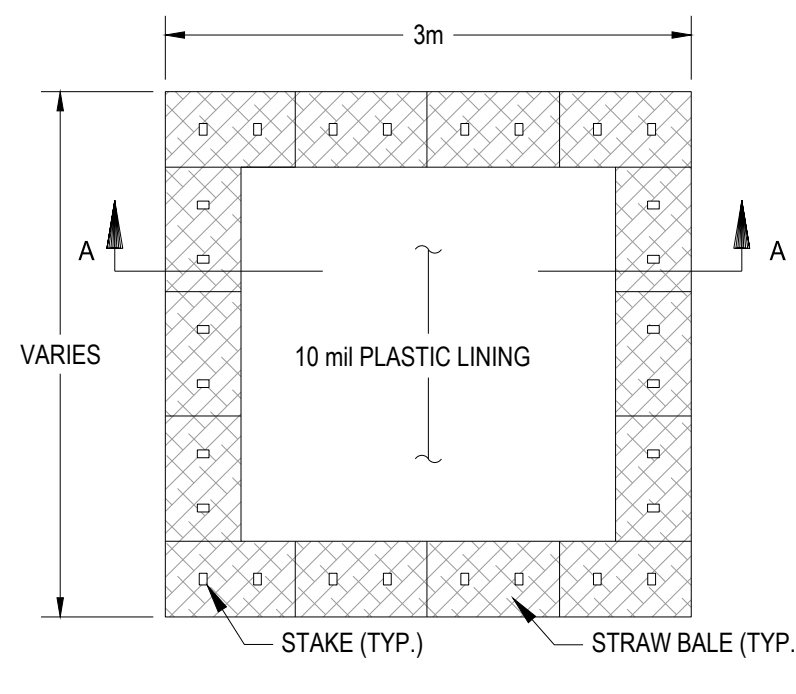
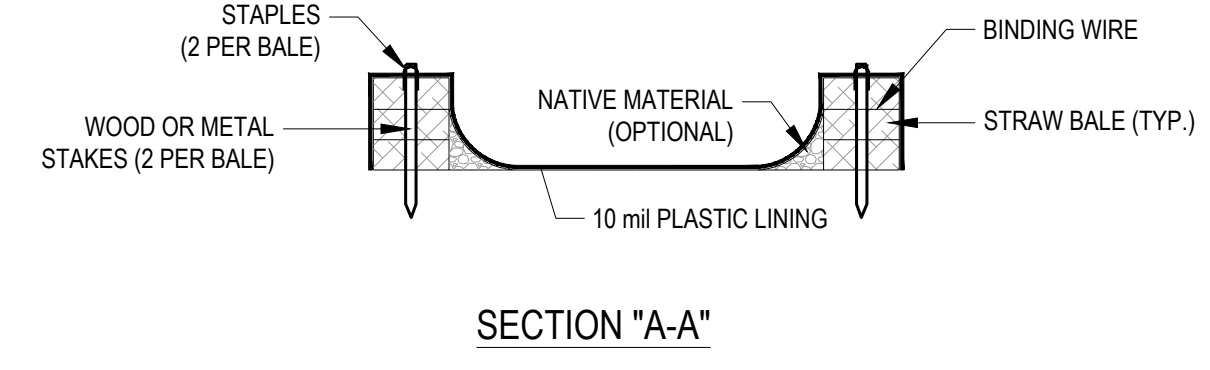
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.

2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 10m OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

"BELOW GRADE"



"ABOVE GRADE" w / WOOD PLANKS

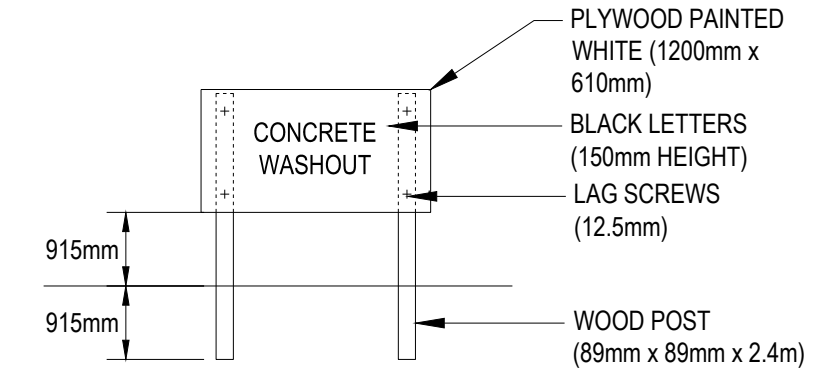


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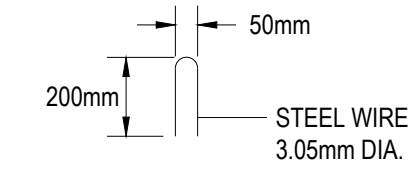
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2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 10 m OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

PLAN VIEW



CONCRETE WASHOUT SIGN DETAIL



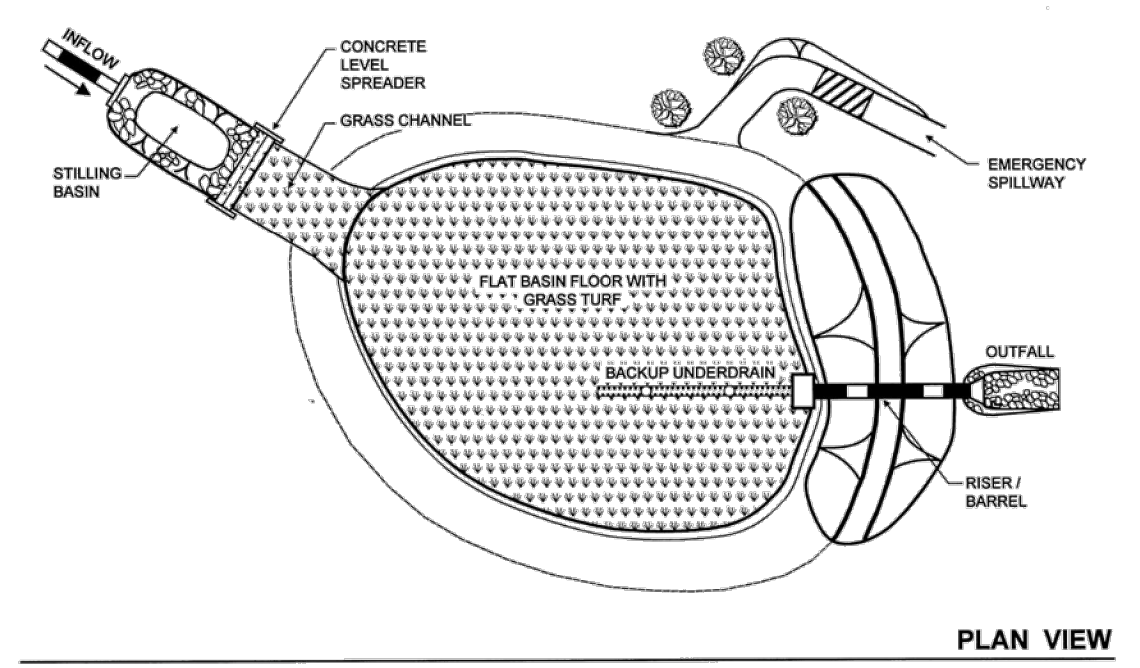
STAPLE DETAIL

CONCRETE WASHOUT

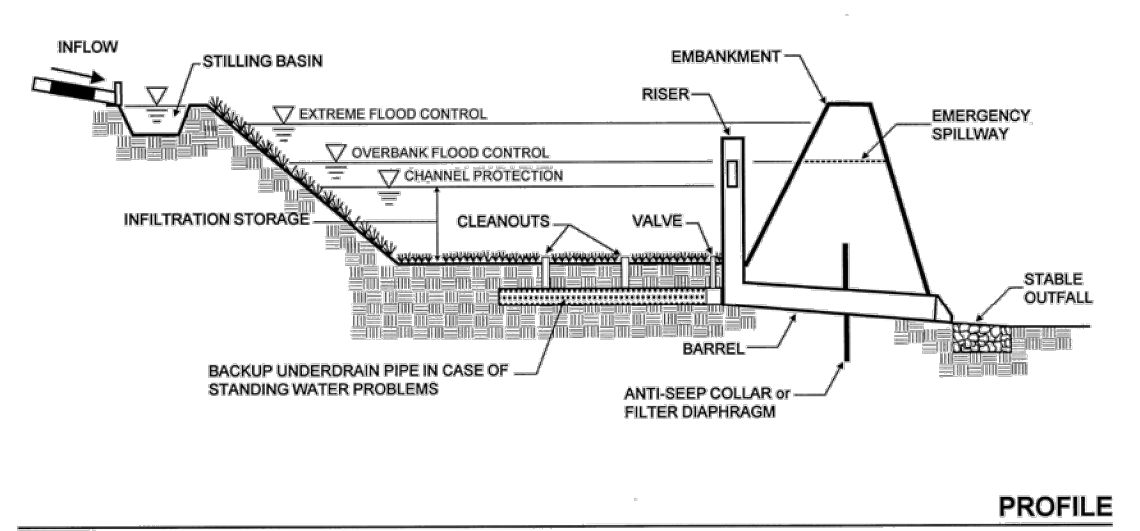
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New York State Stormwater Management Design Manual
Chapter 6: Performance Criteria
Section 6.3 Stormwater Infiltration

Figure 6.12 Infiltration Basin (1-2)



PLAN VIEW



PROFILE

STANDARD AND SPECIFICATIONS FOR DUST CONTROL



Definition & Scope

The control of dust resulting from land-disturbing activities, to prevent surface and air movement of dust from disturbed soil surfaces that may cause off-site damage, health hazards, and traffic safety problems.

Conditions Where Practice Applies

On construction roads, access points, and other disturbed areas subject to surface dust movement and dust blowing where off-site damage may occur if dust is not controlled.

Design Criteria

Construction operations should be scheduled to minimize the amount of area disturbed at one time. Buffer areas of vegetation should be left where practical. Temporary or permanent stabilization measures shall be installed. No specific design criteria is given; see construction specifications below for common methods of dust control.

Water quality must be considered when materials are selected for dust control. Where there is a potential for the material to wash off to a stream, ingredient information must be provided to the NYSDEC.

Construction Specifications

A. Non-driving Areas – These areas use products and materials applied or placed on soil surfaces to prevent airborne migration of soil particles.

Vegetative Cover – For disturbed areas not subject to traffic, vegetation provides the most practical method of

dust control (see Section 3).

Mulch (including gravel mulch) – Mulch offers a fast effective means of controlling dust. This can also include rolled erosion control blankets.

Spray adhesives – These are products generally composed of polymers in a liquid or solid form that are mixed with water to form an emulsion that is sprayed on the soil surface with typical hydroseeding equipment. The mixing ratios and application rates will be in accordance with the manufacturer's recommendations for the specific soils on the site. In no case should the application of these adhesives be made on wet soils or if there is a probability of precipitation within 48 hours of its proposed use. Material Safety Data Sheets will be provided to all applicators and others working with the material.

B. Driving Areas – These areas utilize water, polymer emulsions, and barriers to prevent dust movement from the traffic surface into the air.

Sprinkling – The site may be sprayed with water until the surface is wet. This is especially effective on haul roads and access route to provide short term limited dust control.

Polymer Additives – These polymers are mixed with water and applied to the driving surface by a water truck with a gravity feed drip bar, spray bar or automated distributor truck. The mixing ratios and application rates will be in accordance with the manufacturer's recommendations. Incorporation of the emulsion into the soil will be done to the appropriate depth based on expected traffic. Compaction after incorporation will be by vibratory roller to a minimum of 95%. The prepared surface shall be moist and no application of the polymer will be made if there is a probability of precipitation within 48 hours of its proposed use. Material Safety Data Sheets will be provided to all applicators working with the material.

Barriers – Woven geo-textiles can be placed on the driving surface to effectively reduce dust throw and particle migration on haul roads. Stone can also be used for construction roads for effective dust control.

Windbreak – A silt fence or similar barrier can control air currents at intervals equal to ten times the barrier height. Preserve existing wind barrier vegetation as much as practical.

Maintenance

Maintain dust control measures through dry weather periods until all disturbed areas are stabilized.

STANDARD AND SPECIFICATIONS FOR SILT FENCE



Definition & Scope

A temporary barrier of geotextile fabric installed on the contours across a slope used to intercept sediment laden runoff from small drainage areas of disturbed soil by temporarily ponding the sediment laden runoff allowing settling to occur. The maximum period of use is limited by the ultraviolet stability of the fabric (approximately one year).

Conditions Where Practice Applies

A silt fence may be used subject to the following conditions:

- Maximum allowable slope length and fence length will not exceed the limits shown in the Design Criteria for the specific type of silt fence used; and
- Maximum ponding depth of 1.5 feet behind the fence; and
- Erosion would occur in the form of sheet erosion; and
- There is no concentration of water flowing to the barrier; and
- Soil conditions allow for proper keying of fabric, or other anchorage, to prevent blowouts.

Design Criteria

- Design computations are not required for installations of 1 month or less. Longer installation periods should be designed for expected runoff.
- All silt fences shall be placed as close to the disturbed area as possible, but at least 10 feet from the toe of a slope steeper than 3H:1V, to allow for maintenance and

roll down. The area beyond the fence must be undisturbed or stabilized.

- The type of silt fence specified for each location on the plan shall not exceed the maximum slope length and maximum fence length requirements shown in the following table:

Slope	Steepness	Slope Length/Fence Length (ft.)		
		Standard	Reinforced	Super
<2%	< 50:1	300/1500	N/A	N/A
2-10%	50:1 to 10:1	125/1000	250/2000	300/2500
10-20%	10:1 to 5:1	100/750	150/1000	200/1000
20-33%	5:1 to 3:1	60/500	80/750	100/1000
33-50%	3:1 to 2:1	40/250	70/350	100/500
>50%	> 2:1	20/125	30/175	50/250

Standard Silt Fence (SF) is fabric rolls stapled to wooden stakes driven 16 inches in the ground.

Reinforced Silt Fence (RSF) is fabric placed against welded wire fabric with anchored steel posts driven 16 inches in the ground.

Super Silt Fence (SSF) is fabric placed against chain link fence as support backing with posts driven 3 feet in the ground.

- Silt fence shall be removed as soon as the disturbed area has achieved final stabilization.

The silt fence shall be installed in accordance with the appropriate details. Where ends of filter cloth come together, they shall be overlapped, folded and stapled to prevent sediment bypass. Butt joints are not acceptable. A detail of the silt fence shall be shown on the plan. See Figure 5.30 on page 5.56 for Reinforced Silt Fence as an example of details to be provided.

Criteria for Silt Fence Materials

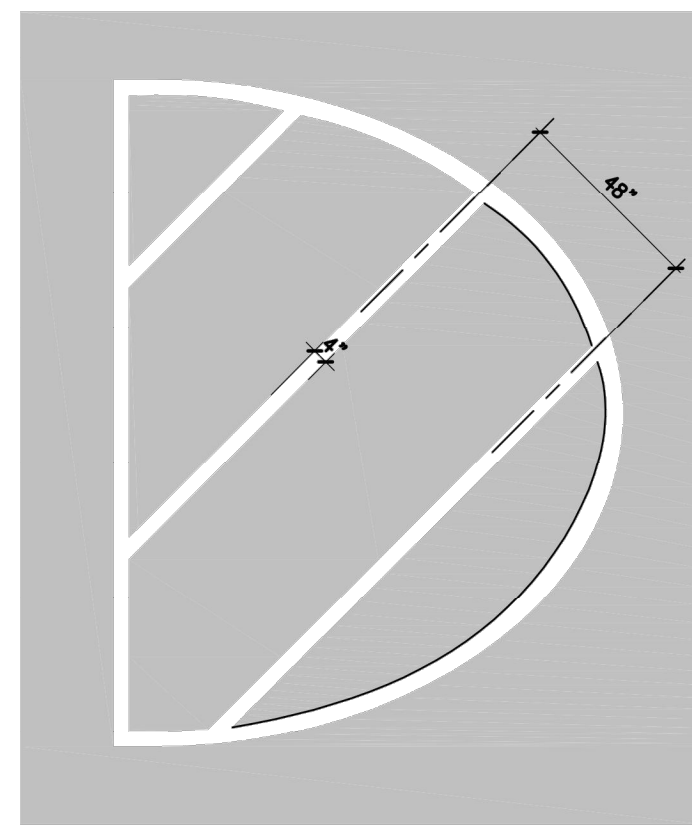
- Silt Fence Fabric: The fabric shall meet the following specifications unless otherwise approved by the appropriate erosion and sediment control plan approval authority. Such approval shall not constitute statewide acceptance.

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DELIVERY STATION

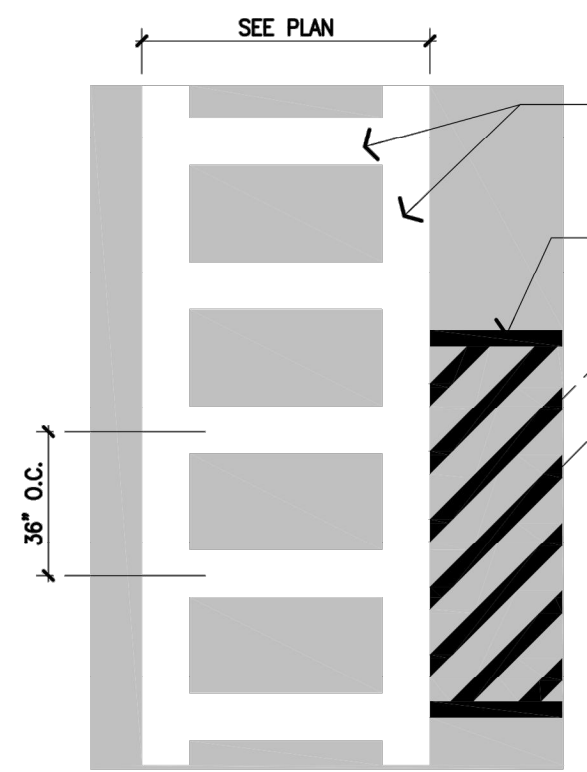


ISSUE: FOR PERMIT
DATE: 03/12/20
JOB NO.: 757184
SCALE:
DESIGN: T. LEJA
DRAWN: S. BAILEY
CHECKED: J. KOCINSKI
DRAWING TITLE



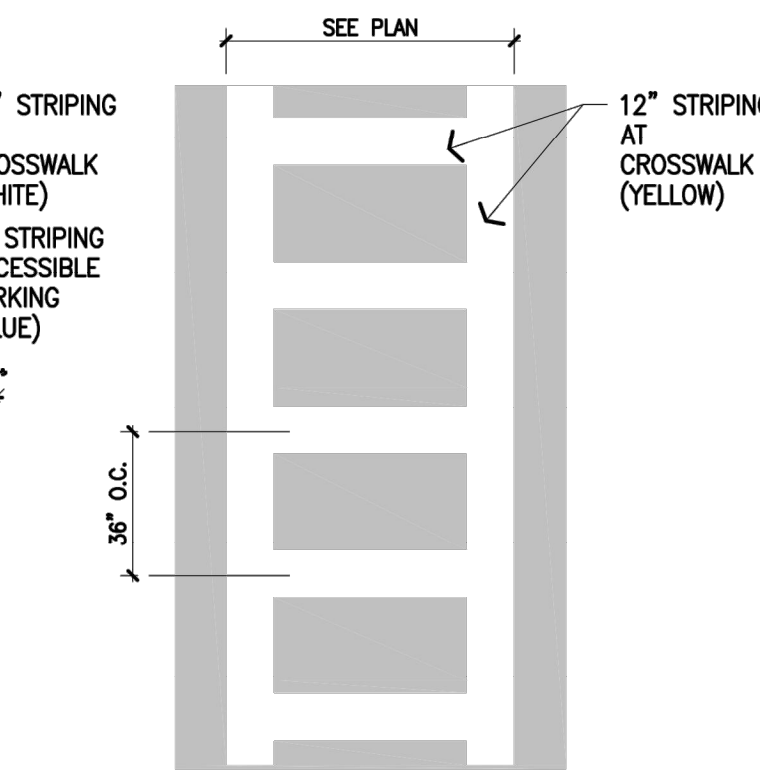
PG-10

18° STRIPING OUTLINE AND FILL AT 45 DEGREES. PAVEMENT GRAPHICS - TRAFFIC ISLAND. USE TO PROHIBIT VEHICLE TRAVEL AND PARKING. YELLOW AT NO TRAFFIC, BLUE AT ACCESSIBLE PARKING SPACES, WHITE AT VENDOR PARKING (BLACK INDICATES ASPHALT). INCLUDE AT EMERGENCY EXITS INTO THE PARKING LOT AT ALL PARKING SPACES THAT IMPEDE DIRECT ACCESS TO THE THOROUGHFARE.



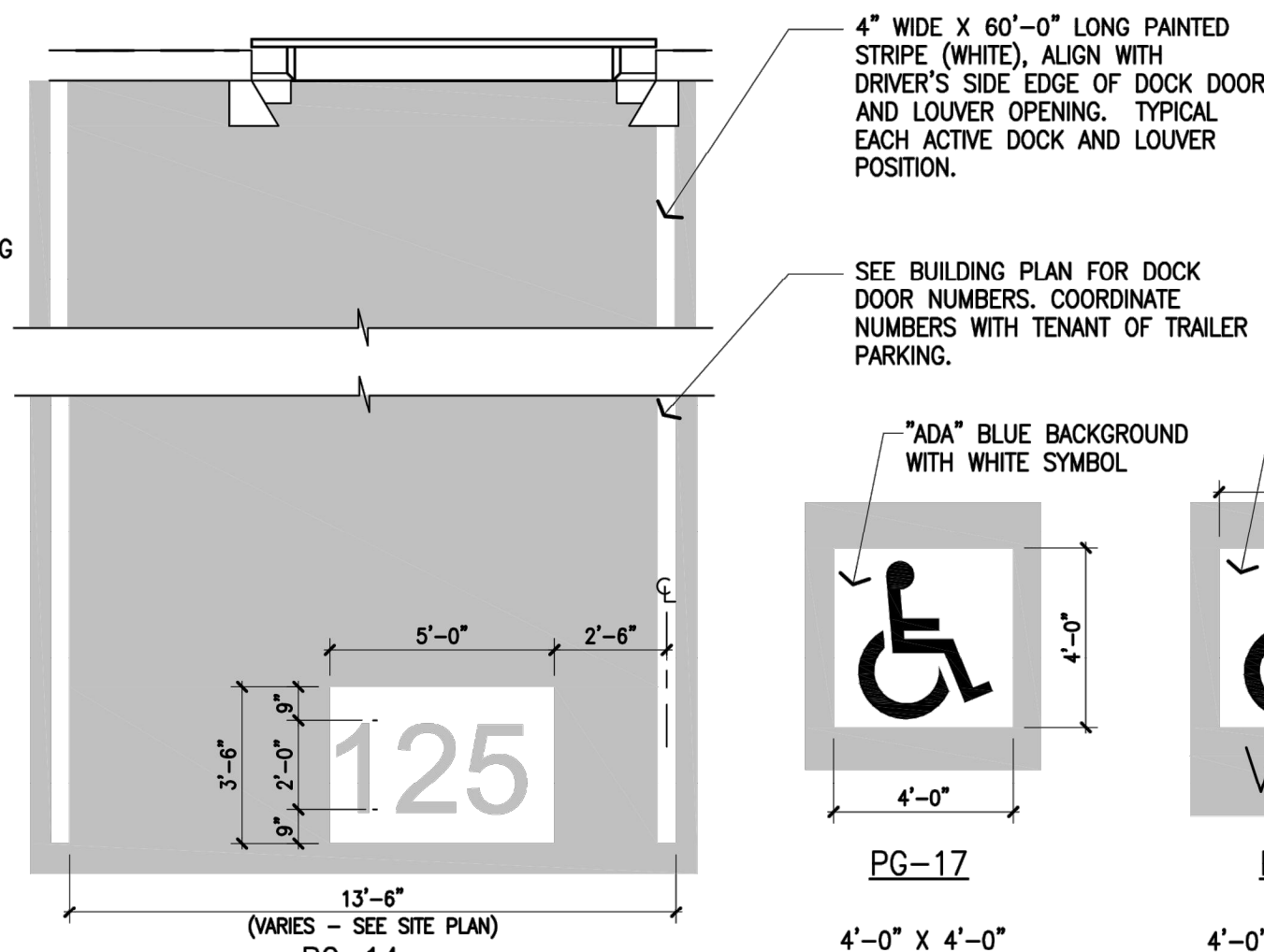
PG-11

12" STRIPING OUTLINE AND HATCH FILL AT 36° O.C. PAVEMENT GRAPHICS - PEDESTRIAN CROSSWALK. USE TO INDICATE PEDESTRIAN CROSSING. WHITE STRIPES, SEE PLAN FOR WIDTH OF CROSSWALK (BLACK INDICATES ASPHALT).



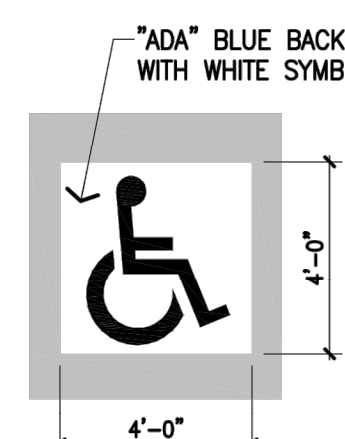
PG-12

12" STRIPING OUTLINE AND HATCH FILL AT 36° O.C. PAVEMENT GRAPHICS - DRIVER ENTRANCE. USE TO DIRECT DRIVER ENTRANCE IN DOCK FIELD. POSITION IN TRUCK COURT TO CORRESPOND WITH THE LOCATION OF THE TRUCKERS LOUNGE AND TRUCKERS ENTRY POINTS. YELLOW STRIPES, SEE PLAN FOR WIDTH OF CROSSWALK (BLACK INDICATES ASPHALT).



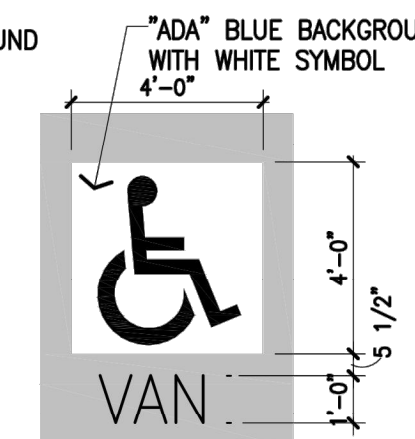
PG-14

4" WIDE X 60"-0" LONG PAINTED STRIPE (WHITE), ALIGN WITH DRIVER'S SIDE EDGE OF DOCK DOOR AND LOWER OPENING. TYPICAL EACH ACTIVE DOCK AND LOUVER POSITION. SEE BUILDING PLAN FOR DOCK DOOR NUMBERS. COORDINATE NUMBERS WITH TENANT OF TRAILER PARKING. 5'-0" X 3'-6" (24" TALL LETTERING) PAVEMENT GRAPHICS - TRAILER SPACE NUMBERING. USE TO LABEL TRAILER SPACES. TYPICAL ALL TRUCK SPACES. WHITE GRAPHICS (BLACK INDICATES ASPHALT). SEE PLANS FOR DOCK DOOR NUMBERS. COORDINATE NUMBERS WITH TENANT OF TRAILER PARKING.



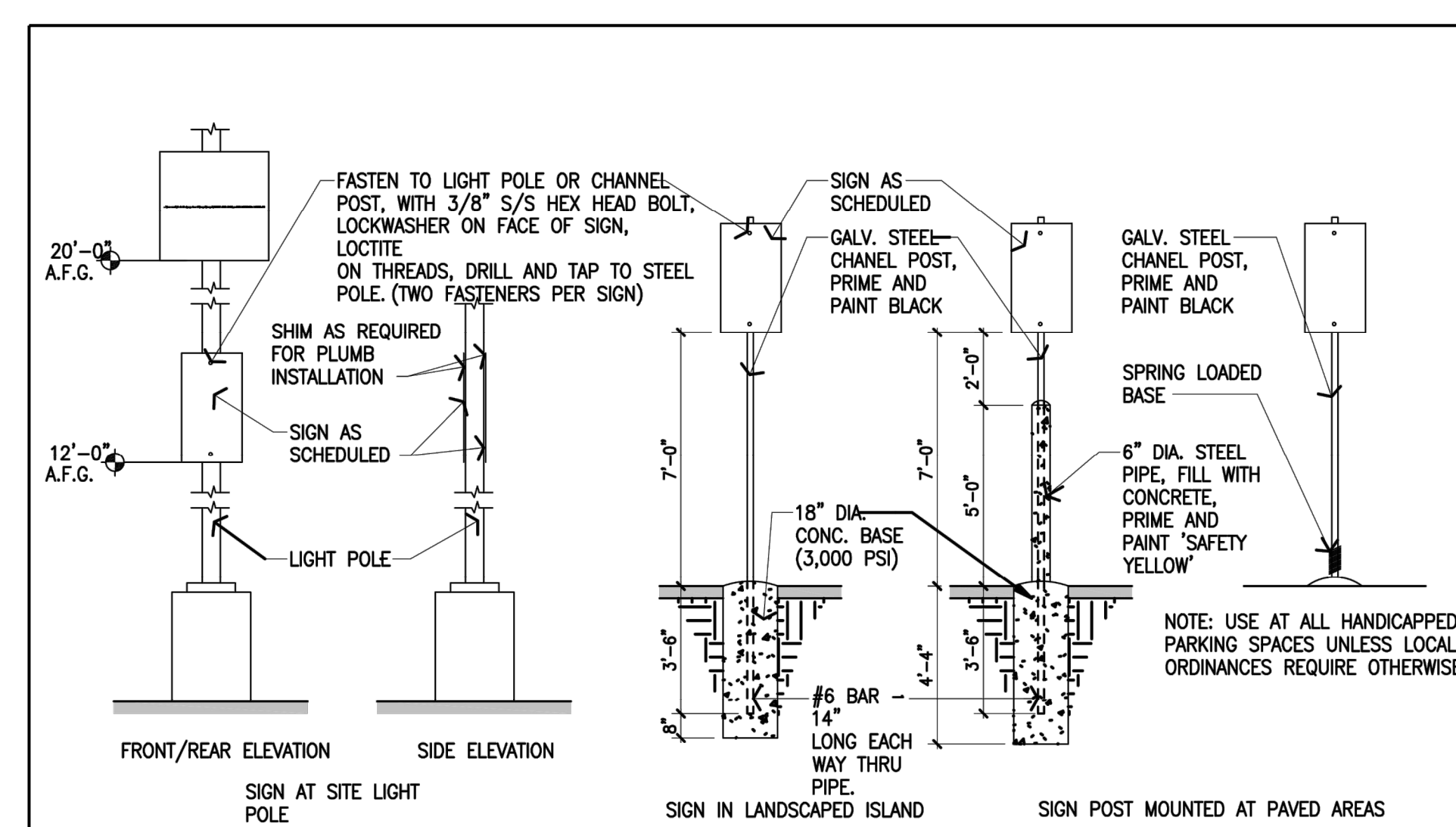
PG-17

4'-0" X 4'-0" PAVEMENT GRAPHICS - STANDARD ACCESSIBLE PARKING SPACE. USE AT ALL ACCESSIBLE PARKING SPACES. GRAPHICS; WHITE SYMBOL WITH BLUE BACKGROUND, AND WHITE TEXT (BLACK INDICATES ASPHALT).



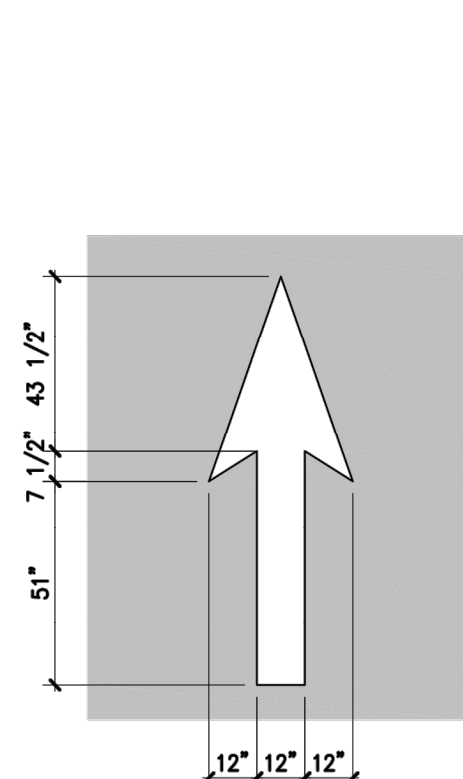
PG-18

4'-0" X 5'-5 1/2" PAVEMENT GRAPHICS - VAN ACCESSIBLE PARKING SPACE. USE AT ALL VAN ACCESSIBLE PARKING SPACES. GRAPHICS; WHITE SYMBOL WITH BLUE BACKGROUND, AND WHITE TEXT (BLACK INDICATES ASPHALT).



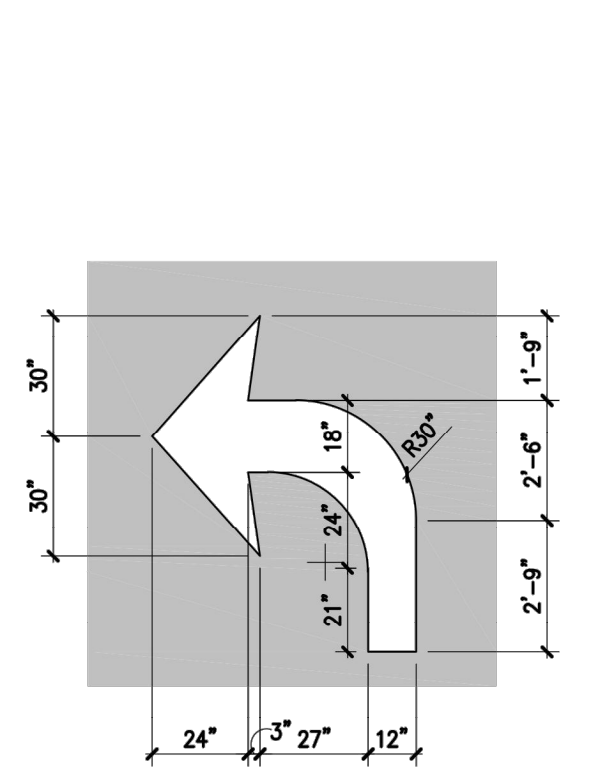
6 Site Mounting Details 1

SCALE: 1/4" = 1'-0"



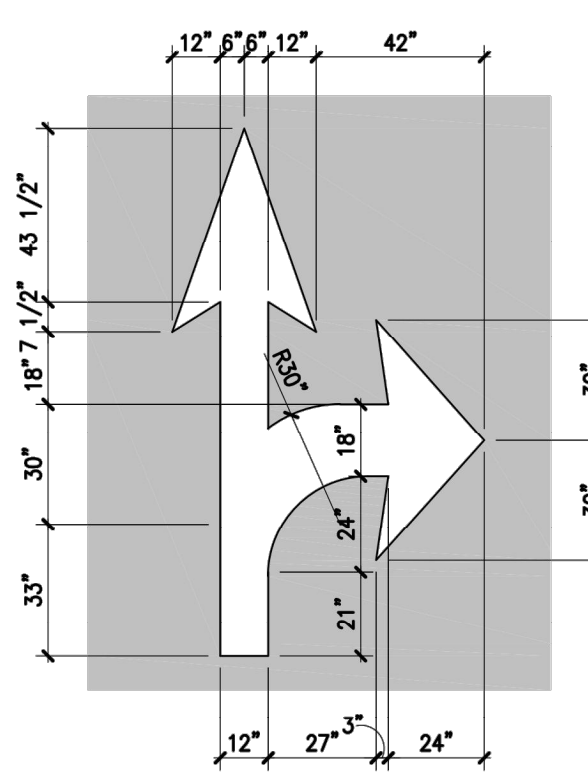
PG-5

8'-0" X 10'-0" PAVEMENT GRAPHICS - STRAIGHT ARROW. USE TO DIRECT TRAFFIC AT ONE-WAY DRIVE AISLES. WHITE GRAPHIC (BLACK INDICATES ASPHALT).



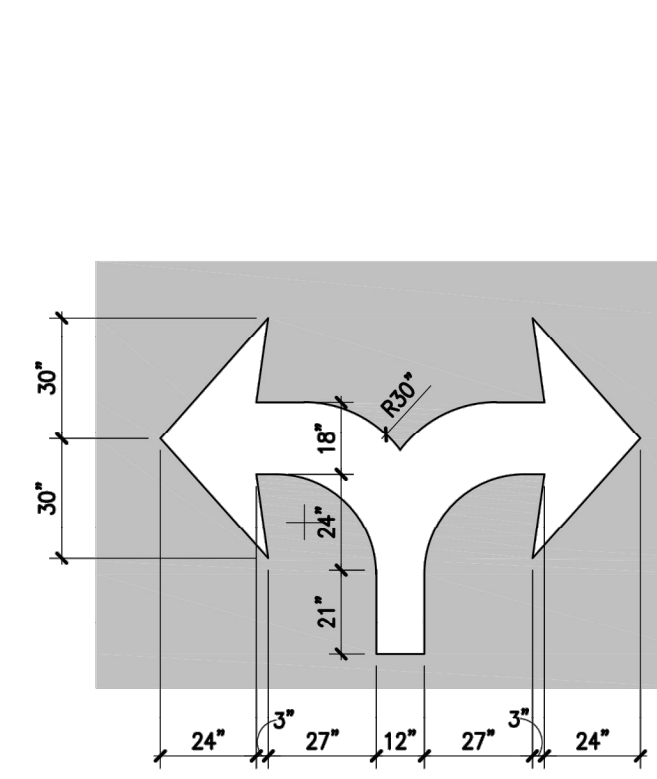
PG-6L (PG-6R OPP.)

8'-0" X 8'-0" PAVEMENT GRAPHICS - LEFT TURN ARROW. USE TO INDICATE TURNING LANES. WHITE GRAPHIC (BLACK INDICATES ASPHALT).



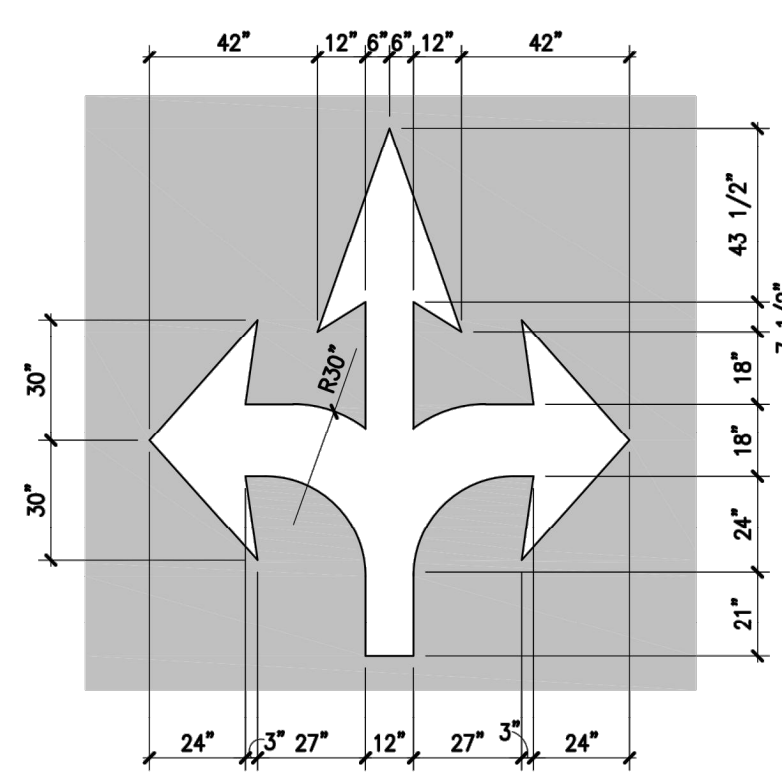
PG-7L (PG-7R OPP.)

8'-0" X 12'-0" PAVEMENT GRAPHICS - STRAIGHT OR RIGHT TURN ARROW. USE TO INDICATE TURNING LANES. WHITE GRAPHIC (BLACK INDICATES ASPHALT).



PG-8

10'-0" X 8'-0" PAVEMENT GRAPHICS - LEFT OR RIGHT TURN ARROW. USE TO INDICATE TURNING LANES. WHITE GRAPHIC (BLACK INDICATES ASPHALT).

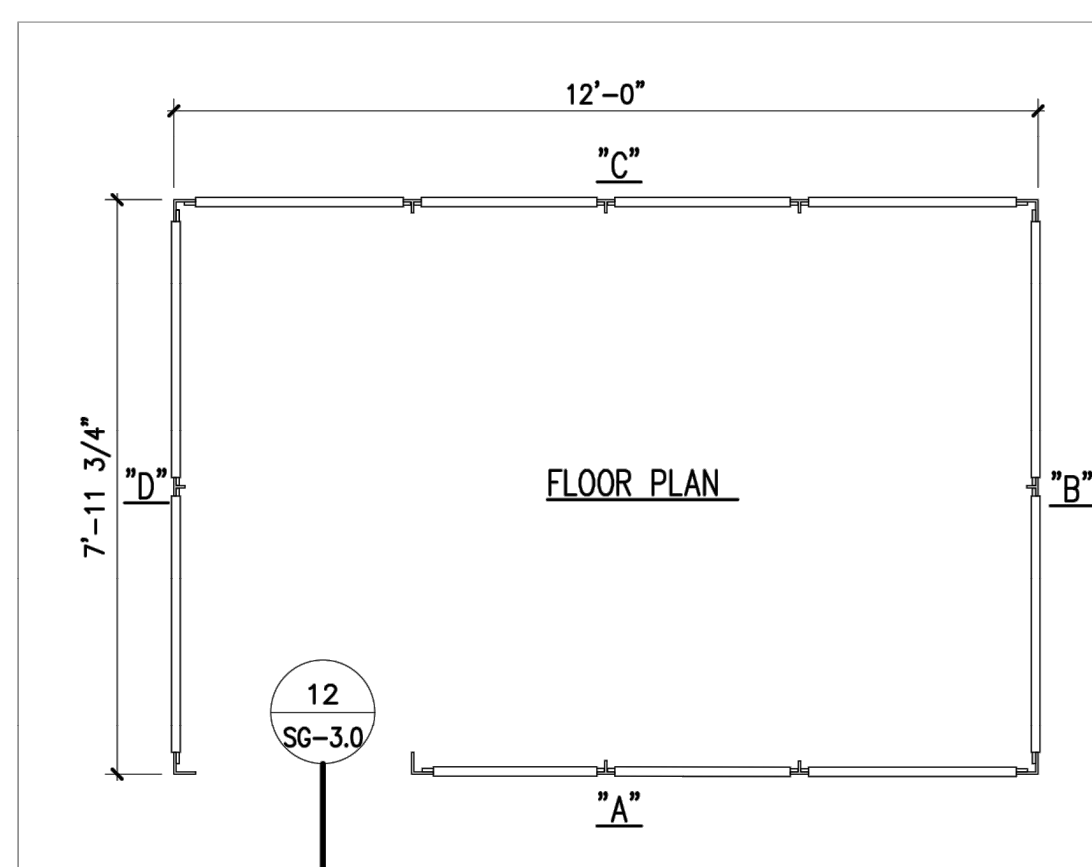


PG-9

10'-0" X 12'-0" PAVEMENT GRAPHICS - LEFT, STRAIGHT OR RIGHT TURN ARROW. USE TO INDICATE TURNING LANES. WHITE GRAPHIC (BLACK INDICATES ASPHALT).

5 Pavement Graphic Details

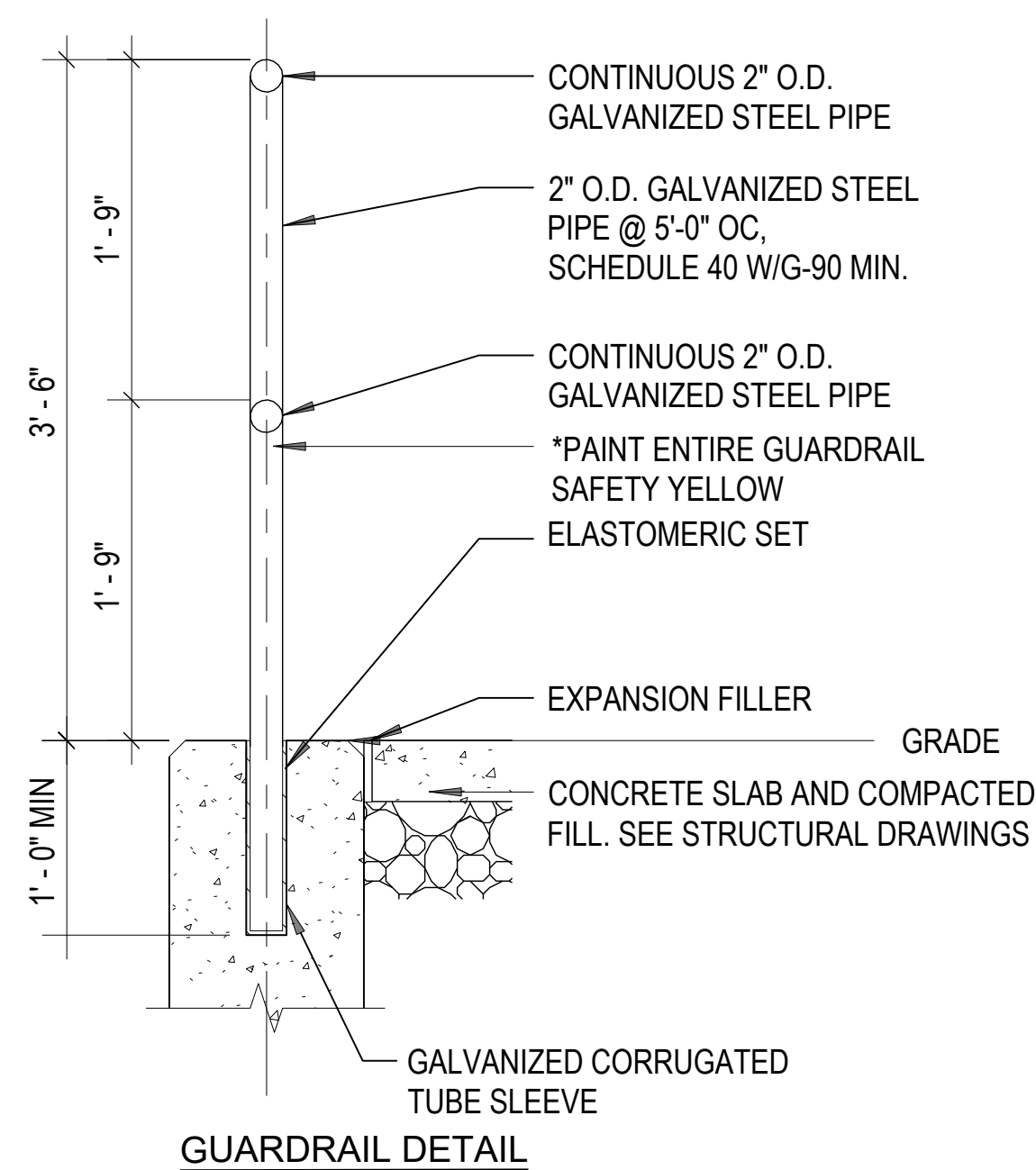
1/4" = 1'-0"



FINISHES:
 PANEL FINISH: #750 FRP
 STRUCTURE: ALUMINUM 6063-T5 ALLOY CHANNELS & POSTS
 WALL PANELS: 1/2" MEDEX LAMINATED WITH GRAY FIBERGLASS REINFORCED PLASTIC IN BOTH SIDES
 CEILING: 5/8" WHITE VINYL- FACED BOARD
 INTERIOR HEIGHT: 89"
 WINDOWS: 1/4" THICK CLEAR TEMPERED SAFETY GLASS
GENERAL NOTES:
 1) ALUMINUM FRAMING EXTRUSIONS HAVE A MILL FINISH.
 2) FIXED WINDOWS TO INCLUDE CLEAR TEMPERED GLAZING.
 3) UNIT INCLUDES FACTORY INSTALLED INTEGRAL ROOF WITH PERIMETER GUTTER.
 4) UNIT PROVIDED FACTORY ASSEMBLED, (NO FLOORING PROVIDED).

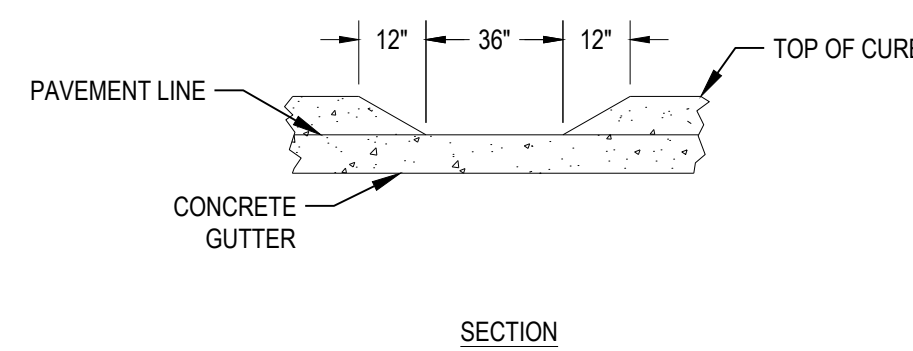
11 Smoker's Shelter

Scale: 3/8" = 1'-0"



GUARDRAIL DETAIL

NOT TO SCALE



CURB CUT DETAIL

NOT TO SCALE

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DELIVERY STATION

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913



ISSUE FOR PERMIT DATE:	03/12/20
JOB NO.:	757184
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DESIGN:	T. LEJA
DRAWN:	T. LEJA
CHECKED:	J. KOCINSKI
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CONSTRUCTION DETAILS

SHEET NO. C7.1

EXTERIOR ROUTES OF TRAVEL:

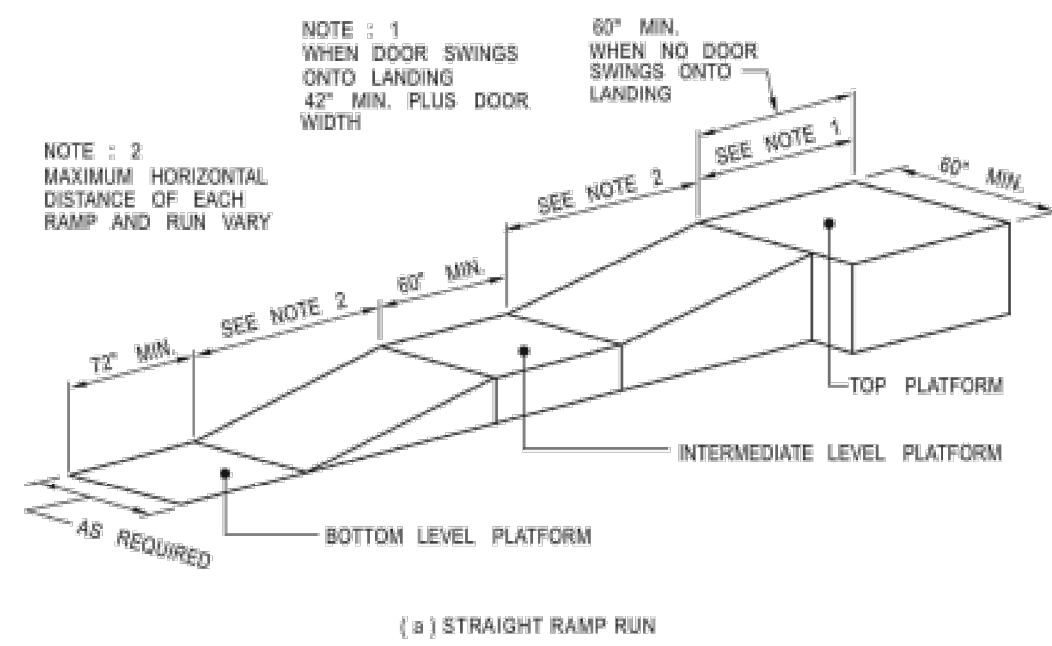
From handicap parking spaces, provide most practical direct accessible route of travel to all building entrances and exterior ground level exits by incorporating pedestrian ramps, walks, and sidewalks. Any path of travel will be considered a ramp if its slope is greater than 1:20 (5 percent) of horizontal run.

WALKS AND SIDEWALKS REQUIREMENTS:

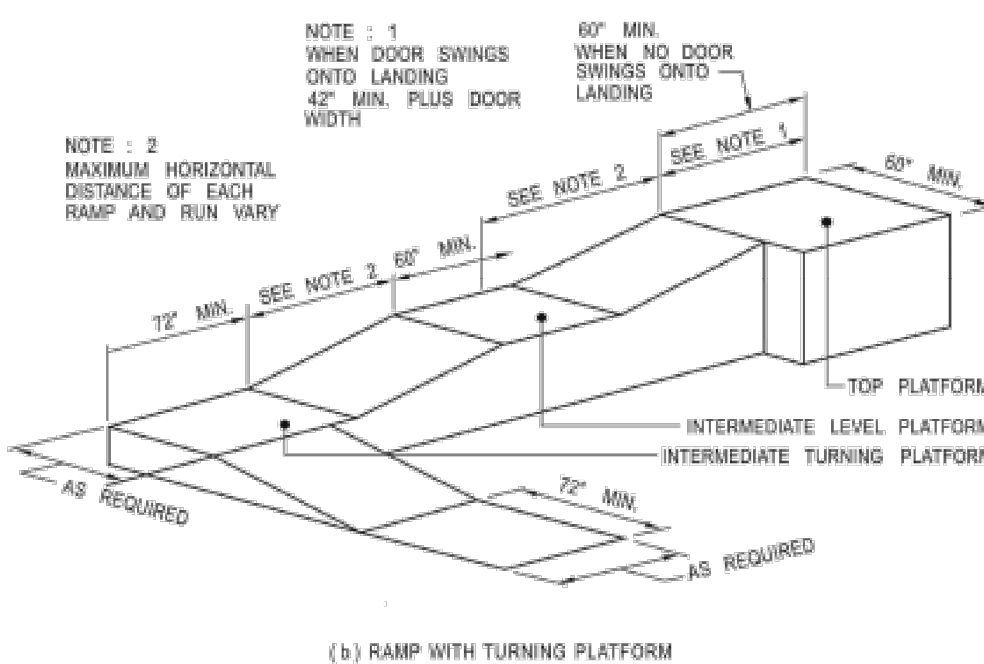
- > Width = 48"
- > Slope = 1 in 20 max.
- > Change in level = Max 1/2", 1/4" - 1/2" beveled (1:2) 1 vertical to 2 horizontal
- > Cross slope = Max 1/4" per foot
- > Level areas at doors and gates = 60" x 60" swing side and 48" wide x 44" deep on push side
- > Swing side strike edge clearance = 24"
- > Hand rail not required

RAMP REQUIREMENTS:

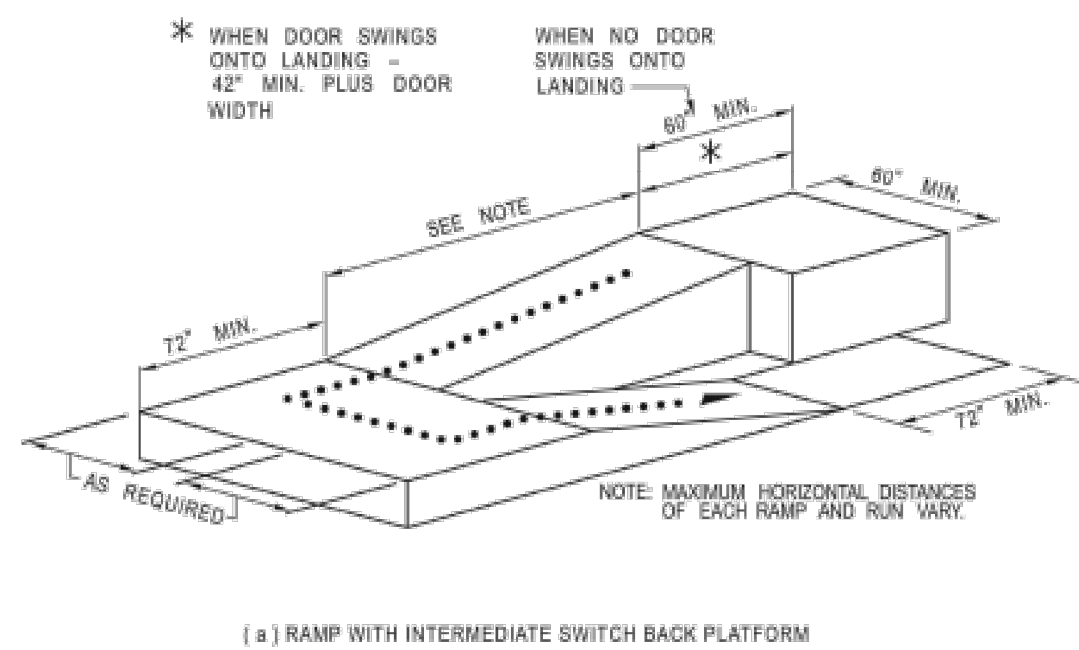
- > Width = As required for stairways and exits and min 48"
- > Slope = Max 1:12 (1:14 or less preferred)
- > Cross slope = Max 1:50
- > Landing = See illustration below
- > Hand rail = Required with slope >1:20
- > Hand rail height = 34" to 38"
- > Hand rail grip = 1 1/2" diameter



4



THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.



5



PIPE DIAMETER (IN)	CORRUGATED METAL PIPE		2 3/4" x 1 1/2" CORRUGATION		3" x 1 1/2" 80 5/8" x 1 1/2" CORRUGATION		CORRUGATED METAL PIPE ARCH	
	EXCAVATION PAYMENT VOLUME (y ³)	CONCRETE PAYMENT VOLUME (y ³)	SPAN (IN)	RISE (IN)	SPAN (IN)	RISE (IN)	EXCAVATION PAYMENT VOLUME (y ³)	CONCRETE PAYMENT VOLUME (y ³)
12	0.43	0.46	17	13			0.47	0.52
15	0.47	0.51	21	15			0.51	0.56
18	0.52	0.56	24	18			0.56	0.61
21	0.58	0.61	28	20			0.60	0.67
24	0.61	0.67	35	24			0.71	0.77
30	0.89	0.94	42	29			0.99	1.06
36	1.22	1.27	49	33			1.23	1.29
42	1.58	1.65	57	38			1.56	1.63
48	1.94	2.00	64	43	60	46	1.99	2.07
54	2.28	2.35	71	47	66	51	2.22	2.32
60	2.62	2.69	77	52	73	55	2.37	2.47
66	2.97	3.05	83	57	81	59	2.51	2.63
72	3.31	3.40	89	62	87	63	2.72	2.86
78	3.65	3.75	95	67	95	67	2.89	3.05
84	3.99	4.10	103	71	103	71	3.03	3.20
90	4.32	4.44	112	75	112	75	3.07	3.27
96	4.65	4.78						

CONCRETE END SECTION DIAMETER (IN)	EXCAVATION PAYMENT VOLUME (y ³)	CONCRETE PAYMENT VOLUME (y ³)
12	0.38	0.41
15	0.42	0.46
18	0.46	0.50
21	0.50	0.54
24	0.54	0.58
27	0.64	0.69
30	0.76	0.80
33	0.82	0.85
36	1.00	1.07
42	1.27	1.35
48	1.67	1.65

NOTES:

- CUT-OFF WALL SHALL BE CAST IN PLACE. THE PORTION OF THE CONCRETE CUT-OFF WALL BELOW THE FINISH GRADE LINE SHALL BE CAST AGAINST UNDISTURBED SOIL IF FEASIBLE. THE CONCRETE CUT-OFF WALL SHALL BE POURED AFTER THE END SECTION IS INSTALLED.
- VARIES BASED ON DIMENSIONS OF SPECIFIED END SECTION.
- ANCHOR BOLTS SHALL MEET THE REQUIREMENTS OF 8107-20. THE NUTS AND BOLTS SHALL BE SO ASSEMBLED THAT IN THE FINAL ASSEMBLY, THE BOLT AND ONE OF THE NUTS IS EMBEDDED IN CONCRETE, THAT THE DAMPED FACES OF THE NUTS FACE EACH OTHER, AND SECURE THE TOE PLATE BETWEEN THEM.

STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
U.S. CUSTOMARY STANDARD SHEET
CUT - OFF WALLS
FOR END SECTIONS
APPROVED JUNE 6, 2011
/s/ ANTHONY J. TORRE
DEPUTY CHIEF ENGINEER
TECHNICAL SERVICES (ACTING)
ISSUED UNDER EB 11-013
603-04
EFFECTIVE DATE: 01/12/2012

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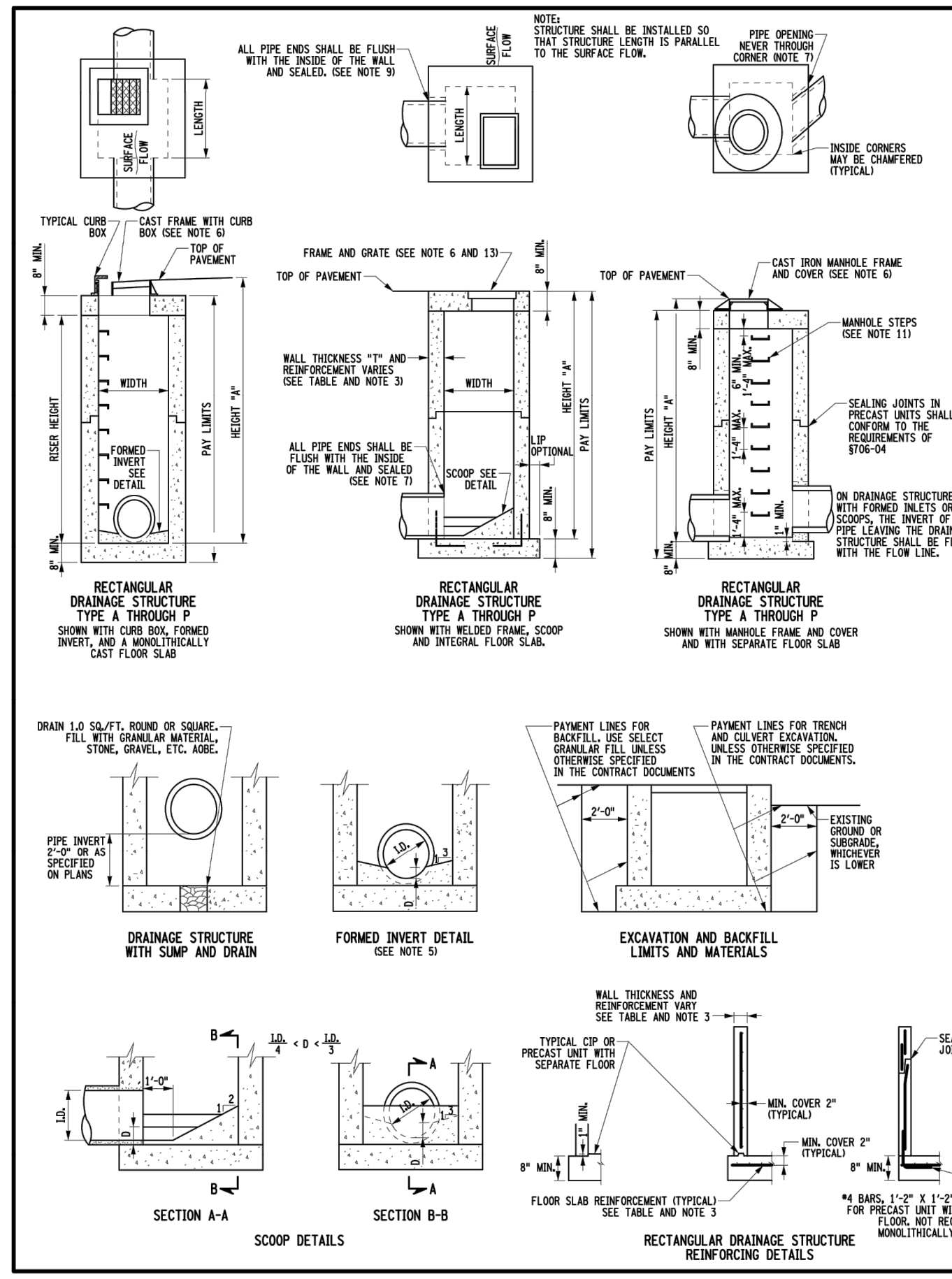
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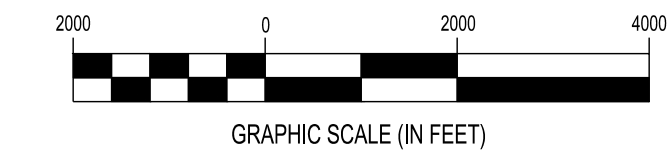
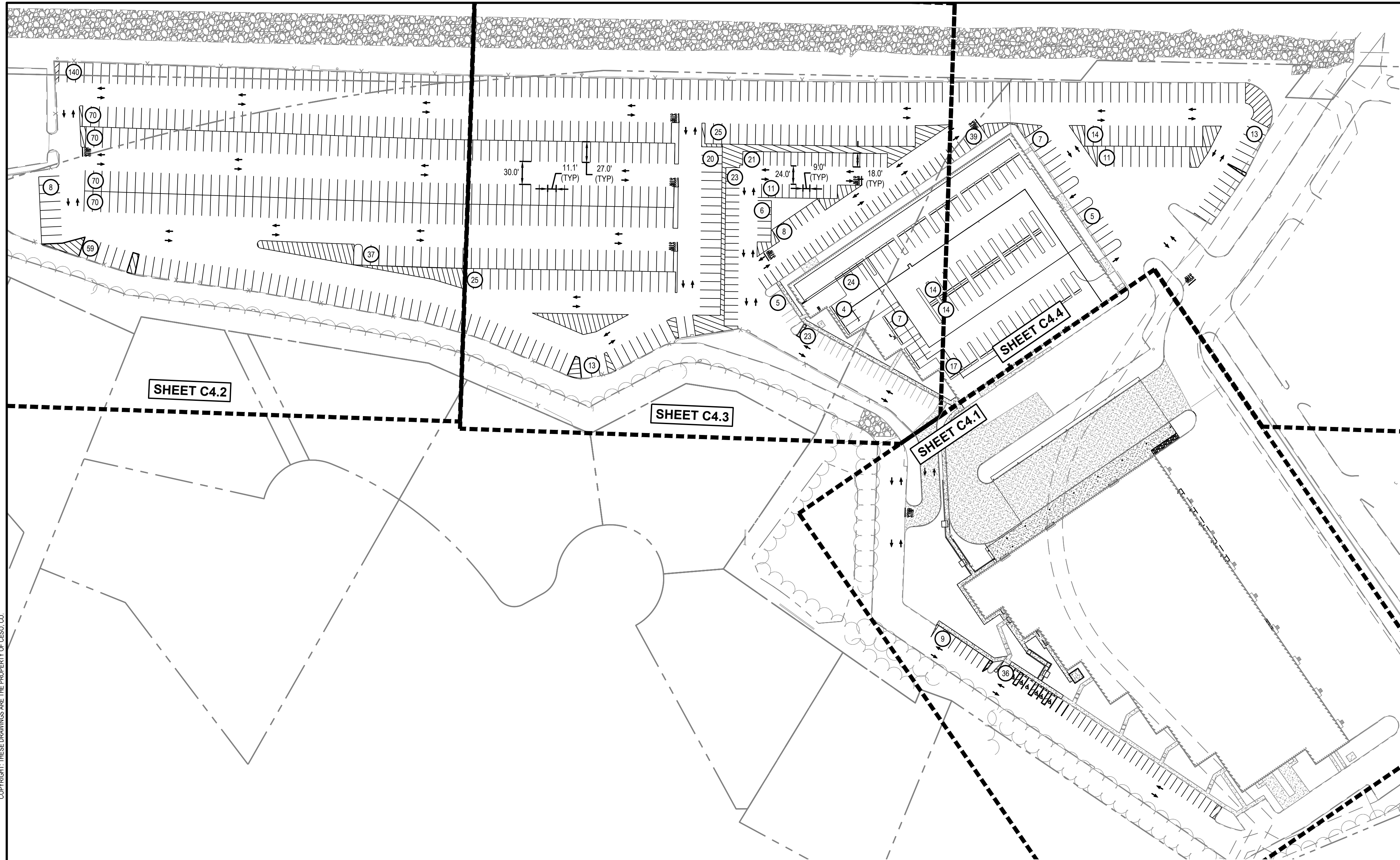
GENERAL NOTES:

1. DRAINAGE STRUCTURES SHALL BE CAST IN PLACE OR PRECAST IN PLACE. ROUND DRAINAGE STRUCTURES SHALL BE PRECAST. ALL CAST IN PLACE CONCRETE SHALL BE CLASSIFIED AS TYPE III. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE OF THE TOP SLAB. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE OF THE TOP SLAB. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE OF THE TOP SLAB.
2. SEE PLANS FOR EXISTING, DRAINAGE STRUCTURE LOCATIONS, TYPE OF GRATE, UTILIZATION, LOCATION OF SCOPES, FORMER INVERTS, SLOPES AND DRAINAGE.
3. REINFORCING FOR RECTANGULAR DRAINAGE UNITS SHALL BE CAST IN PLACE OR PRECAST. REINFORCING FOR RECTANGULAR DRAINAGE STRUCTURES SHALL BE CAST IN PLACE OR PRECAST. REINFORCING FOR RECTANGULAR DRAINAGE STRUCTURES SHALL BE CAST IN PLACE OR PRECAST.
4. ROUND ALTERNATE: WHEN ORDERED BY PAYMENT ITEM, THE CONTRACTOR MAY SUBSTITUTE ROUND, PRECAST DRAINAGE STRUCTURES IN PLACE OF RECTANGULAR STRUCTURES. ROUND DRAINAGE STRUCTURES SHALL BE PRECAST. ALL CAST IN PLACE CONCRETE SHALL BE CLASSIFIED AS TYPE III.
5. FORMED INVERTS: FORMED INVERTS, SCOPES AND SLOPES SHALL BE PROVIDED AND INCLUDED IN THE PRICES BID FOR DRAINAGE STRUCTURES. FORMED INVERTS AND SLOPES SHALL BE PROVIDED AND INCLUDED IN THE PRICES BID FOR DRAINAGE STRUCTURES.
6. GRATES: CAST FRAMES MAY HAVE EITHER RECTILINEAR OR PARALLEL BAR GRATES, AND WELDED FRAMES MAY HAVE EITHER RECTILINEAR OR PARALLEL BAR GRATES. GRATES SHALL BE INSTALLED SO THAT THE LENGTH OF THE GRATE IS PARALLEL TO THE SURFACE FLOW.
7. WALL OPENINGS: REINFORCING BARS THROUGH WALLS SHALL BE WELDED TO THE WALL. REINFORCING BARS THROUGH WALLS SHALL BE WELDED TO THE WALL. REINFORCING BARS THROUGH WALLS SHALL BE WELDED TO THE WALL.
8. FINISHING PIPE ENTRIES: THE BELLS OF CONCRETE PIPE SHALL BE CUT OFF AT EVERY PIPE ENTRY WHERE THE BELL ENDS AT A RESIDENT CONNECTOR MEETING THE REQUIREMENTS OF ASTM C1419 OR AS SPECIFIED IN THE CONTRACT DOCUMENTS.

STRUCTURE SIZES AND PAY CODES

STRUCTURE TYPE	WIDTH	LENGTH	PAY ITEM CODE
1	3'-0"	3'-0"	04
2	3'-0"	4'-0"	05
3	3'-0"	5'-0"	06
4	3'-0"	6'-0"	07
5	3'-0"	8'-0"	08
6	3'-0"	10'-0"	09
7	3'-0"	12'-0"	10
8	3'-0"	15'-0"	11
9	3'-0"	18'-0"	12
10	3'-0"	21'-0"	13
11	3'-0"	24'-0"	14
12	3'-0"	27'-0"	15
13	3'-0"	30'-0"	16
14	3'-0"	33'-0"	17
15	3'-0"	36'-0"	18
16	3'-0"	39'-0"	19
17	3'-0"	42'-0"	20
18	3'-0"	45'-0"	21
19	3'-0"	48'-0"	22
20	3'-0"	51'-0"	23
21	3'-0"	54'-0"	24
22	3'-0"	57'-0"	25
23	3'-0"	60'-0"	26
24	3'-0"	63'-0"	27
25	3'-0"	66'-0"	28
26	3'-0"	69'-0"	29
27	3'-0"	72'-0"	30
28	3'-0"	75'-0"	31
29	3'-0"	78'-0"	32
30	3'-0"	81'-0"	33
31	3'-0"	84'-0"	34
32	3'-0"	87'-0"	35
33	3'-0"	90'-0"	36
34	3'-0"	93'-0"	37
35	3'-0"	96'-0"	38
36	3'-0"	99'-0"	39
37	3'-0"	102'-0"	40
38	3'-0"	105'-0"	41
39	3'-0"	108'-0"	42
40	3'-0"	111'-0"	43
41	3'-0"	114'-0"	44
42	3'-0"	117'-0"	45
43	3'-0"	120'-0"	46
44	3'-0"	123'-0"	47
45	3'-0"	126'-0"	48
46	3'-0"	129'-0"	49
47	3'-0"	132'-0"	50
48	3'-0"	135'-0"	51
49	3'-0"	138'-0"	52
50	3'-0"	141'-0"	53
51	3'-0"	144'-0"	54
52	3'-0"	147'-0"	55
53	3'-0"	150'-0"	56
54	3'-0"	153'-0"	57
55	3'-0"	156'-0"	58
56	3'-0"	159'-0"	59
57	3'-0"	162'-0"	60
58	3'-0"	165'-0"	61
59	3'-0"	168'-0"	62
60	3'-0"	171'-0"	63
61	3'-0"	174'-0"	64
62	3'-0"	177'-0"	65
63	3'-0"	180'-0"	66
64	3'-0"	183'-0"	67
65	3'-0"	186'-0"	68
66	3'-0"	189'-0"	69
67	3'-0"	192'-0"	70
68	3'-0"	195'-0"	71
69	3'-0"	198'-0"	72
70	3'-0"	201'-0"	73
71	3'-0"	204'-0"	74
72	3'-0"	207'-0"	75
73	3'-0"	210'-0"	76
74	3'-0"	213'-0"	77
75	3'-0"	216'-0"	78
76	3'-0"	219'-0"	79
77	3'-0"	222'-0"	80
78	3'-0"	225'-0"	81
79	3'-0"	228'-0"	82
80	3'-0"	231'-0"	83
81	3'-0"	234'-0"	84
82	3'-0"	237'-0"	85
83	3'-0"	240'-0"	86
84	3'-0"	243'-0"	87
85	3'-0"	246'-0"	88
86	3'-0"	249'-0"	89
87	3'-0"	252'-0"	90
88	3'-0"	255'-0"	91
89	3'-0"	258'-0"	92
90	3'-0"	261'-0"	93
91	3'-0"	264'-0"	94
92	3'-0"	267'-0"	95
93	3'-0"	270'-0"	96
94	3'-0"	273'-0"	97
95	3'-0"	276'-0"	98
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99	3'-0"	288'-0"	102
100	3'-0"	291'-0"	103
101	3'-0"	294'-0"	104
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109	3'-0"	318'-0"	112
110	3'-0"	321'-0"	113
111	3'-0"	324'-0"	114
112	3'-0"	327'-0"	115
113	3'-0"	330'-0"	116
114	3'-0"	333'-0"	117
115	3'-0"	336'-0"	118
116	3'-0"	339'-0"	119
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125	3'-0"	366'-0"	128
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149	3'-0"	438'-0"	152
150	3'-0"	441'-0"	153
151	3'-0"	444'-0"	154
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155	3'-0"	456'-0"	158
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174	3'-0"	513'-0"	177
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209	3'-0"	618'-0"	212
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211	3'-0"	624'-0"	214
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213	3'-0"	630'-0"	216
214	3'-0"	633'-0"	217
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218	3'-0"	645'-0"	221
219	3'-0"	648'-0"	222
220	3'-0"	651'-0"	223
221	3'-0"	654'-0"	224
222	3'-0"	657'-0"	225
223	3'-0"	660'-0"	226
224	3'-0"	663'-0"	227
225	3'-0"	666'-0"	228
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231	3'-0"	684'-0"	234
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236	3'-0"	699'-0"	239
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238	3'-0"	705'-0"	241
239	3'-0"	708'-0"	242
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241	3'-0"	714'-0"	244
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244	3'-0"	723'-0"	247
245	3'-0"	726'-0"	248
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248	3'-0"	735'-0"	251
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273	3'-0"	810'-0"	276
274	3'-0"	813'-0"	277
275	3'-0"	816'-0"	278
276	3'-0"	819'-0"	279
277	3'-0"	822'-0"	280
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279	3'-0"	828'-0"	282
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281	3'-0"	834'-0"	284
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290	3'-0"	861'-0"	293
291	3'-0"	864'-0"	294
292	3'-0"	867'-0"	295
293	3'-0"	870'-0"	296
294	3'-0"	873'-0"	297
295	3'-0"	876'-0"	298
296	3'-0"	879'-0"	299
297	3'-0"	882'-0"	300
298	3'-0"	885'-0"	301
299	3'-0"	888'-0"	302
300	3'-0"	891'-0"	303
301	3'-0"	894'-0"	304
302	3'-0"	8	

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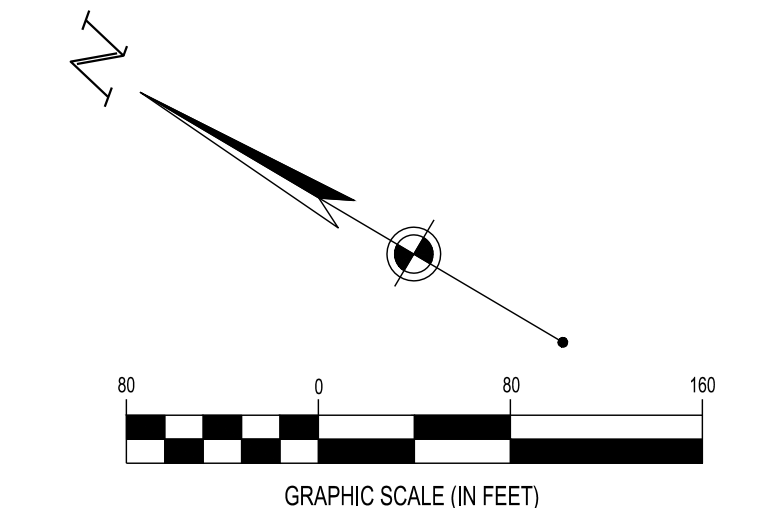
- CODED NOTES:**
- EXISTING "STOP" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION, CONTRACTOR TO INSTALL "STOP" SIGN PER DETAIL ON SHEET SERIES C7.0.
 - EXISTING "SPEED LIMIT 10 MPH" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION CONTRACTOR TO INSTALL "SPEED LIMIT 10 MPH" SIGN PER DETAIL ON SHEET C7.0.

- LEGEND**
- LIMIT OF WORK
 - SPEED BUMP
 - TRAFFIC DIRECTIONAL
 - SIGN (TYPE SPECIFIED BY CODED NOTE)
 - TRAFFIC STOP BAR WITH LETTERING

FLOODPLAIN DESIGNATION:
 ACCORDING TO F.I.R.M. NO. 36087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	816832.73 N, 641443.82 E
BM 2	5 / 8" REBAR	71.22 FT	818739.46 N, 641528.88 E

SURVEY (DATED 10/31/2019) BY:
 BLEW & ASSOCIATES, PA
 3825 N. SHILOH DRIVE
 FAYETTEVILLE, AR 72703
 PHONE: (479) 582-1883
 CONTACT: PAXTON SINGLETON
 CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 OR 1 (800) 272-4480 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811.

NO.	DATE	REVISION DESCRIPTION
0	03/12/20	FOR PERMIT

DELIVERY STATION

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10813



ISSUE: FOR PERMIT
 DATE: 03/12/20
 JOB NO.: 757184
 SCALE: 1" = 80'
 DESIGN: T. LEJA
 DRAWN: S. BAILEY
 CHECKED: J. KOCINSKI
 DRAWING TITLE






SIGNAGE PLAN - OVERALL

SHEET NO.
C8.0

CODED NOTES:

- EXISTING "STOP" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION, CONTRACTOR TO INSTALL "STOP" SIGN PER DETAIL ON SHEET SERIES C7.0.
- EXISTING "SPEED LIMIT 10 MPH" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION CONTRACTOR TO INSTALL "SPEED LIMIT 10 MPH" SIGN PER DETAIL ON SHEET SERIES C7.0.

LEGEND

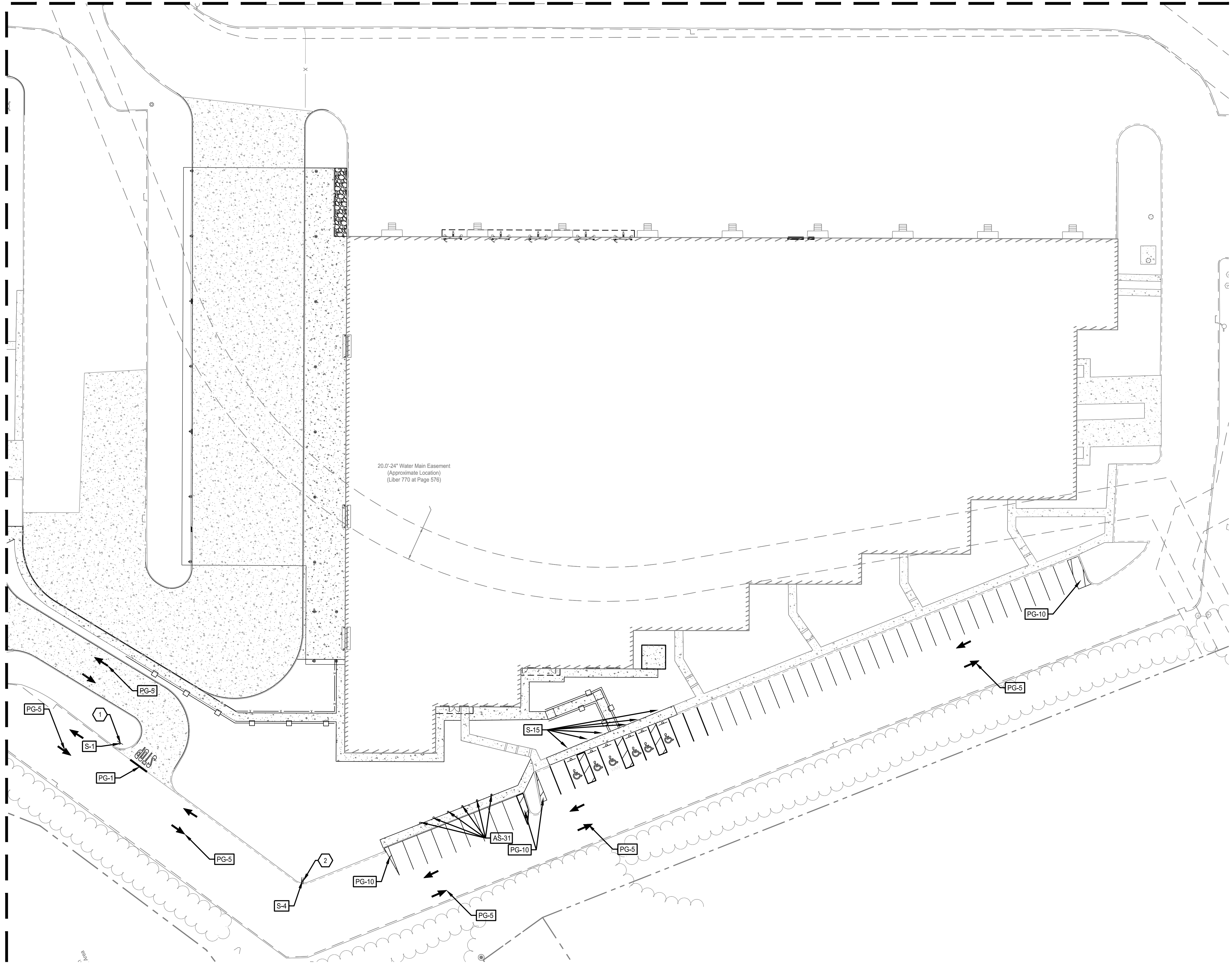
-  LIMIT OF WORK
-  SPEED BUMP
-  TRAFFIC DIRECTIONAL
-  SIGN (TYPE SPECIFIED BY CODED NOTE)
-  TRAFFIC STOP BAR WITH LETTERING

SIGNAGE AND STRIPING CODE TABLE

CODE	TOTAL	DESCRIPTION
PG-1	1	WHITE STOP BAR
PG-5	12	STRAIGHT ARROW
PG-6L	0	LEFT ARROW
PG-10	4	TRAFFIC ISLAND
PG-11	0	PEDESTRIAN CROSSWALK
PG-12	0	CROSSWALK TABLE ARROW
PG-16	0	SPEED BUMP
PG-18	0	ACCESSIBLE PARKING SYMBOL
S-1	1	STOP SIGN
S-4	2	"SPEED LIMIT 10 MPH" SIGN
S-5	0	SQUARE PEDESTRIAN CROSSING "STOP" SIGN, LEFT ARROW
S-13	0	NO TRUCKS SIGN
S-15	6	ACCESSIBLE PARKING SIGN
AS-31	6	AMAZON "CUSTOMER PARKING" SIGN

NOTE: REFER TO DETAILS ON SHEET SERIES C7.0

MATCH LINE SHEET C4.4 (SITE PLAN - PARKING SOUTH)



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NO.	DATE	REVISION DESCRIPTION
0	03/12/20	FOR PERMIT

DELIVERY STATION

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913



ISSUE FOR PERMIT
DATE: 03/12/20
JOB NO.: 757184
SCALE: 1" = 30'
DESIGN: T. LEJA
DRAWN: S. BAILEY
CHECKED: J. KOCINSKI
DRAWING TITLE

SIGNAGE PLAN - WEST

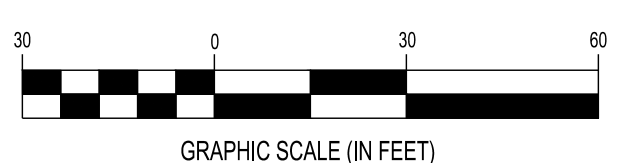
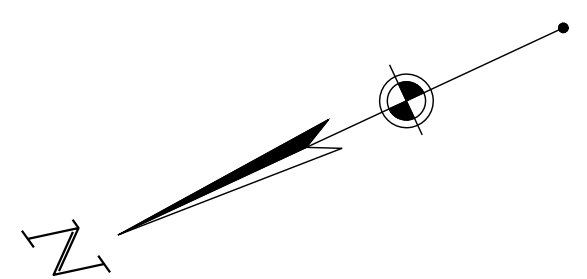
SHEET NO. **C8.1**

FLOODPLAIN DESIGNATION:
ACCORDING TO F.I.R.M. NO. 36087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTY IS LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK		
	ELEVATION	DESCRIPTION
BM 1	93.58 FT	1" PIPE
BM 2	71.22 FT	5/8" REBAR

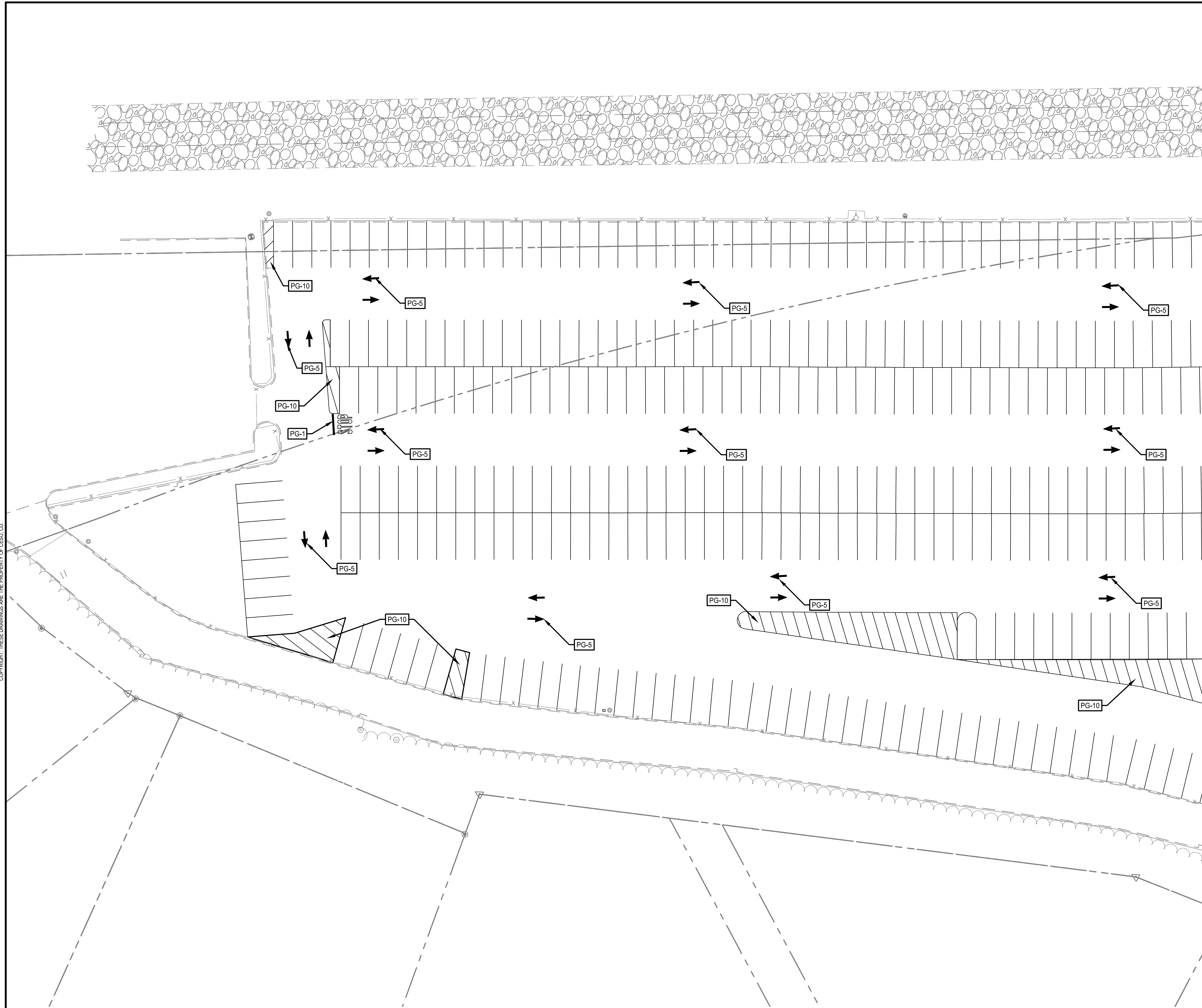
SURVEY (DATED 10/31/2019) BY:
BLEW & ASSOCIATES, PA
3825 N. SHILOH DRIVE
FAYETTEVILLE, AR 72703
PHONE: (479) 582-1883
CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 OR 1 (800) 272-4480 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811.

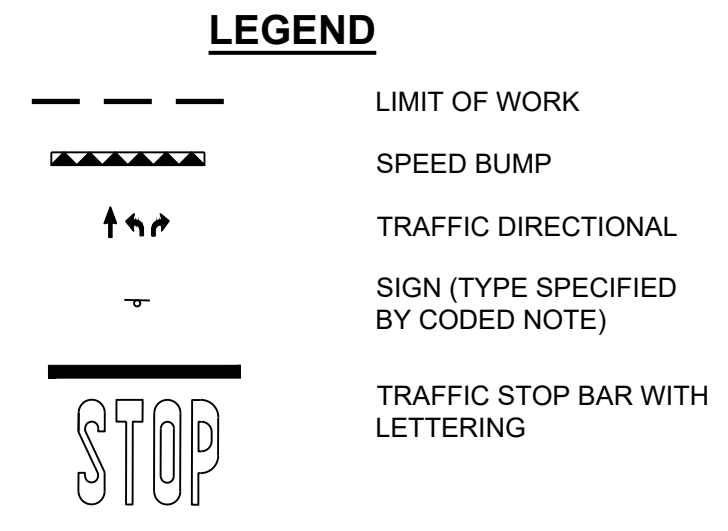
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MATCH LINE SHEET C4.3 (SITE PLAN - PARKING MIDDLE)

CODED NOTES:

- EXISTING "STOP" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION, CONTRACTOR TO INSTALL "STOP" SIGN PER DETAIL ON SHEET SERIES C7.0.
- EXISTING "SPEED LIMIT 10 MPH" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION CONTRACTOR TO INSTALL "SPEED LIMIT 10 MPH" SIGN PER DETAIL ON SHEET SERIES C7.0.



SIGNAGE AND STRIPING CODE TABLE		
CODE	TOTAL	DESCRIPTION
PG-1	1	WHITE STOP BAR
PG-5	22	STRAIGHT ARROW
PG-6L	0	LEFT ARROW
PG-10	6	TRAFFIC ISLAND
PG-11	0	PEDESTRIAN CROSSWALK
PG-12	0	CROSSWALK TABLE ARROW
PG-16	0	SPEED BUMP
PG-18	0	ACCESSIBLE PARKING SYMBOL
S-1	0	STOP SIGN
S4	0	"SPEED LIMIT 10 MPH" SIGN
S-5	0	SQUARE PEDESTRIAN CROSSING "STOP" SIGN, LEFT ARROW
S-13	0	NO TRUCKS SIGN
S-15	0	ACCESSIBLE PARKING SIGN
AS-31	0	AMAZON "CUSTOMER PARKING" SIGN

NOTE: REFER TO DETAILS ON SHEET SERIES C7.0

NO.	DATE	REVISION DESCRIPTION
0	03/12/20	FOR PERMIT

DELIVERY STATION

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913



ISSUE FOR PERMIT
DATE: 03/12/20

JOB NO.: 757184
SCALE: 1" = 30'
DESIGN: T. LEJA
DRAWN: S. BAILEY
CHECKED: J. KOCINSKI

DRAWING TITLE
SIGNAGE PLAN - PARKING NORTH

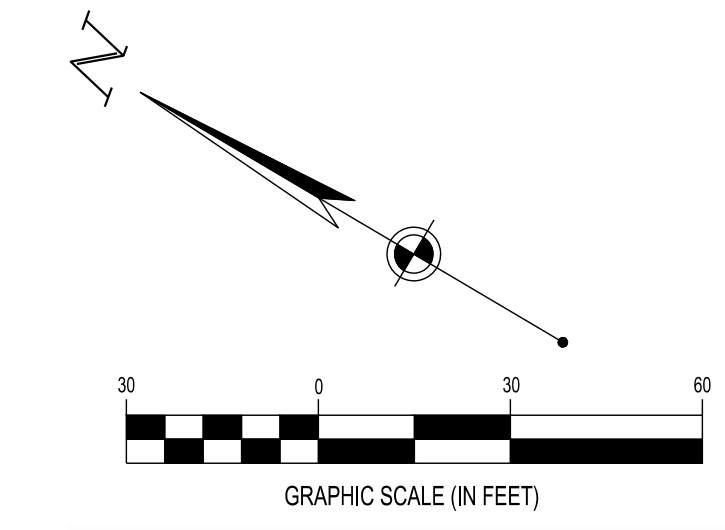
SHEET NO.
C8.2

FLOODPLAIN DESIGNATION:
ACCORDING TO F.I.R.M. NO. 36087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	816832.73 N, 641443.82 E
BM 2	5 / 8" REBAR	71.22 FT	818739.46 N, 641528.88 E

SURVEY (DATED 10/31/2019) BY:
BLEW & ASSOCIATES, PA
3825 N. SHILOH DRIVE
FAYETTEVILLE, AR 72703
PHONE: (479) 582-1883
CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

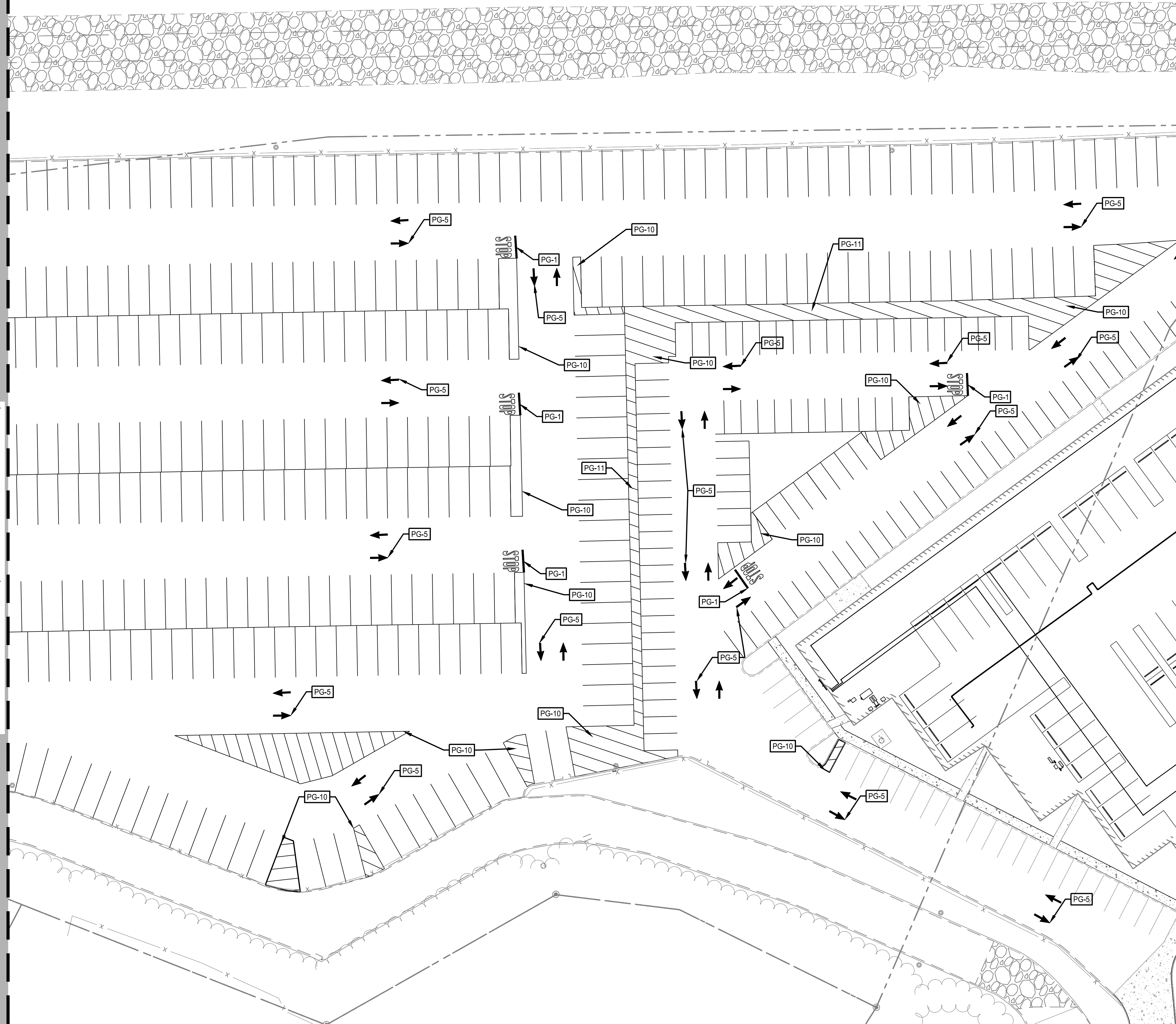


FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 OR 1 (800) 272-4480 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811.

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MATCH LINE SHEET C4.2 (SITE PLAN - PARKING NORTH)

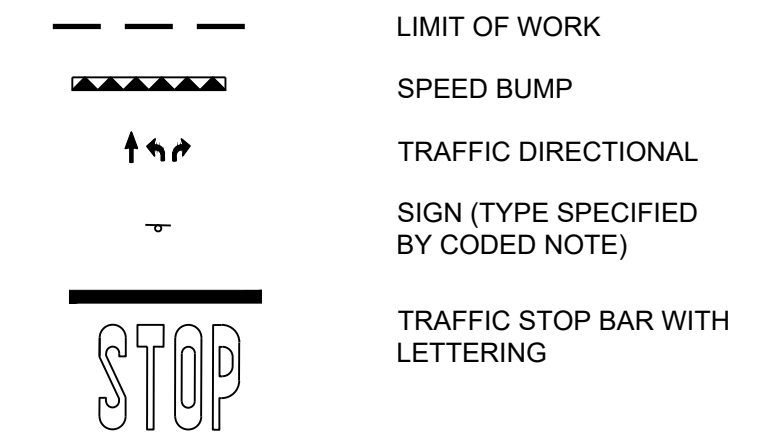
MATCH LINE SHEET C4.4 (SITE PLAN - PARKING SOUTH)



CODED NOTES:

- EXISTING "STOP" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION, CONTRACTOR TO INSTALL "STOP" SIGN PER DETAIL ON SHEET SERIES C7.0.
- EXISTING "SPEED LIMIT 10 MPH" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION CONTRACTOR TO INSTALL "SPEED LIMIT 10 MPH" SIGN PER DETAIL ON SHEET SERIES C7.0.

LEGEND



SIGNAGE AND STRIPING CODE TABLE		
CODE	TOTAL	DESCRIPTION
PG-1	5	WHITE STOP BAR
PG-5	36	STRAIGHT ARROW
PG-6L	0	LEFT ARROW
PG-10	14	TRAFFIC ISLAND
PG-11	2	PEDESTRIAN CROSSWALK
PG-12	0	CROSSWALK TABLE ARROW
PG-16	0	SPEED BUMP
PG-18	0	ACCESSIBLE PARKING SYMBOL
S-1	0	STOP SIGN
S-4	0	"SPEED LIMIT 10 MPH" SIGN
S-5	0	SQUARE PEDESTRIAN CROSSING "STOP" SIGN, LEFT ARROW
S-13	0	NO TRUCKS SIGN
S-15	0	ACCESSIBLE PARKING SIGN
AS-31	0	AMAZON "CUSTOMER PARKING" SIGN

NOTE: REFER TO DETAILS ON SHEET SERIES C7.0

NO.	DATE	REVISION DESCRIPTION
0	03/12/20	FOR PERMIT

DELIVERY STATION

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913



ISSUE FOR PERMIT DATE:	03/12/20
JOB NO.:	757184
SCALE:	1" = 30'
DESIGN:	T. LEJA
DRAWN:	S. BAILEY
CHECKED:	J. KOCINSKI
DRAWING TITLE	

SIGNAGE PLAN - PARKING MIDDLE

SHEET NO. **C8.3**

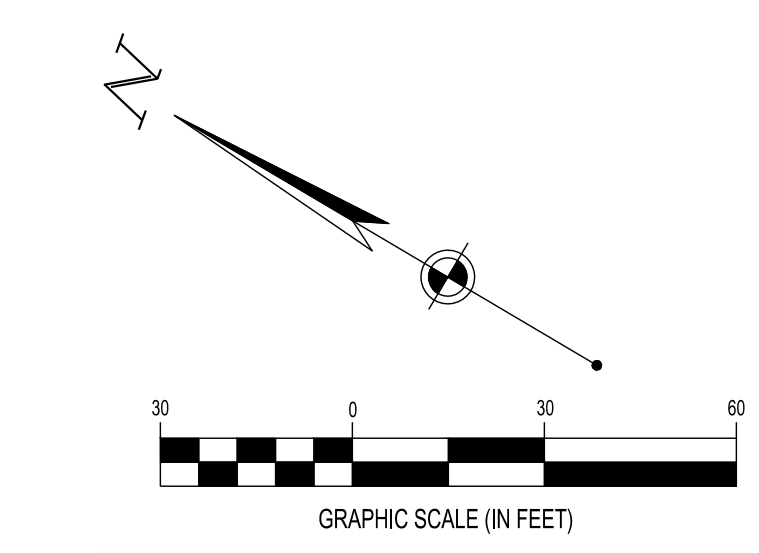
FLOODPLAIN DESIGNATION:

ACCORDING TO F.I.R.M. NO. 36087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	816832.73 N, 641443.82 E
BM 2	5 / 8" REBAR	71.22 FT	818739.46 N, 641528.88 E

SURVEY (DATED 10/31/2019) BY:
 BLEW & ASSOCIATES, PA
 3825 N. SHILOH DRIVE
 FAYETTEVILLE, AR 72703
 PHONE: (479) 582-1883
 CONTACT: PAXTON SINGLETON

CEISO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

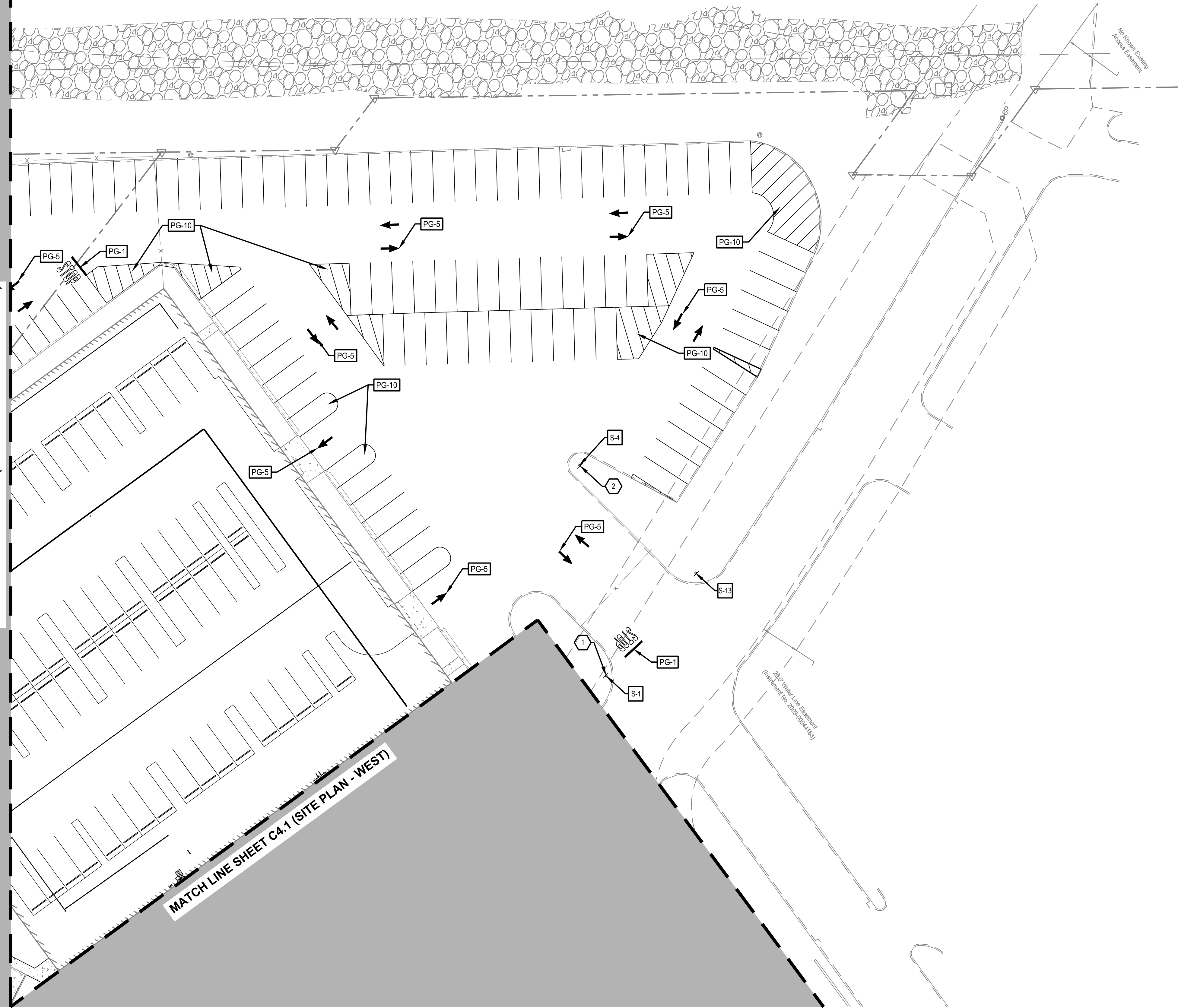


FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 OR 1 (800) 272-4480 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811.

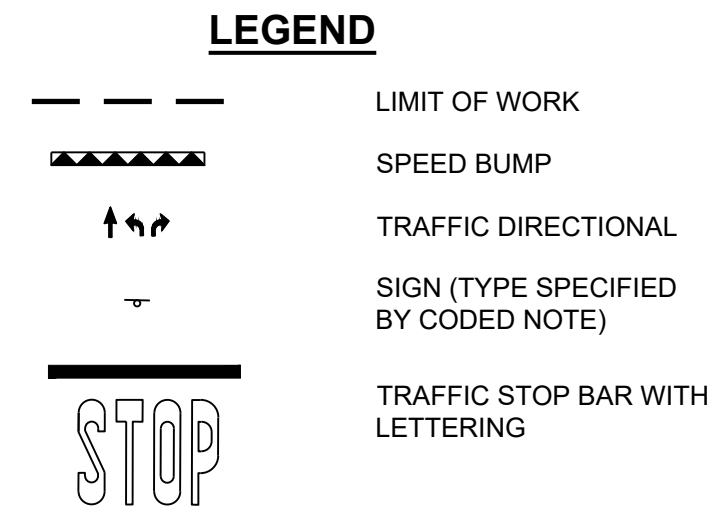
COPYRIGHT: THESE DRAWINGS ARE THE PROPERTY OF CESO, CO.

MATCH LINE SHEET C4.3 (SITE PLAN - PARKING MIDDLE)

MATCH LINE SHEET C4.1 (SITE PLAN - WEST)



- CODED NOTES:**
- EXISTING "STOP" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION, CONTRACTOR TO INSTALL "STOP" SIGN PER DETAIL ON SHEET SERIES C7.0.
 - EXISTING "SPEED LIMIT 10 MPH" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION CONTRACTOR TO INSTALL "SPEED LIMIT 10 MPH" SIGN PER DETAIL ON SHEET SERIES C7.0.



SIGNAGE AND STRIPING CODE TABLE		
CODE	TOTAL	DESCRIPTION
PG-1	2	WHITE STOP BAR
PG-5	14	STRAIGHT ARROW
PG-6L	0	LEFT ARROW
PG-10	7	TRAFFIC ISLAND
PG-11	0	PEDESTRIAN CROSSWALK
PG-12	0	CROSSWALK TABLE ARROW
PG-16	0	SPEED BUMP
PG-18	0	ACCESSIBLE PARKING SYMBOL
S-1	1	STOP SIGN
S-4	1	"SPEED LIMIT 10 MPH" SIGN
S-5	0	SQUARE PEDESTRIAN CROSSING "STOP" SIGN, LEFT ARROW
S-13	1	NO TRUCKS SIGN
S-15	0	ACCESSIBLE PARKING SIGN
AS-31	0	AMAZON "CUSTOMER PARKING" SIGN

NOTE: REFER TO DETAILS ON SHEET SERIES C7.0

NO.	DATE	REVISION DESCRIPTION
0	03/12/20	FOR PERMIT

DELIVERY STATION

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913



ISSUE: FOR PERMIT
 DATE: 03/12/20
 JOB NO.: 757184
 SCALE: 1" = 30'
 DESIGN: T. LEJA
 DRAWN: S. BAILEY
 CHECKED: J. KOCINSKI
 DRAWING TITLE

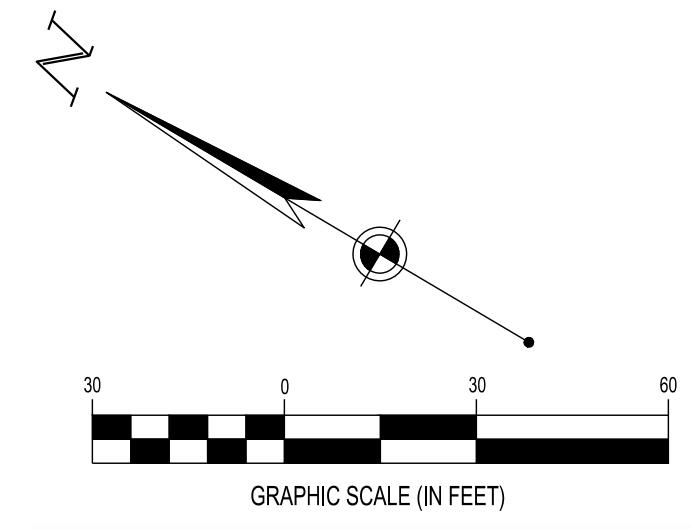
SIGNAGE PLAN - PARKING SOUTH

SHEET NO. **C8.4**

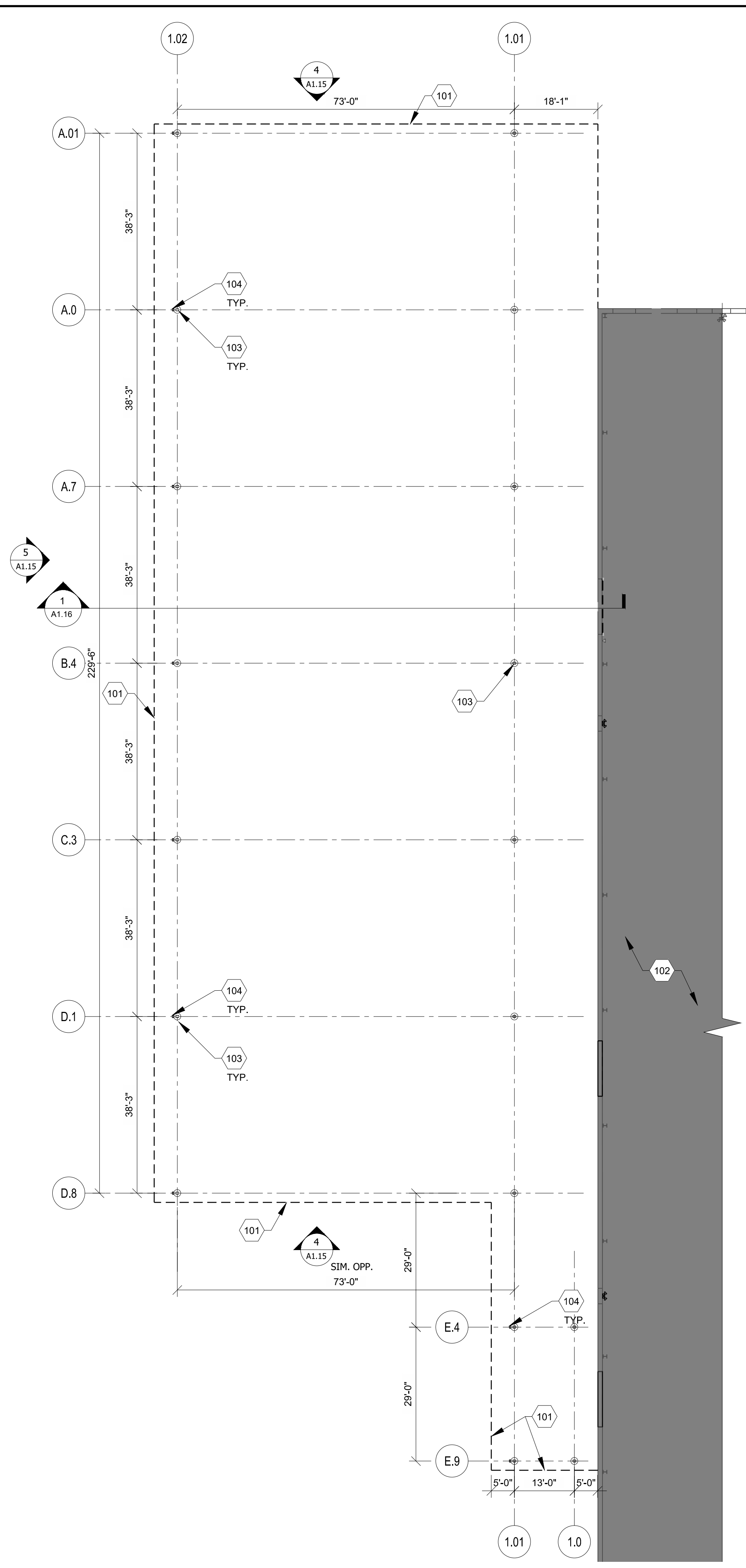
FLOODPLAIN DESIGNATION:
 ACCORDING TO F.I.R.M. NO. 36087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	816832.73 N, 641443.82 E
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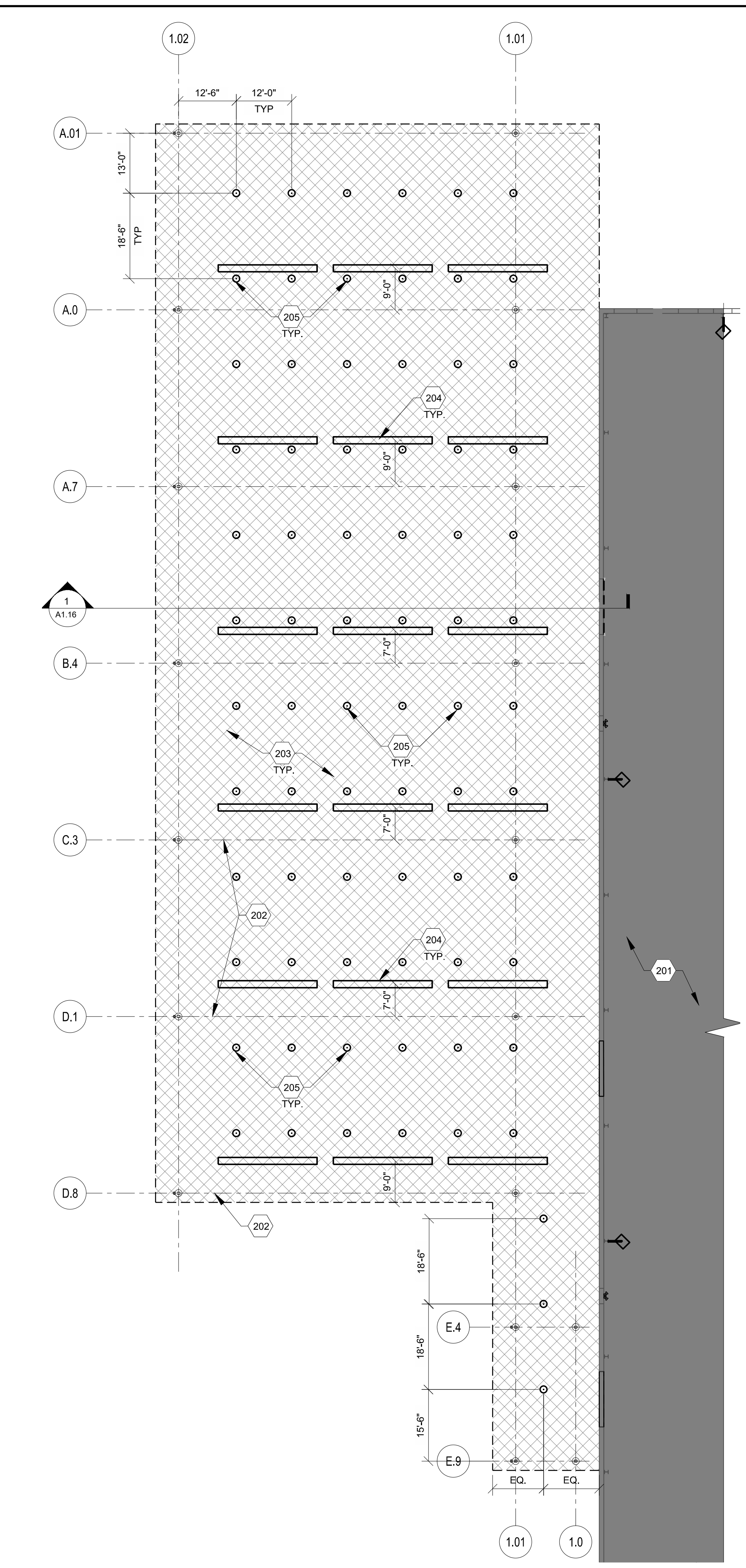
SURVEY (DATED 10/31/2019) BY:
 BLEW & ASSOCIATES, PA
 3825 N. SHILOH DRIVE
 FAYETTEVILLE, AR 72703
 PHONE: (479) 582-1883
 CONTACT: PAXTON SINGLETON
 CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.



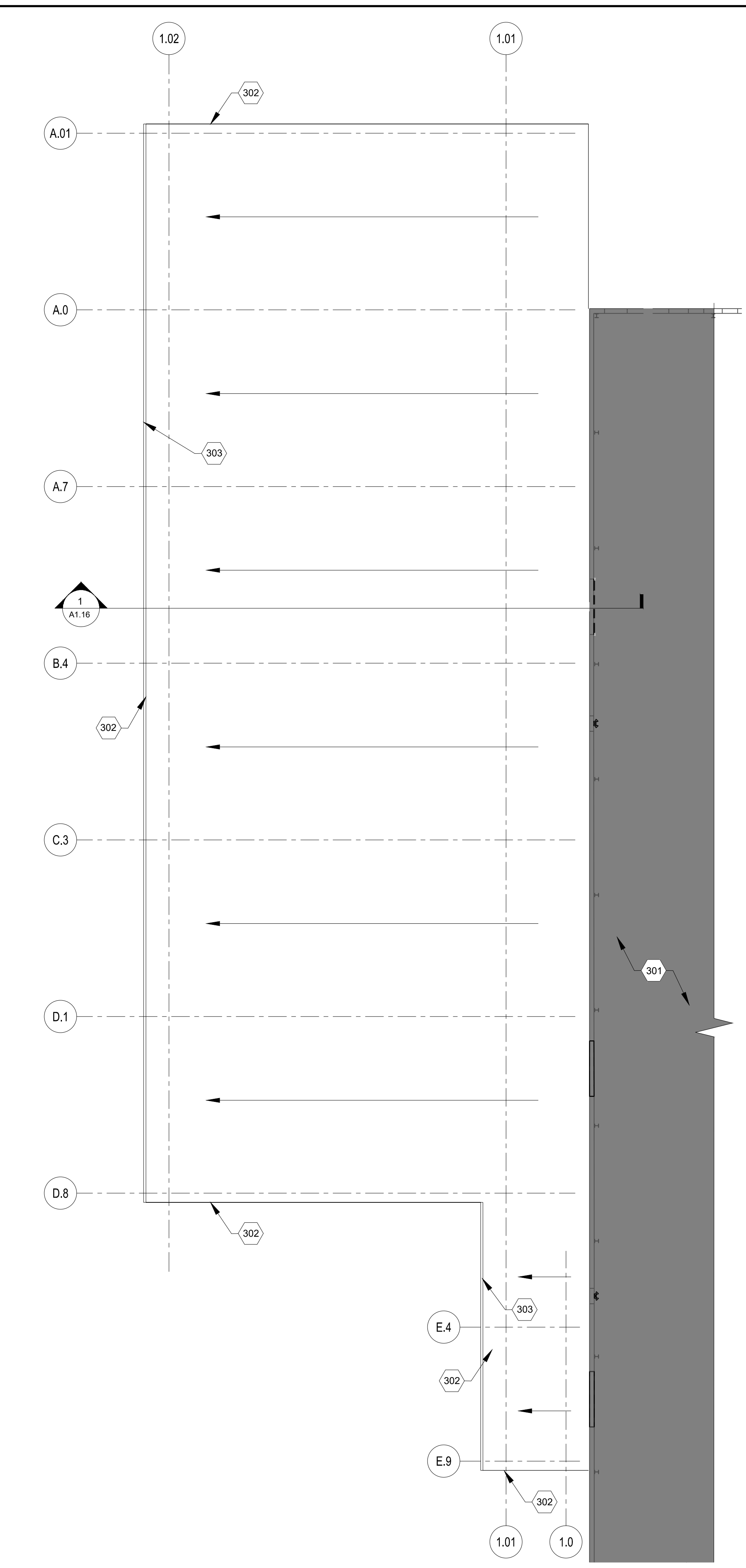
FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 OR 1 (800) 272-4480 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811.



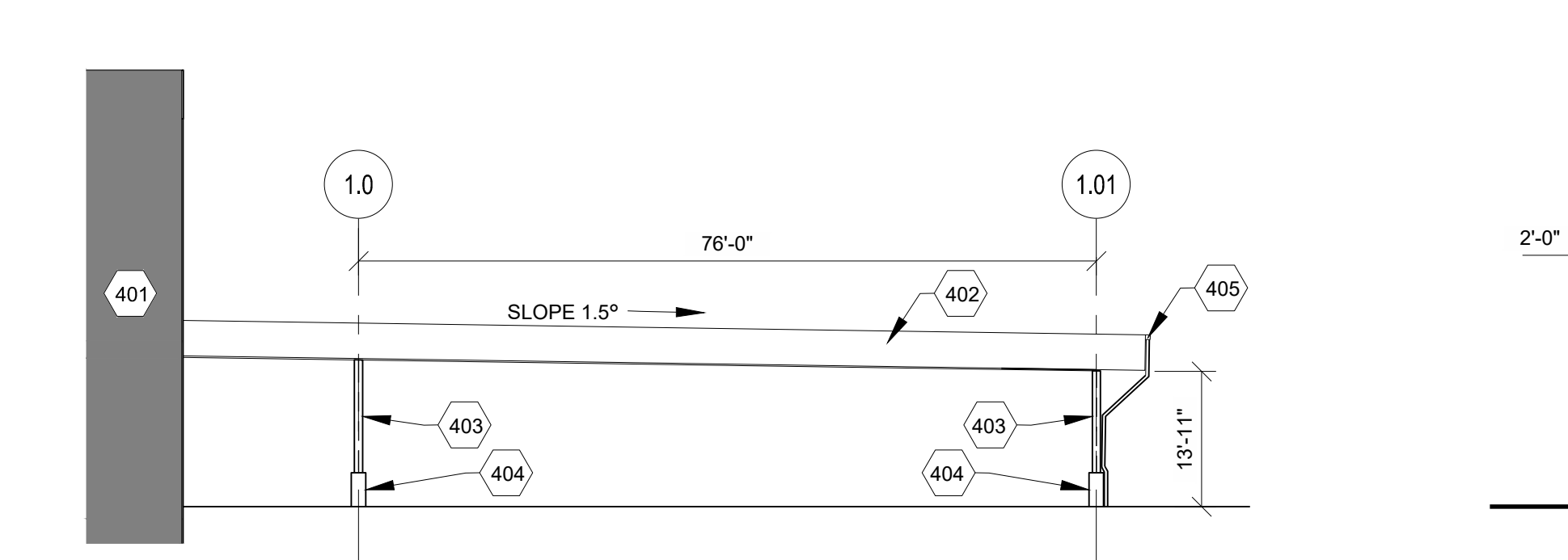
1 CANOPY FLOOR PLAN
1/16" = 1'-0"



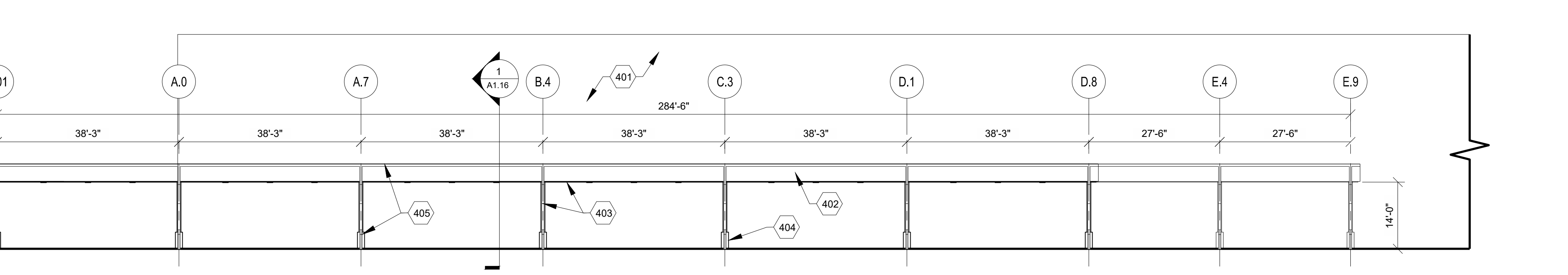
2 CANOPY ENLARGED REFLECTED CEILING PLAN
1/16" = 1'-0"



3 CANOPY ROOF PLAN
1/16" = 1'-0"



4 CANOPY SOUTHEAST ELEVATION
1/16" = 1'-0"



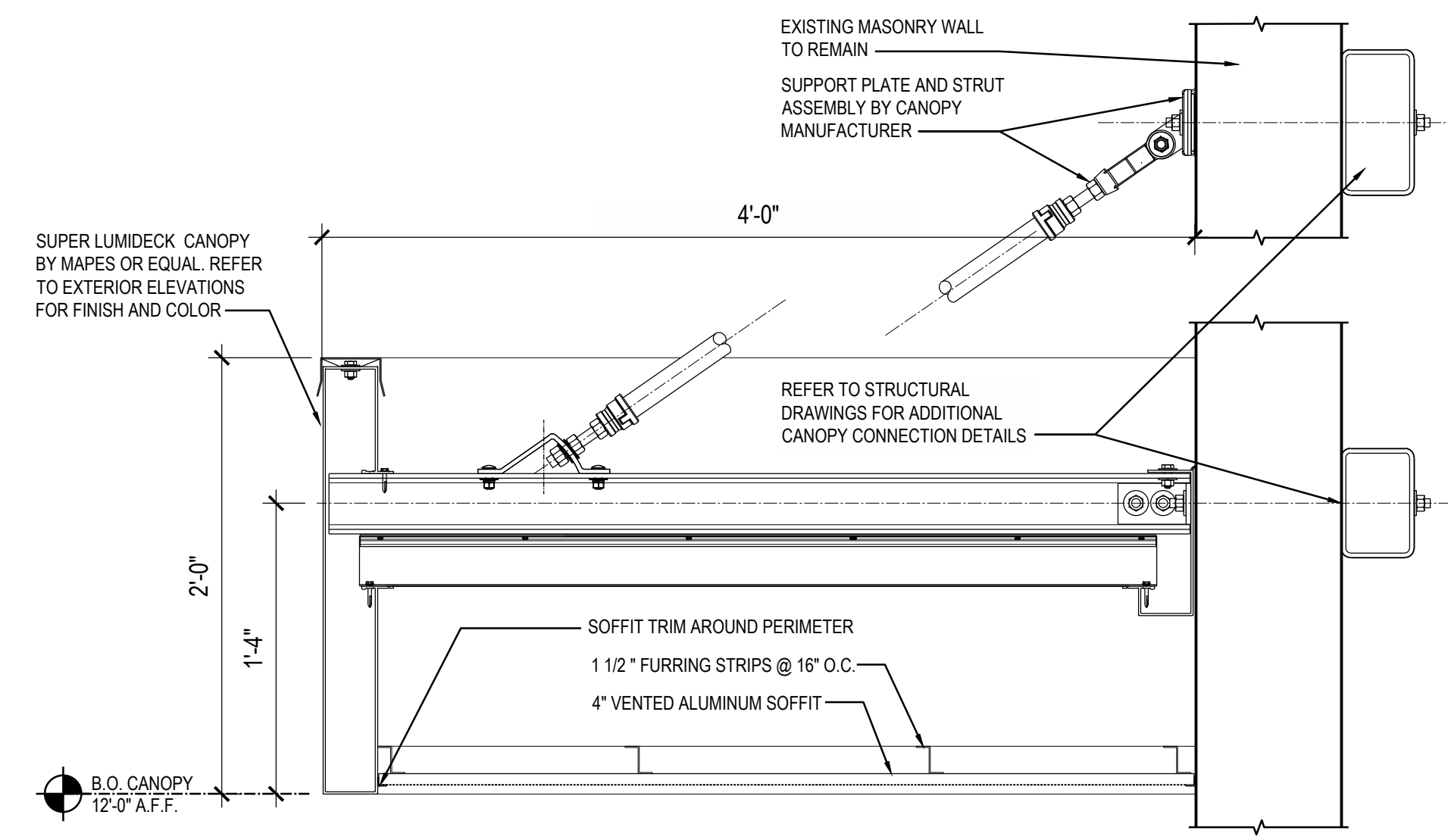
5 CANOPY NORTHEAST ELEVATION
1/16" = 1'-0"

- FLOOR PLAN KEY NOTES** (X)
- 101. LINE OF CANOPY ABOVE
 - 102. BUILDING
 - 103. COLUMNS AND COLUMN PROTECTION.
 - 104. CANOPY DOWNSPOUT - CONNECT TO UNDERGROUND STORM SEWER AND PROVIDE TRANSITION ROOF AT GRADE
- CANOPY REFLECTED CEILING PLAN KEY NOTES** (X)
- 201. BUILDING
 - 202. BEAM LOCATION, REFER TO STRUCTURAL DRAWINGS
 - 203. BIRD NET, MIN. 70% OPENING
 - 204. INFRARED HEATER - COORDINATE WITH MECHANICAL AND ELECTRICAL PLANS
 - 205. UNDER CANOPY LIGHTING, COORDINATE WITH ELECTRICAL DRAWINGS

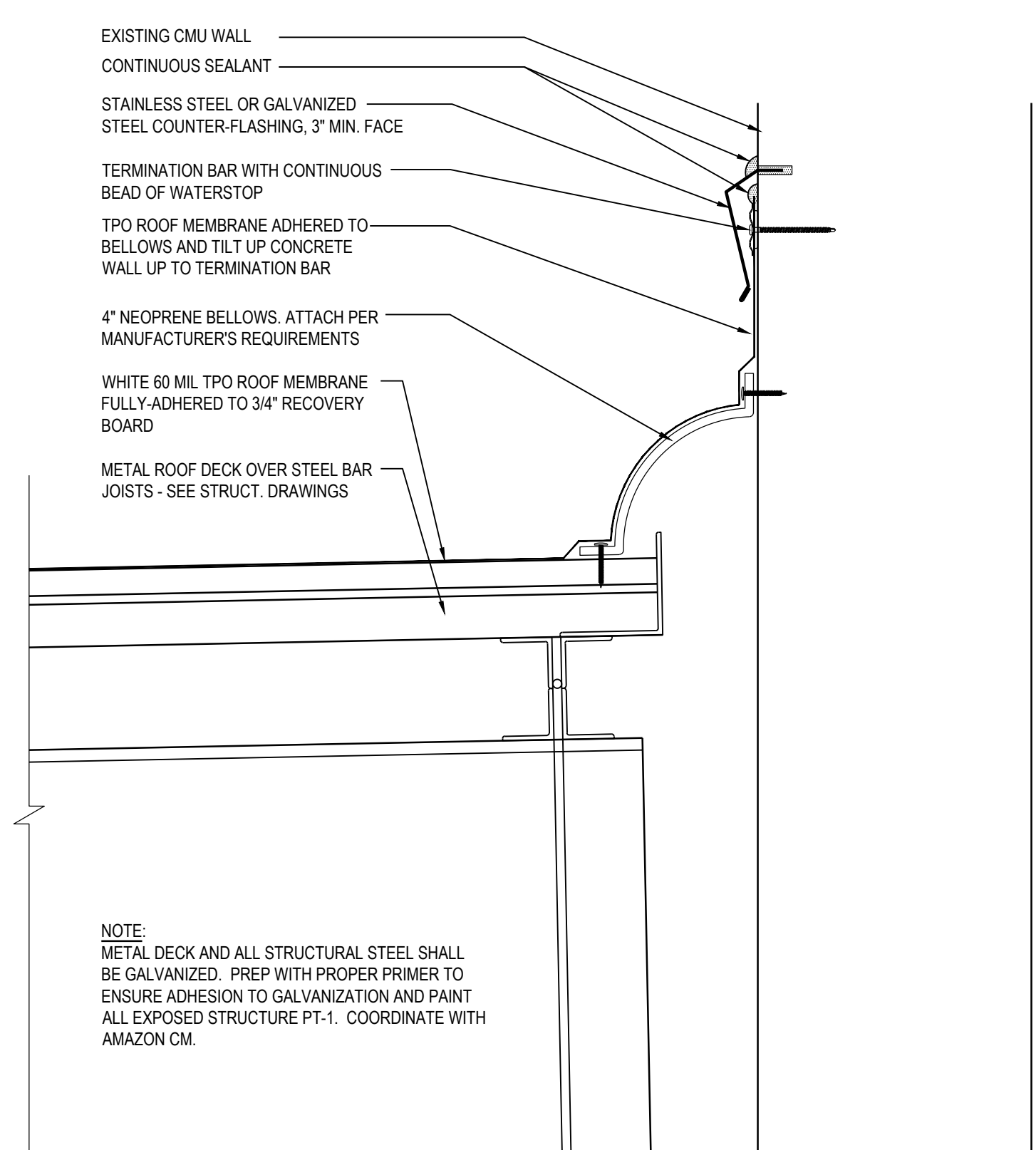
- ROOF PLAN KEY NOTES** (X)
- 301. BUILDING
 - 302. ALUMINUM CLADDING, PAINT PRIME BLUE.
 - 303. GUTTER AND DOWNSPOUT
- CANOPY ELEVATION KEY NOTES** (X)
- 401. BUILDING
 - 402. ALUMINUM CLADDING, PAINT PRIME BLUE.
 - 403. STEEL STRUCTURE PER STRUCTURAL, TYP.
 - 404. CONCRETE COLUMN PROTECTION, TYP.
 - 405. GUTTER AND DOWNSPOUT

- GENERAL NOTES**
1. REFER TO DESIGN GUIDELINES CANOPY FOR FURTHER INFORMATION
 2. REFER TO CANOPY DESIGN GUIDELINES FOR FURTHER INFORMATION REGARDING SPRINKLER, SIGNAGE, EV CHARGING, AND LIGHTING LOCATIONS.
 3. THIS REFLECTED CEILING PLAN IS PROVIDED TO DOCUMENT CEILING DESIGN INTENT. SEE ALSO MECHANICAL AND ELECTRICAL DOCUMENTATION FOR COMPLETE INFORMATION INCLUDING SWITCH LOCATION, CIRCUITING AND WIRING LAYOUT. ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS, OR IN CONFLICT WITH MEP/FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION. IN THE EVENT OF DISCREPANCIES BETWEEN THE ARCHITECT'S REFLECTED CEILING PLAN AND THE ENGINEER'S PLANS, IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING BEFORE ORDERING MATERIALS OR PROCEEDING WITH THE WORK.

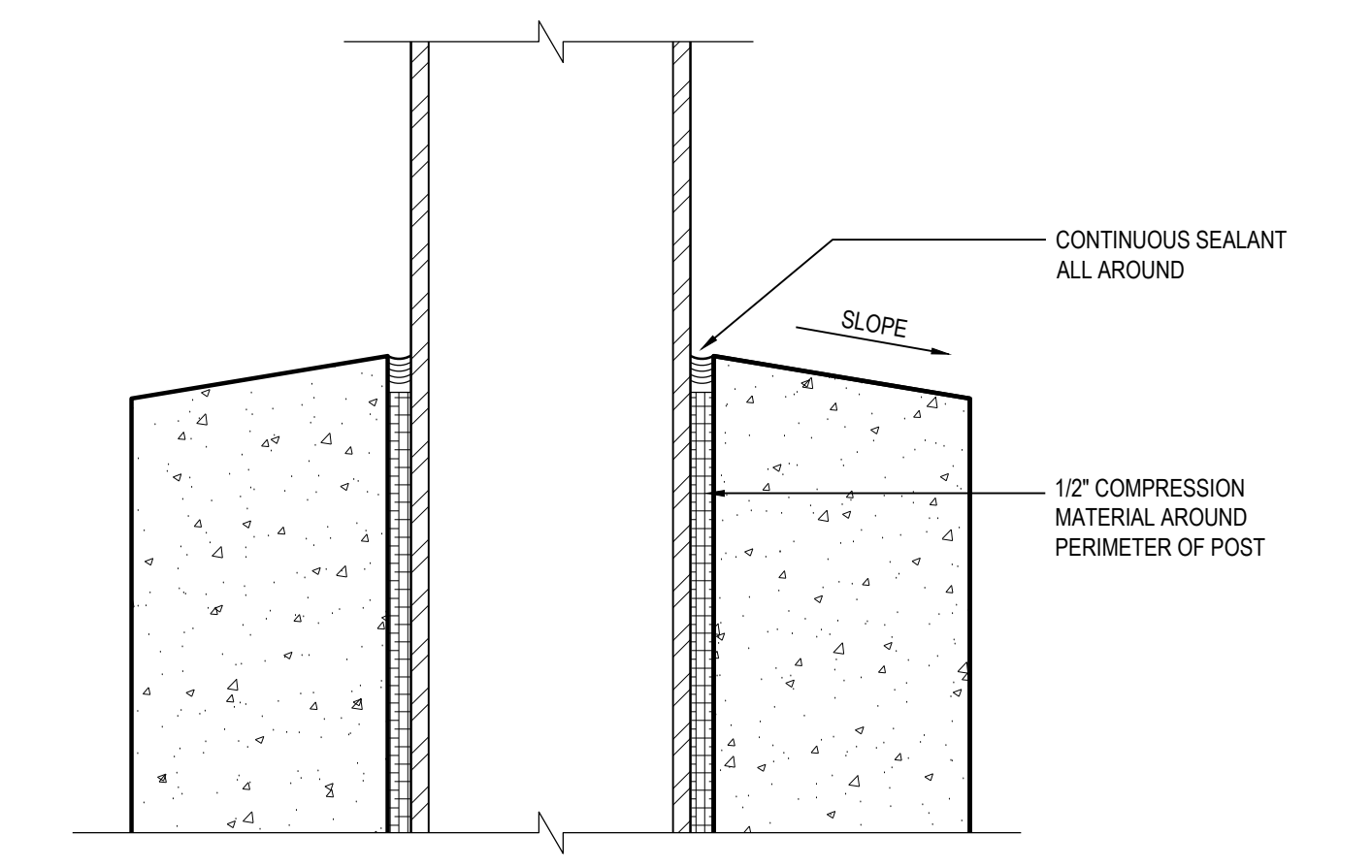
<p>Project No. 757184-01 Scale AS NOTED Drawn JO Checked SCU Date 02.18.2020</p>	<p>Date 03.12.2020</p> <p>Revisions/Submissions</p> <p>ISSUED FOR PERMIT</p> <p>No.</p>
<p>ARCHITECT OF RECORD</p> <p>BENJAMIN T. BELL, AIA 1305 NE MAGLAIN RD. SUITE 7 BENTONVILLE, AR 72712</p> <p>PHONE: (479) 271-8058 FAX: (888) 298-4026</p>	
<p>DELIVERY STATION 200/400 ORITANI DRIVE ORANGETOWN, NY</p>	
<p>CANOPY PLANS AND ELEVATIONS</p> <p>Drawing No. A1.15</p>	



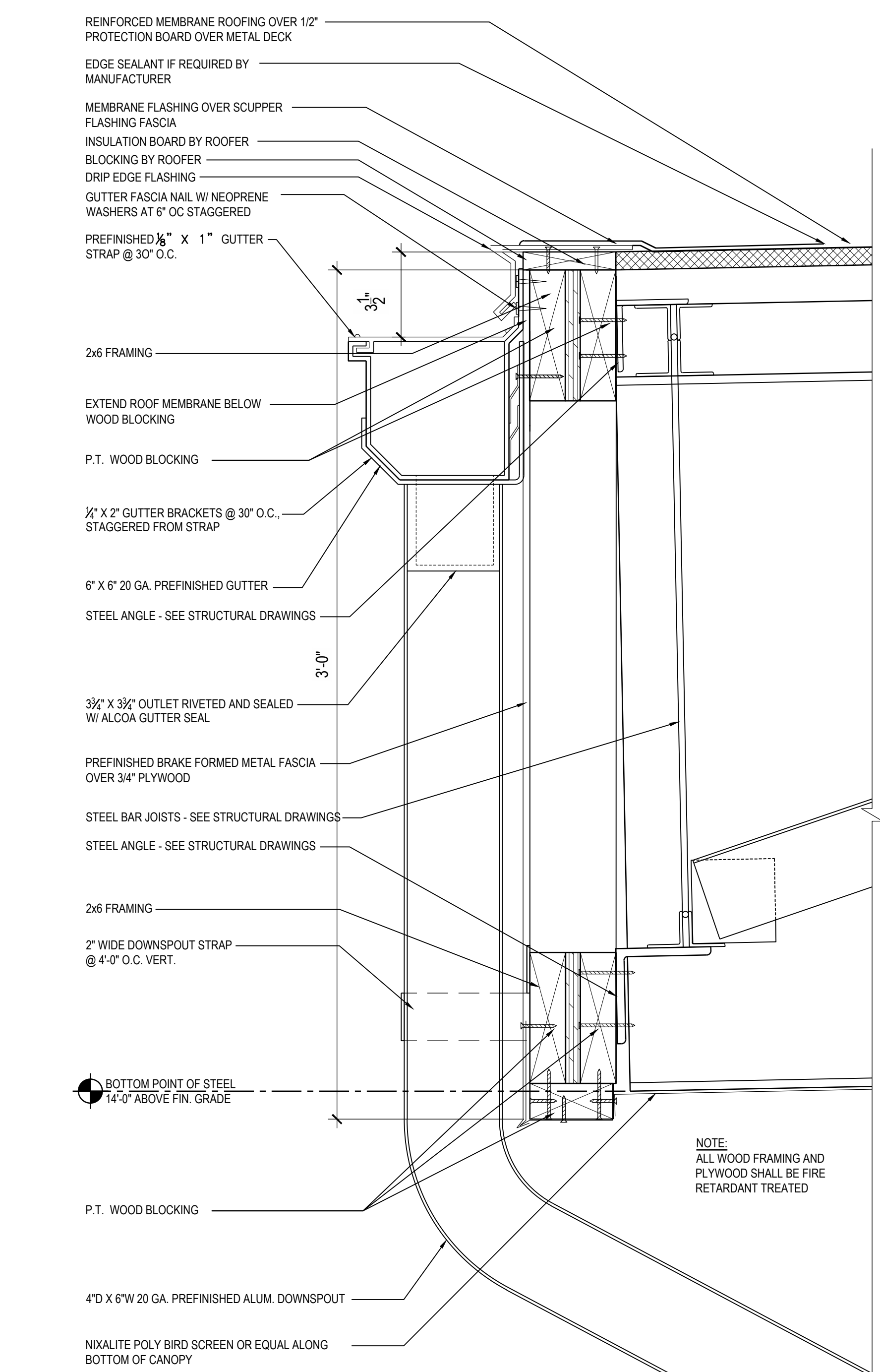
5 CANOPY DETAIL
3" = 1'-0"



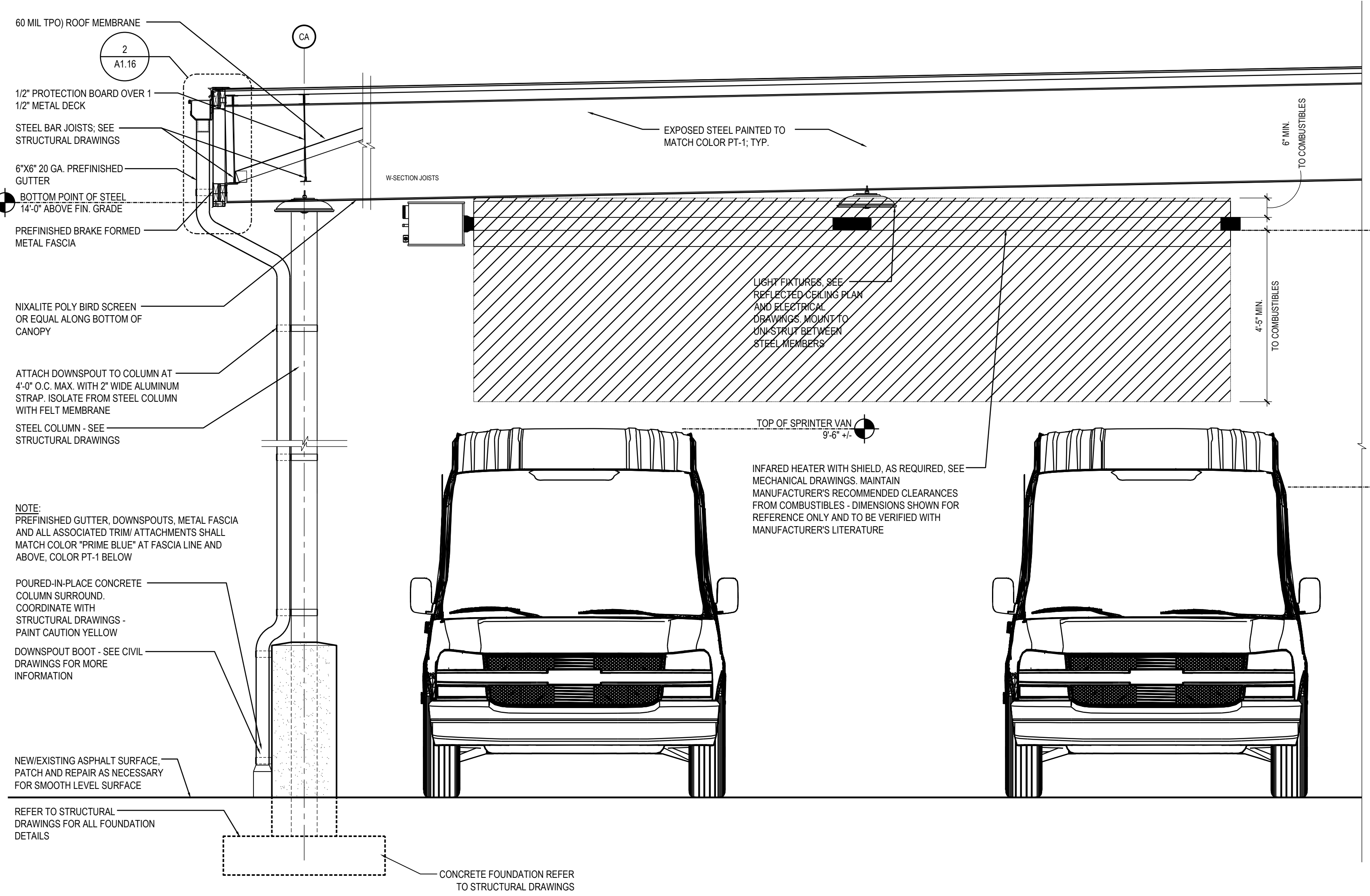
4 CANOPY DETAIL
3" = 1'-0"



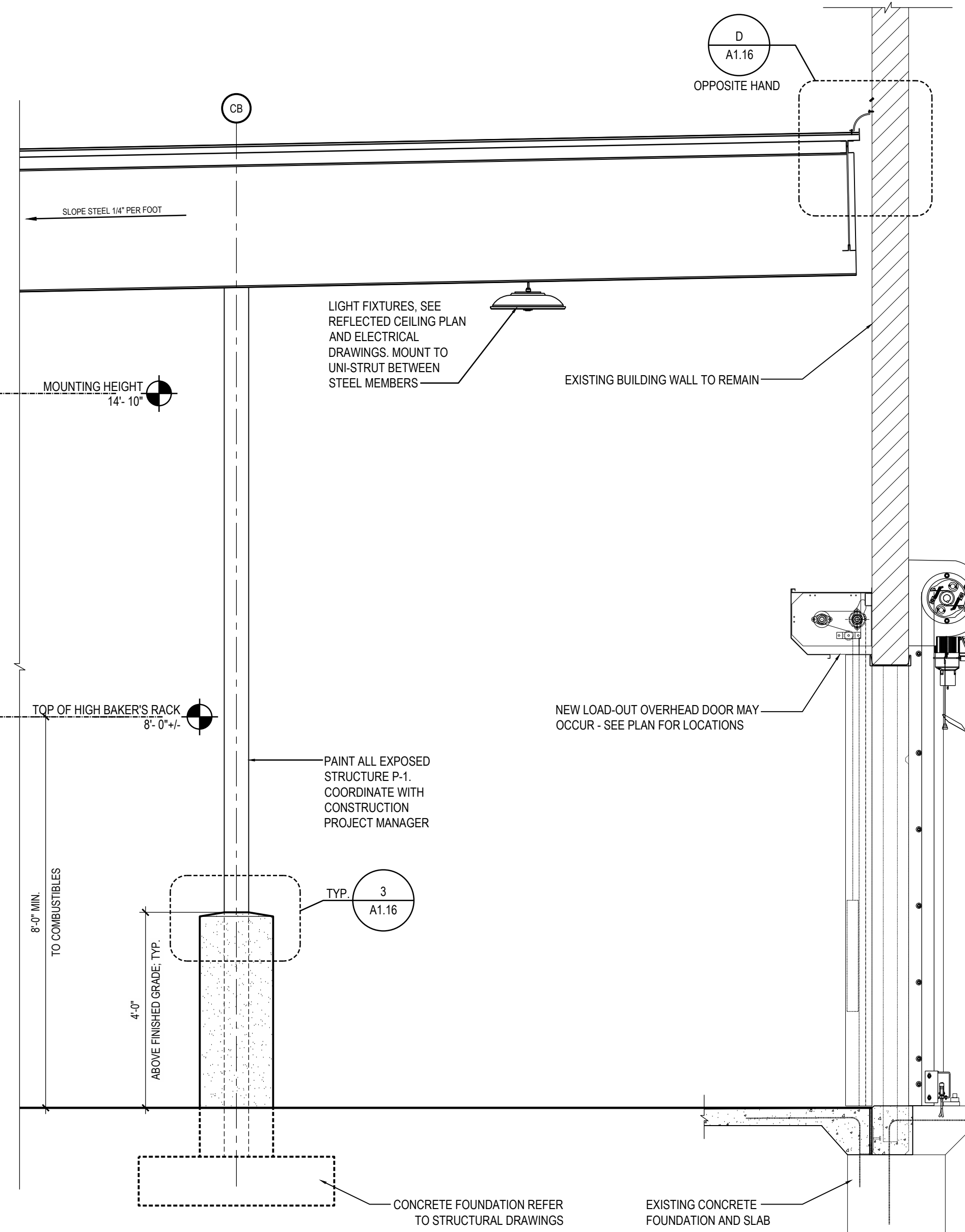
3 CANOPY POST DETAIL
3" = 1'-0"



2 CANOPY EDGE DETAIL
3" = 1'-0"



1 CANOPY SECTION
3/4" = 1'-0"



Date	03.12.2020
Revision/Submitted	IMJED VY
ISSUED FOR PERMIT	REVISION NO. 3
No.	

ARCHITECT OF RECORD
BENJAMIN T. BELL, AIA
1335 NE MACAN RD. SUITE 1
BENTONVILLE, AR 72712
PHONE: (479) 271-9058 FAX: (888) 208-4506

DELIVERY STATION
200/400 ORITANI DRIVE
ORANGETOWN, NY

Project No.	757184-01
Scale	AS NOTED
Drawn	JO
Checked	SCU
Date	02.18.2020

Drawing Title
CANOPY SECTION & DETAILS

Drawing No. **A1.16**

PARKING BREAKDOWN

PARKING	REQUIRED	PROPOSED ON-SITE	PROPOSED OFF-SITE	GAP
ASSOCIATE SPACES	140	140	0	0
MANAGER/PICKUP SPACES	15	15	0	0
DSP MANAGER SPACES	11	11	0	0
VAN MAINTENANCE SPACES	21	21	0	0
VAN PARKING SPACES	412	643	0	+231
VAN PERSONAL VEHICLE SPACES	80	80	0	0
TOTAL PARKING	679	910	0	+231
UTR/VAN LOADING	24	30	0	+6
VAN STAGING	30	30	0	0
TRAILER/BOX TRUCK LOADING + RECYCLE	6	7	0	0
RAMPS TO VAN LOADING	0	0	-	
ROLL-UP DOORS TO VAN LOADING AREA	2	2	-	

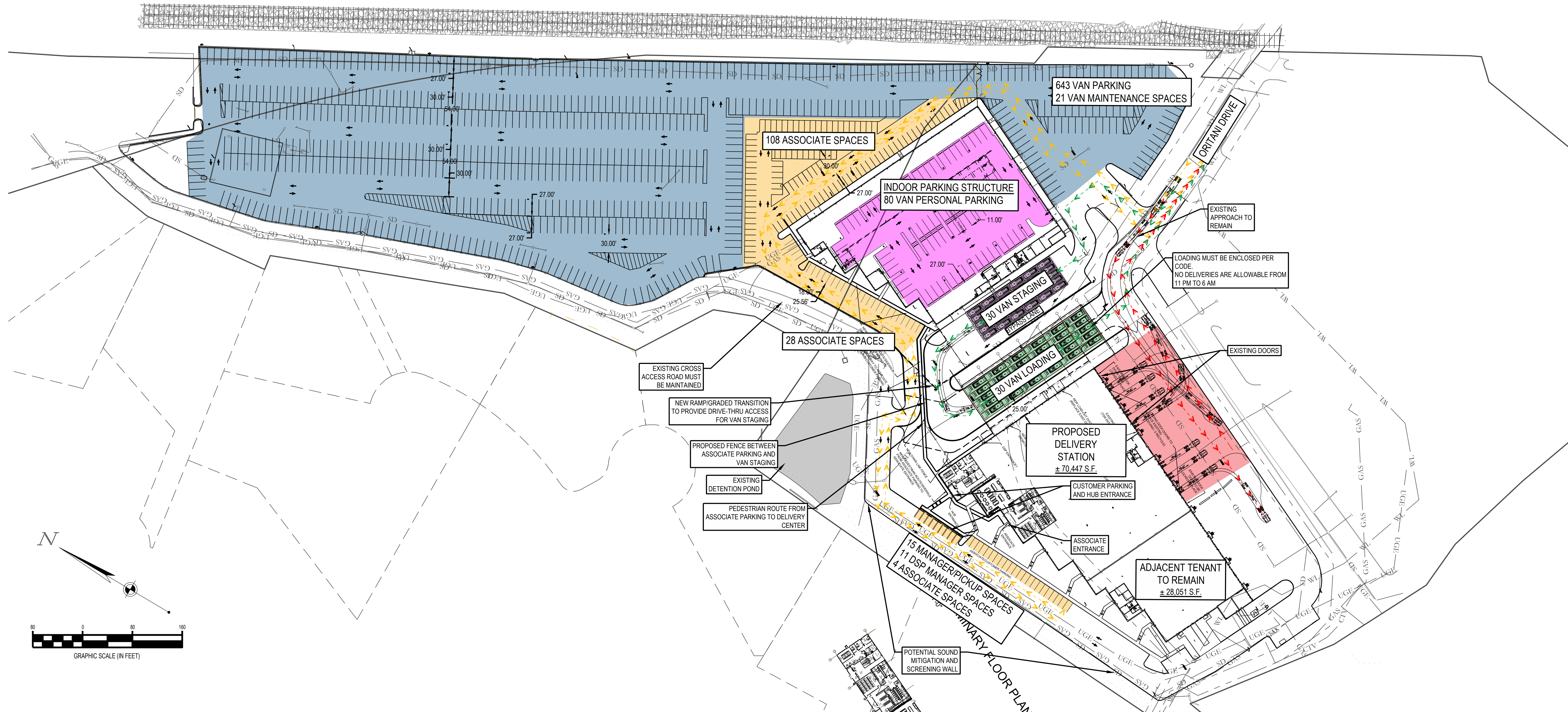
- TRUCK TRAFFIC FLOW ROUTE
- DSP/FLEX TRAFFIC FLOW ROUTE
- ASSOCIATE TRAFFIC FLOW ROUTE

GENERAL NOTES

- THIS CONCEPT PLAN WAS BASED ON LIMITED DATA. THE LOCATION OF BOUNDARIES, INLAND-WETLANDS, WATERCOURSES, AND RELATED TOPOGRAPHIC DATA WILL BE UPDATED UPON THE PREPARATION OF A DETAILED SURVEY.
- WITHOUT A DETAILED SURVEY GRADING AND OTHER SITE CONSTRAINTS ARE ASSUMED.

KEY ISSUES

- CURRENT ZONING DISTRICT DOES NOT ALLOW WAREHOUSE OR DISTRIBUTION USE. VARIANCE MUST BE FILED TO ALLOW USE. 8 MONTH PROCESS AND HIGHLY CONTROVERSIAL WITH NEIGHBORING PROPERTIES. NOT LIKELY TO BE APPROVED.
- PER ZONING CODE NO DELIVERIES ALLOWED BETWEEN 11 PM AND 6 AM. VARIANCE WOULD BE REQUIRED AND NOT LIKELY TO BE APPROVED.
- ALL LOADING/UNLOADING ZONES WILL NEED TO BE SCREENED OR VARIANCE OBTAINED TO ALLOW OPEN LOADING.



REV.	DATE	DESCRIPTION	CLT APP.	DATE
SK-1	08.23.19	SKETCH PLAN PROVIDED BY CLIENT		
SC-0	10.31.19	SITE CONCEPT PLAN PROVIDED BY CESO		
SC-1	11.08.19	REDUCED CAPACITY LAYOUT BY CESO		
SC-11	11.13.19	ADDED SOUND SCREENING WALL		
SC-2	02.19.19	SITE RECONFIGURATION (REV0)		
SC-3	11.20	SITE RECONFIGURATION (REV0)		

PROPOSED DEVELOPMENT

200 ORITANI DRIVE, BLAUVELT, NY

ISSUE: PRE-PERMIT
 DATE: 1.2.2020
 JOB NO.: 757184-01
 SCALE: AS SHOWN
 DESIGN: J. DE ZORT
 DRAWN: J. DE ZORT
 CHECKED: J. DE ZORT

SITE CONCEPT PLAN

SHEET NO. SC-3

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