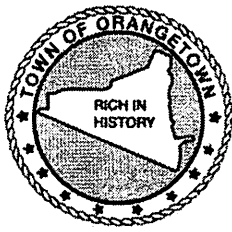


May 7, 2020

RE: Exterior Improvements – 400 Oritani Drive, Orangetown, NY 10913 – Project Narrative

The Exterior Improvements 400 Oritani Drive project documents scope of work includes:

- 1) THE ADDITION OF (2) NEW OVERHEAD DOOR OPENINGS ON THE NORTH ELEVATION;
- 2) DOCK DOOR MODIFICATIONS ON THE EAST ELEVATION;
- 3) NEW/MODIFIED STOREFRONT ENTRANCES; AND
- 4) NEW PAINTING OF EXISTING EXTERIOR FINISHES



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
**TOWN OF ORANGETOWN**

20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**ARCHITECTURE AND COMMUNITY APPEARANCE BOARD OF REVIEW**  
**REFERRAL LETTER**

Amazon.com Services, LLC  
400 Oritani Drive  
Blauvelt, NY  
70.06-1-1.12 #50003

Date: May 11, 2020

Re: \_\_\_\_\_  
Chapter 2, Section 2-4  
Requires A.C.A.B.O.R.  
Approval

Dear Mr. Haponck:

Please be advised that the Building Permit Application, which you submitted on May 11, 2020, has been denied to appear before the A.C.A.B.O.R.. I have enclosed a copy of your application, where you will find at the bottom the reason for denial.

The Clerk to the A.C.A.B.O.R., Cheryl Coopersmith, can assist you in the preparation necessary to appear before the board. Please contact her 845-359-8410 ext 4330 or [ccoopersmith@orangetown.com](mailto:ccoopersmith@orangetown.com)

Sincerely,

  
\_\_\_\_\_  
Signature of Director

5-11-2020

Date

NOTE: PLEASE KEEP FOR YOUR RECORDS  
12-31-18-CCC

CC: Rosanna Sfraga  
Liz DeCort  
Cheryl Coopersmith

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.  
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.

**APPLICATION FOR BUILDING / DEMOLITION PERMIT  
TOWN OF ORANGETOWN**

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT#

ZONE: _____	OFFICIAL USE ONLY	ACREAGE: _____
Inspector: _____	Date App Received: <u>5-11-2020</u>	Received By: <u>naul</u>
Permit No. <u>50004</u>	Date Issued: _____	
CO No. _____	Date Issued: _____	
Permit Fee: <u>Permit 49439</u> Ck# _____	Paid By _____	
GIS Fee: <u>\$190</u> Ck# <u>0025</u>	Paid By <u>Batska construction</u>	
Stream Maintenance Fee Ck # _____	Paid By _____	
Additional Fee: _____ Ck# _____	Date Paid _____	Paid By _____
1 <sup>st</sup> 6 mo. Ext.: _____ Ck # _____	Exp. Date: _____	Paid By _____
2 <sup>nd</sup> 6 mo. Ext.: _____ Ck # _____	Exp. Date: _____	Paid By _____

**APPLICANT COMPLETES:**

Note: See inside for instructions for completing this application,  
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 400 Oritani Drive, Orangetown, NY 10913

Section: 70.06 Block: 1 Lot: 1.12

Property Owner: AG-OE 400 Oritani Drive Owner, LLC

Mailing Address: 900 Route N, Suite 400, Woodbridge, NJ 07095

Email: nvasquez@onxyequities.com Phone #: 732.850.5689

Lessee (Business Name): Amazon.com Services, LLC

Mailing Address: 410 Terry Avenue North, Seattle, Washington 98109

Email: wthoamzn@amazon.com Phone #: 904.525.7804

Type of Business /Use: Delivery Station / S-1

Contact Person: Chad Haponek Relation to Project: Project Manager

Email: haponek@cesoinc.com Phone#: 330.396.5687

Architect/Engineer: Benjamin Bell NYS Lic # 31977

Address: 1305 NE McClain Rd., Suite 7, Bentonville, AR 72712 Phone#: 479.271.8058

Builder/General Contractor: TBD RC Lic # \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Plumber: TBD RC Lic # \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Electrician: TBD RC Lic #: \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Heat/Cooling: TBD RC Lic#: \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Existing use of structure or land: \_\_\_\_\_

Proposed Project Description: The addition of (2) new overhead door openings on the North elevation, modification of existing dock doors on the East elevation of the building, the modification of existing storefront systems and the addition of storefront entrance on the West elevation, and new painting of existing exterior finishes.

Proposed Square Footage: 75,607 SF Estimated Construction Value (\$): \$1,377,000

**BUILDING DEPARTMENT COMPLETES BELOW**

PLANS REVIEWED: \_\_\_\_\_

PERMIT REFERRED / DENIED FOR: PER CHAPTER 2, SECT. 2-4 ACAPOR REVIEW  
REQ'D.  
5-11-2020

**APPLICATION FOR BUILDING/DEMOLITION PERMIT**

**APPLICANT MUST COMPLETE OR APPLICATION WILL NOT BE ACCEPTED**

<b>ZONING BULK REQUIREMENTS</b>			
Zone: LO (Laboratory-Office District)	Group: X	Use: Warehouse/Distribution	
	Required	Existing	Proposed
Floor area ratio	0.40	0.11	0.11
Lot area	2 acres	3.347 acres	3.347 acres
Lot width	300'	50'	50'
Street frontage	150'	25'	25'
Front yard setback	100'	100' +	100' +
Side yard setback	100'	102.5'	102.5'
Total side yard setback	200'	302.5'	302.5'
Rear yard setback	100'	1113.0'	113.0'
Maximum building height	3in./ft. from lot line	36' +/-	36' +/-

Number of stories: 1      Construction Type: B2      Occupancy Class: S-1

Zoning Chart Information Completed by: CESO, Inc.

1. Sewage: (circle one) Town County Private
2. How many kitchens on the property? 0
3. Are there any renters, tenants, lessees or boarders at this property? YES NO
4. Are there any other building permits on this property? YES / NO
5. Is the property in a flood plain? YES / NO

AFFIDAVIT  
 State of New York  
 County of Rockland) SS.:  
 Town / Village of \_\_\_\_\_)

I, \_\_\_\_\_ being duly sworn, deposes and says that he/she is the (circle one) owner, lessee, engineer, surveyor, architect, (builder) or agent of the owner) in fee of the premises to which this application applies; that he/she (the applicant) is duly authorized to make this application and that the statements contained in the papers submitted herein are true to the best of his/her knowledge and belief, and that the work will be performed in the manner set forth in the application and in the plans and specifications filed therewith, and in accordance with the State Uniform Building Code and all other applicable laws, ordinances and regulations of the municipality. I also declare that the structure or area described in this application will not be occupied or used until I have obtained a Certificate of Occupancy or Certificate of Compliance.

**Signature and Mailing Address**

\_\_\_\_\_  
*Eire Byrne*  
 6 Judson Ave  
 Ardsley NY

SWORN to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

Witness: \_\_\_\_\_  
 (If not witnessed by Building Department personnel, Notary signature is required.) \_\_\_\_\_, Notary Public

**OFFICIAL USE ONLY:**

Checked by: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Granted for: \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**Director, OBZPAE**

# Architectural & Community Appearance Board of Review

Date: \_\_\_\_\_ Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot: \_\_\_\_\_

Project Name: \_\_\_\_\_

Project Address \_\_\_\_\_

Questions to be answered and returned to ACABOR with your completed application. Please state the Brand Name, Type, Style, Model and color numbers, etc. Actual material samples will need to be produced at the hearing.

1. Roof Shingles: \_\_\_\_\_

2. Siding Type: \_\_\_\_\_

3. Windows/Trim/Rail/etc: \_\_\_\_\_

4. Any stone or rock being used on the structure and/or walkway(s):

\_\_\_\_\_  
\_\_\_\_\_

5. Facade color schemes: \_\_\_\_\_

6. Any other specific materials being used in the construction and/or renovation:

\_\_\_\_\_  
\_\_\_\_\_

7. Do you have a landscape drawing attached? If not, please explain. (An explanation could be that the applicant is not changing the existing landscape.)

\_\_\_\_\_  
\_\_\_\_\_

8. Where will any exterior air conditioning units be placed?

\_\_\_\_\_  
\_\_\_\_\_

9. What type of lighting will be used in this project? And where will the lighting be placed on the property? Please provide a description.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

10. Other Important Site and/or Architectural Features:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: 5/8/2020

**2020 LAND USE BOARD APPLICATION**

*Please check all that apply:*

<input type="checkbox"/> Commercial <input type="checkbox"/> <b>Planning Board</b> <input type="checkbox"/> <b>Zoning Board of Appeals</b>  <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> Residential <input type="checkbox"/> <b>Historical Board</b> <input type="checkbox"/> <b>Architectural Board</b>  <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
--	--

**PERMIT#:** \_\_\_\_\_  
**ASSIGNED** \_\_\_\_\_  
**INSPECTOR:** \_\_\_\_\_  
 Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

**Project Name:** \_\_\_\_\_

**Street Address:** \_\_\_\_\_  
\_\_\_\_\_

**Tax Map Designation:**  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

**Directional Location:**  
On the \_\_\_\_\_ side of \_\_\_\_\_, approximately \_\_\_\_\_ feet \_\_\_\_\_ of the intersection of \_\_\_\_\_, in the Town of ORANGETOWN in the hamlet/village of \_\_\_\_\_.

<b>Acreage of Parcel</b> _____ <b>School District</b> _____ <b>Ambulance District</b> _____ <b>Water District</b> _____	<b>Zoning District</b> _____ <b>Postal District</b> _____ <b>Fire District</b> _____ <b>Sewer District</b> _____
--	---

**Project Description:** *(If additional space required, please attach a narrative summary.)*  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.  
Date: 5/8/2020 Applicant's Signature: Eric P. Byrne

# APPLICATION REVIEW FORM

**Applicant:** \_\_\_\_\_ Phone # \_\_\_\_\_

Address: \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Property Owner:** \_\_\_\_\_ Phone # \_\_\_\_\_

Address: \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Engineer/Architect/Surveyor:** \_\_\_\_\_ Phone # \_\_\_\_\_

Address: \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Attorney:** \_\_\_\_\_ Phone # \_\_\_\_\_

Address: \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Contact Person:** \_\_\_\_\_ Phone # \_\_\_\_\_

Address: \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

## GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:  
(Check all that apply)

**IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.**

\_\_\_\_\_ State or County Road  
\_\_\_\_\_ Long Path  
\_\_\_\_\_ Municipal Boundary

\_\_\_\_\_ State or County Park  
\_\_\_\_\_ County Stream  
\_\_\_\_\_ County Facility

List name(s) of facility checked above:

\_\_\_\_\_  
\_\_\_\_\_

### Referral Agencies:

\_\_\_\_\_ RC Highway Department  
\_\_\_\_\_ RC Drainage Agency  
\_\_\_\_\_ NYS Dept. of Transportation  
\_\_\_\_\_ NYS Thruway Authority  
\_\_\_\_\_ Adjacent Municipality \_\_\_\_\_  
\_\_\_\_\_ Other \_\_\_\_\_

\_\_\_\_\_ RC Division of Environmental Resources  
\_\_\_\_\_ RC Dept. of Health  
\_\_\_\_\_ NYS Dept. of Environmental Conservation  
\_\_\_\_\_ Palisades Interstate Park Commission



# DXY4 DELIVERY STATION EXTERIOR IMPROVEMENTS 400 ORITANI DRIVE ORANGETOWN, NY 10913

PROJECT NUMBER: 757184-01



WWW.CESOINC.COM

175 Montrose West Ave. Suite 400, APRON, OH 44331  
PHONE: (330) 955-0950 FAX: (330) 955-0954

Date	Revision/Description
02.18.2020	ISSUED FOR BIDDING / PERMIT
03.19.2020	REVISION NO. 1

No.	Revision/Description
1	ISSUED FOR BIDDING / PERMIT
2	REVISION NO. 1

## PROJECT DIRECTORY

### CLIENT

#### PRE-CONSTRUCTION MANAGER:

NAME - **ALONSO RODRIGUEZ**

PHONE - 703.328.6395

#### CONSTRUCTION MANAGER:

NAME - **MATT THOMAS**

PHONE - 914.525.7804

### ARCHITECT OF RECORD

COMPANY - **BENJAMIN T. BELL, AIA**  
ADDRESS - 1305 NE MCCLAIN RD.  
SUITE 7  
BENTONVILLE, AR 72712  
bell@cesoinc.com

#### PROJECT MANAGER:

NAME - **CHAD HAPONEK**

EMAIL - haponek@cesoinc.com

PHONE - 330.665.0660

### MECHANICAL AND ELECTRICAL ENGINEER

COMPANY - **LBI PROFESSIONAL ENGINEERING, LLC**  
ADDRESS - 310 W. 20TH ST.  
SUITE 200  
KANSAS CITY, MO 64108

#### PROJECT MANAGER:

NAME - **JOE HILLEBRENNER, PE**

EMAIL - joe.hillebrenner@dialecticeng.com

PHONE - 816.997.9601

### STRUCTURAL ENGINEER

COMPANY - **SMBH, INC.**  
ADDRESS - 1166 DUBLIN RD.  
SUITE 200  
COLUMBUS, OH 43215

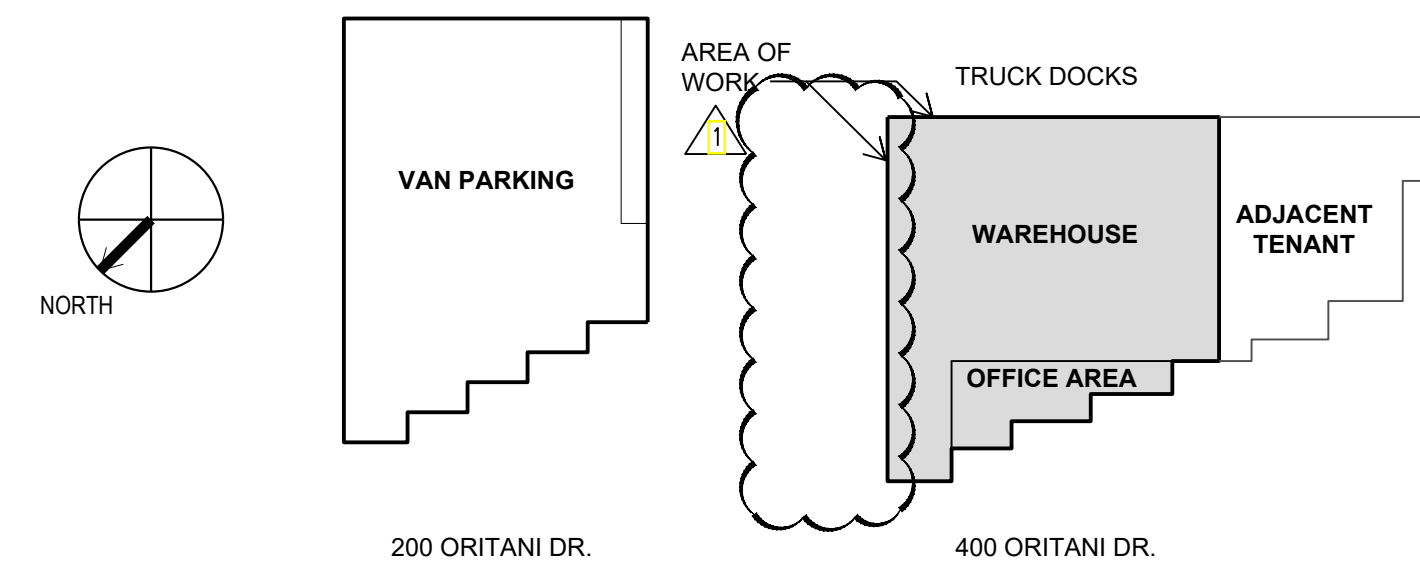
#### PROJECT MANAGER:

NAME - **ABDUL ABDI**

EMAIL - aabdi@smbhinc.com

PHONE - 614.481.9800

## KEY PLAN



## PROJECT DESCRIPTION

400 ORITANI DRIVE: EXTERIOR IMPROVEMENTS  
MINOR EXTERIOR WORK, INCLUDING: 1) THE ADDITION OF NEW OVERHEAD DOOR OPENINGS ON THE NORTH ELEVATION; 2) DOCK DOOR MODIFICATIONS ON THE EAST ELEVATION; 3) NEW/MODIFIED STOREFRONT ENTRANCES; AND 4) NEW PAINT FINISHES

### ARCHITECT OF RECORD

**BENJAMIN T. BELL, AIA**

1305 NE MCCLAIN RD. SUITE 7  
BENTONVILLE, AR 72712

PHONE: (479) 271-8658 FAX: (888) 288-4826

## REQUIRED VENDORS - NO SUBSTITUTIONS

1. IES COMMERCIAL, INC TO SUPPLY SECURITY AND TELECOM DRAWINGS  
(CONTACT: IESAMAZONDESIGN@IESCOMM.COM)
2. ENTREMATIC TO SUPPLY HIGH-SPEED FABRIC DOORS  
(CONTACT: RYAN TALBOT RYAN.TALBOT@ENTREMATIC.COM)
3. BUILDING, EXTERIOR AND MONUMENT SIGNS TO BE PROVIDED BY SIGN METHODS  
(CONTACT: DANE CARDONE DCARDONE@SIGNMETHODS.COM)
4. LOADING DOCK EQUIPMENT PROVIDED BY KELLY COMPANY, POWER AMP AND RITE-HITE CORP.  
(KELLY COMPANY CONTACT: RYAN TALBOT RYAN.TALBOT@ENTREMATIC.COM  
(POWER AMP CONTACT: TIM BLOCHM TBLOCHM@POWERAMP.COM)  
(RITE-HITE CORP CONTACT: RUSS STUEFLOTEN RSTUEFLOTEN@RITEHITE.COM)

## CODE INFORMATION

SITE AREA: 35.5 AC. (1,638,263 S.F.)  
BUILDING AREA - 400 ORITANI DRIVE: 69,272 S.F.  
OCCUPANCY TYPE: A-3, B, S-1  
CONSTRUCTION TYPE: II-B (FULLY SPRINKLERED)  
ALLOWABLE AREA: 2 STORY/17,500 S.F./FLOOR (BASED ON S-1 OCC., CONST) PER IBC TABLE 503  
SPRINKLER INCREASE +60' YARD INCREASE 1 STORY/UNLIMITED S.F. PER IBC SECTION 507.4

## GENERAL NOTES

1. REFER TO REQUIRED VENDOR LIST ABOVE, AND IN DESIGN CRITERIA FOR MORE INFORMATION.
2. COMPLETE DOCUMENTS INCLUDE DESIGN CRITERIA AND DESIGN GUIDELINES.
3. PROVIDE (1) FIRE EXTINGUISHER PER 11,500 SF OF BUILDING SQUARE FOOTAGE PLUS AN ADDITIONAL (5) FIRE EXTINGUISHERS.
4. PROVIDE EXIT SIGNS AT ALL EXTERIOR DOORS PLUS (10) ADDITIONAL EXIT SIGNS WHERE DIRECTED BY AHJ.
5. REFER TO EXIT PLAN SHEET AN.10 FOR CODE ANALYSIS AND CALCULATIONS

## DESIGN STANDARDS MATRIX

DESIGN STANDARDS INFORMATION				
DESIGN INTENT				
DESIGN CRITERIA: AMZL DSC MR DESIGN CRITERIA V1.4	RELEASED: 02/24/20			
DESIGN GUIDELINES: AMZL_BTS-MR_GUIDELINES_V1.4	RELEASED: 02/04/20			
COMPOSITE PLAN: DXY4 FIRM COMPOSITE	RELEASED: 01/16/20			
DRS:				
DCI #	SUBJECT	RELEASE DATE	APPLIES TO PROJECT	AFFECTED DRAWINGS

## SEPARATE PERMITS

SIGNAGE PERMIT (DESIGN BUILD)

**DELIVERY STATION - DXY4**  
 EXTERIOR IMPROVEMENTS  
 400 ORITANI DRIVE  
 ORANGETOWN, NY



Project No. 757184-01

Scale AS NOTED

Drawn JO

Checked SCU

Date 02.18.2020

Drawing Title

## COVER SHEET

Drawing No. **AN.00**



**SHEET INDEX LIST**

SHEET NUMBER	SHEET TITLE	ISSUE BID/PERMIT	REVISION 1	REVISION 2		
<b>00 GENERAL</b>						
AN.00	COVER SHEET	05/07/20	03/19/20			
AN.01	SHEET INDEX	05/07/20	03/19/20	05/07/20		
AN.20	GENERAL NOTES & ABBREVIATIONS	05/07/20	03/19/20			
AN.30	ACCESSIBILITY DETAILS	05/07/20				
<b>03 ARCHITECTURE</b>						
D1.10	DEMOLITION FLOOR PLAN	05/07/20				
A1.10	OVERALL FLOOR PLAN	05/07/20	03/19/20	05/07/20		
A4.10	EXTERIOR ELEVATIONS	05/07/20	03/19/20			
A6.10	DOORS & HARDWARE	05/07/20	03/19/20	05/08/20		
A6.11	STOREFRONT & DOOR DETAILS	05/07/20	03/19/20			
A6.12	BUILDING SIGNAGE AND GRAPHICS DETAILS	05/07/20		05/07/20		
A7.10	SHELL DETAILS	05/07/20	03/19/20	05/07/20		
<b>05 STRUCTURAL</b>						
S0.01	GENERAL NOTES	05/07/20	03/19/20			
S1.01	PARTIAL FOUNDATION PLAN	05/07/20	03/19/20			
S2.01	PARTIAL ROOF AND CANOPY FRAMING PLAN	05/07/20	03/19/20			
S3.01	FOUNDATION SECTIONS AND DETAILS	05/08/20	03/19/20			
<b>12 ELECTRICAL</b>						
E0.0	ONE-LINE, SYMBOLS, SCHEDULES, & GENERAL NOTES	05/07/20		05/07/20		
E0.1	ELECTRICAL SPECIFICATIONS	05/07/20		05/07/20		
E1.1	LIGHTING & POWER PLAN	05/07/20		05/07/20		



WWW.CESOINC.COM  
175 Montrose West Ave. Suite 400 APRON, OH 44131  
PHONE: (330) 955-0950 FAX: (330) 955-0954

Date	Revisions/Submissions
02.18.2020	ISSUED FOR BIDDING / PERMIT
03.19.2020	REVISION NO. 1
05.07.2020	REVISION NO. 2

No.	Revisions/Submissions
1	ISSUED FOR BIDDING / PERMIT
2	REVISION NO. 1
3	REVISION NO. 2

ARCHITECT OF RECORD  
**BENJAMIN T. BELL, AIA**  
1305 HE MCLAN RD. SUITE 7  
BENTONVILLE, AR 72712  
PHONE: (479) 271-9058 FAX: (888) 208-4526

**DELIVERY STATION - DXY4**  
EXTERIOR IMPROVEMENTS  
400 ORITANI DRIVE  
ORANGETOWN, NY

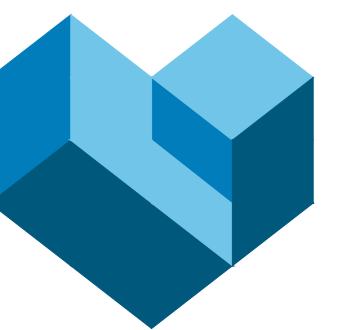


Project No. 757184-01  
Scale AS NOTED  
Drawn JO  
Checked SCU  
Date 02.18.2020

Drawing Title  
**SHEET INDEX**  
Drawing No. **AN.01**







**CESO**  
WWW.CESOINC.COM

175 Montrose West Ave. Suite 405 AKRON, OH 44321

PHONE: (330) 955-0950 FAX: (330) 955-0954

Date: 02.18.2020

Revision/Submissions

ISSUED FOR BIDDING / PERMIT

No.

ARCHITECT OF RECORD

**BENJAMIN T. BELL, AIA**

1305 NE MCLANAHAN RD. SUITE 7,  
BENTONVILLE, AR 72712

PHONE: (479) 271-8058 FAX: (888) 208-4526

**DELIVERY STATION - DXY4**

EXTERIOR IMPROVEMENTS

400 ORITANI DRIVE

ORANGETOWN, NY

757464-01

AS NOTED

Drawn: JO

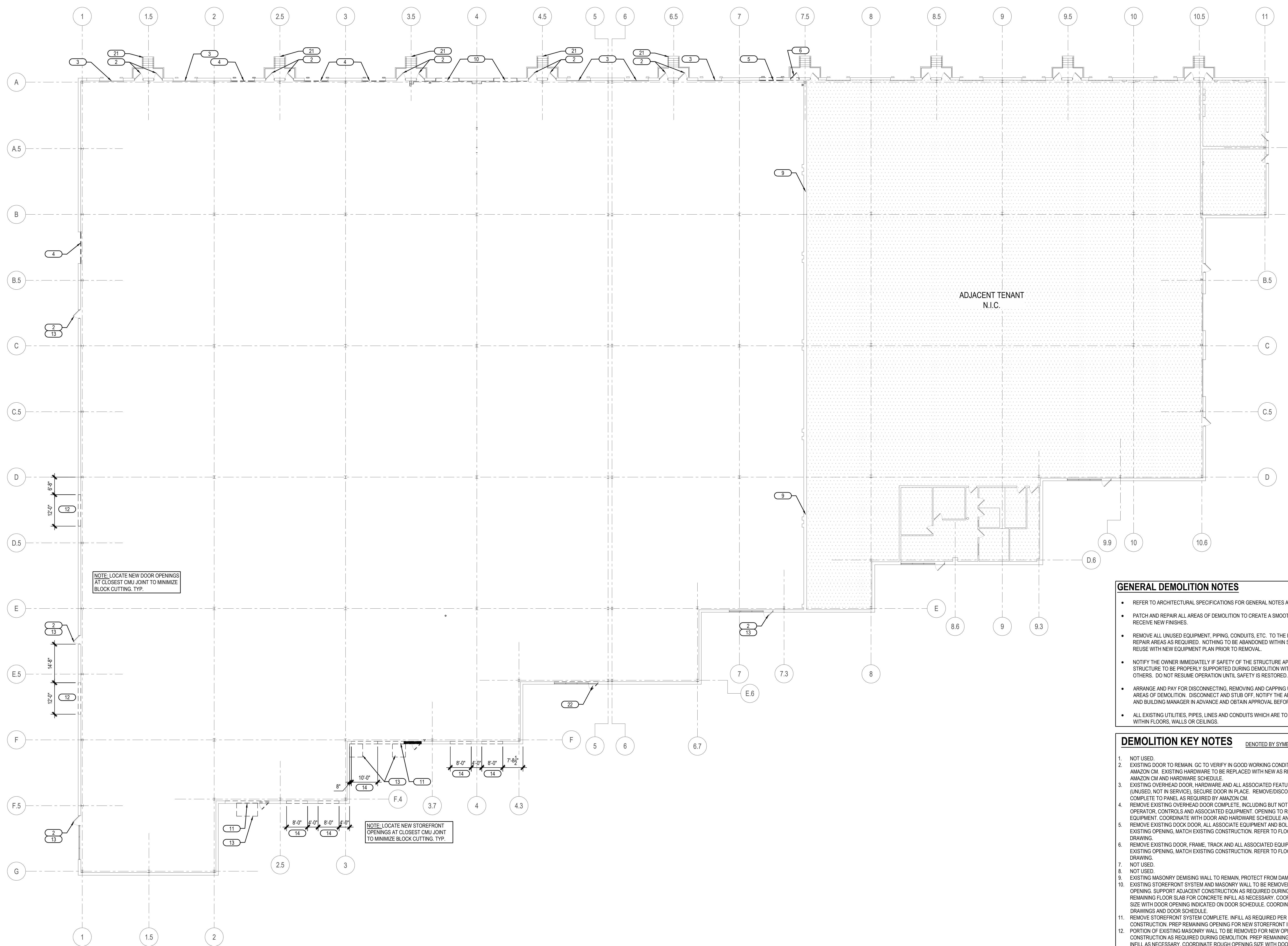
Checked: SCU

Date: 02.18.2020

Drawing Title

**DEMOLITION PLAN**

Drawing No. **D1.10**



NOTE: LOCATE NEW DOOR OPENINGS AT CLOSEST CMU JOINT TO MINIMIZE BLOCK CUTTING. TYP.

NOTE: LOCATE NEW STOREFRONT OPENINGS AT CLOSEST CMU JOINT TO MINIMIZE BLOCK CUTTING. TYP.

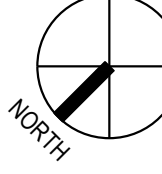
**GENERAL DEMOLITION NOTES**

- REFER TO ARCHITECTURAL SPECIFICATIONS FOR GENERAL NOTES AND REQUIREMENTS.
- PATCH AND REPAIR ALL AREAS OF DEMOLITION TO CREATE A SMOOTH AND EVEN TRANSITION TO RECEIVE NEW FINISHES.
- REMOVE ALL UNUSED EQUIPMENT, PIPING, CONDUITS, ETC. TO THE POINT OF ORIGIN. PATCH AND REPAIR AREAS AS REQUIRED. NOTHING TO BE ABANDONED WITHIN SPACE. VERIFY POSSIBLE REUSE WITH NEW EQUIPMENT PLAN PRIOR TO REMOVAL.
- NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF THE STRUCTURE APPEARS TO BE COMPROMISED. STRUCTURE TO BE PROPERLY SUPPORTED DURING DEMOLITION WITH SHORING DESIGN BY OTHERS. DO NOT RESUME OPERATION UNTIL SAFETY IS RESTORED.
- ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILITY COMPANY AND BUILDING MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
- ALL EXISTING UTILITIES, PIPES, LINES AND CONDUITS WHICH ARE TO REMAIN SHALL BE CONCEALED WITHIN FLOORS, WALLS OR CEILING.

**DEMOLITION KEY NOTES** DENOTED BY SYMBOL:

- NOT USED.
- EXISTING DOOR TO REMAIN. GC TO VERIFY IN GOOD WORKING CONDITION AND COORDINATE WITH AMAZON CM. EXISTING HARDWARE TO BE REPLACED WITH NEW AS REQUIRED. COORDINATE WITH AMAZON CM AND HARDWARE SCHEDULE.
- EXISTING OVERHEAD DOOR, HARDWARE AND ALL ASSOCIATED FEATURES TO REMAIN IN PLACE (UNUSED, NOT IN SERVICE). SECURE DOOR IN PLACE. REMOVE/DISCONNECT ALL POWER COMPLETE TO PANEL AS REQUIRED BY AMAZON CM.
- REMOVE EXISTING OVERHEAD DOOR COMPLETE, INCLUDING BUT NOT LIMITED TO DOOR, TRACK, OPERATOR, CONTROLS AND ASSOCIATED EQUIPMENT. OPENING TO RECEIVE NEW DOOR AND EQUIPMENT. COORDINATE WITH DOOR AND HARDWARE SCHEDULE AND AMAZON CM.
- REMOVE EXISTING DOCK DOOR, ALL ASSOCIATE EQUIPMENT AND BOLLARDS COMPLETE. INFILL EXISTING OPENING. MATCH EXISTING CONSTRUCTION. REFER TO FLOOR PLAN AND STRUCTURAL DRAWING.
- REMOVE EXISTING DOOR, FRAME, TRACK AND ALL ASSOCIATED EQUIPMENT COMPLETE. INFILL EXISTING OPENING. MATCH EXISTING CONSTRUCTION. REFER TO FLOOR PLAN AND STRUCTURAL DRAWING.
- NOT USED.
- NOT USED.
- EXISTING MASONRY DEMISING WALL TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- EXISTING STOREFRONT SYSTEM AND MASONRY WALL TO BE REMOVED FOR NEW DOCK DOOR OPENING. SUPPORT ADJACENT CONSTRUCTION AS REQUIRED DURING DEMOLITION. PREP REMAINING FLOOR SLAB FOR CONCRETE INFILL AS NECESSARY. COORDINATE ROUGH OPENING SIZE WITH DOOR OPENING INDICATED ON DOOR SCHEDULE. COORDINATE WITH STRUCTURAL DRAWINGS AND DOOR SCHEDULE.
- REMOVE STOREFRONT SYSTEM COMPLETE. INFILL AS REQUIRED PER PLANS. MATCH EXISTING CONSTRUCTION. PREP REMAINING OPENING FOR NEW STOREFRONT INSTALLATION.
- PORTION OF EXISTING MASONRY WALL TO BE REMOVED FOR NEW OPENING. SUPPORT ADJACENT CONSTRUCTION AS REQUIRED DURING DEMOLITION. PREP REMAINING FLOOR SLAB FOR CONCRETE INFILL AS NECESSARY. COORDINATE ROUGH OPENING SIZE WITH DOOR OPENING INDICATED ON DOOR SCHEDULE. COORDINATE WITH STRUCTURAL DRAWINGS AND DOOR SCHEDULE.
- EXCAVATE FOR NEW CONCRETE FROST SLAB IF EXISTING FROST IS NOT PRESENT. GC TO ENSURE LEVEL SURFACE WITH ADJACENT CONCRETE IF PRESENT. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- PORTION OF EXISTING MASONRY WALL TO BE REMOVED FOR NEW STOREFRONT OPENING. SHORE AS REQUIRED DURING DEMOLITION. PREP REMAINING FLOOR SLAB FOR CONCRETE INFILL AS NECESSARY. COORDINATE WITH STRUCTURAL DRAWINGS, FLOOR PLAN AND ELEVATIONS.
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.
- EXISTING STAIRS AND ASSOCIATED RAILINGS, AND SLAB TO REMAIN. GC TO COORDINATE WITH AMAZON CM TO ACCESS EXISTING CONDITIONS. REFURBISH AND/OR REPLACE AS DIRECTED BY AMAZON CM.
- EXISTING STOREFRONT DOOR. LOCK IN PLACE AND REMOVE EXISTING HARDWARE.

**DEMOLITION PLAN**  
1/16" = 1'-0"



1  
D1.10



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Date	Revisions/Submissions
02.18.2020	ISSUED FOR BIDDING / PERMIT
03.19.2020	REVISION NO. 1
05.07.2020	REVISION NO. 2

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**DELIVERY STATION - DXY4**  
EXTERIOR IMPROVEMENTS  
400 ORITANI DRIVE  
ORANGETOWN, NY

Project No. 757184-01

Scale AS NOTED

Drawn JO

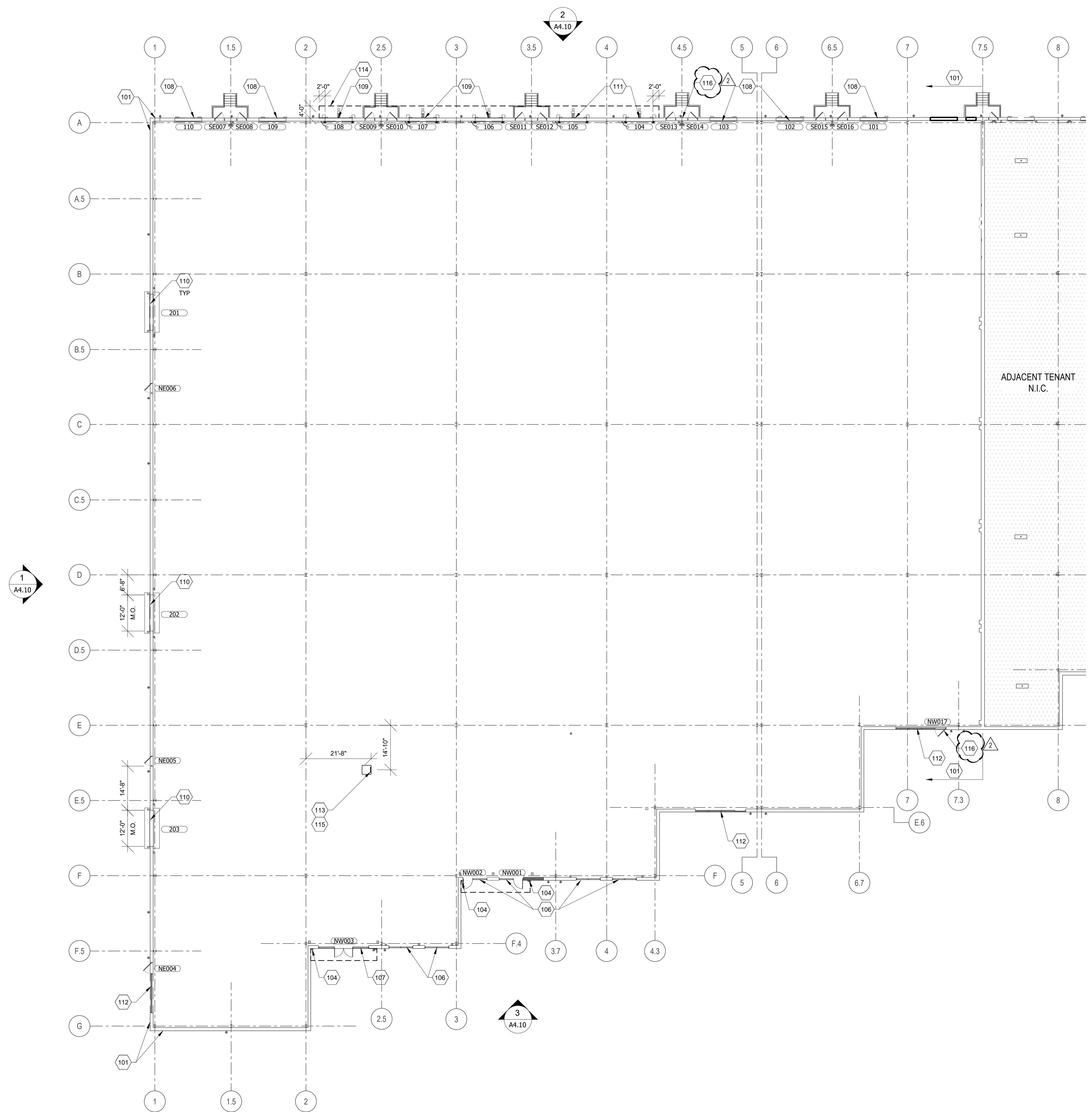
Checked SCU

Date 02.18.2020

Drawing Title

**OVERALL FLOOR PLAN**

Drawing No. **A1.10**



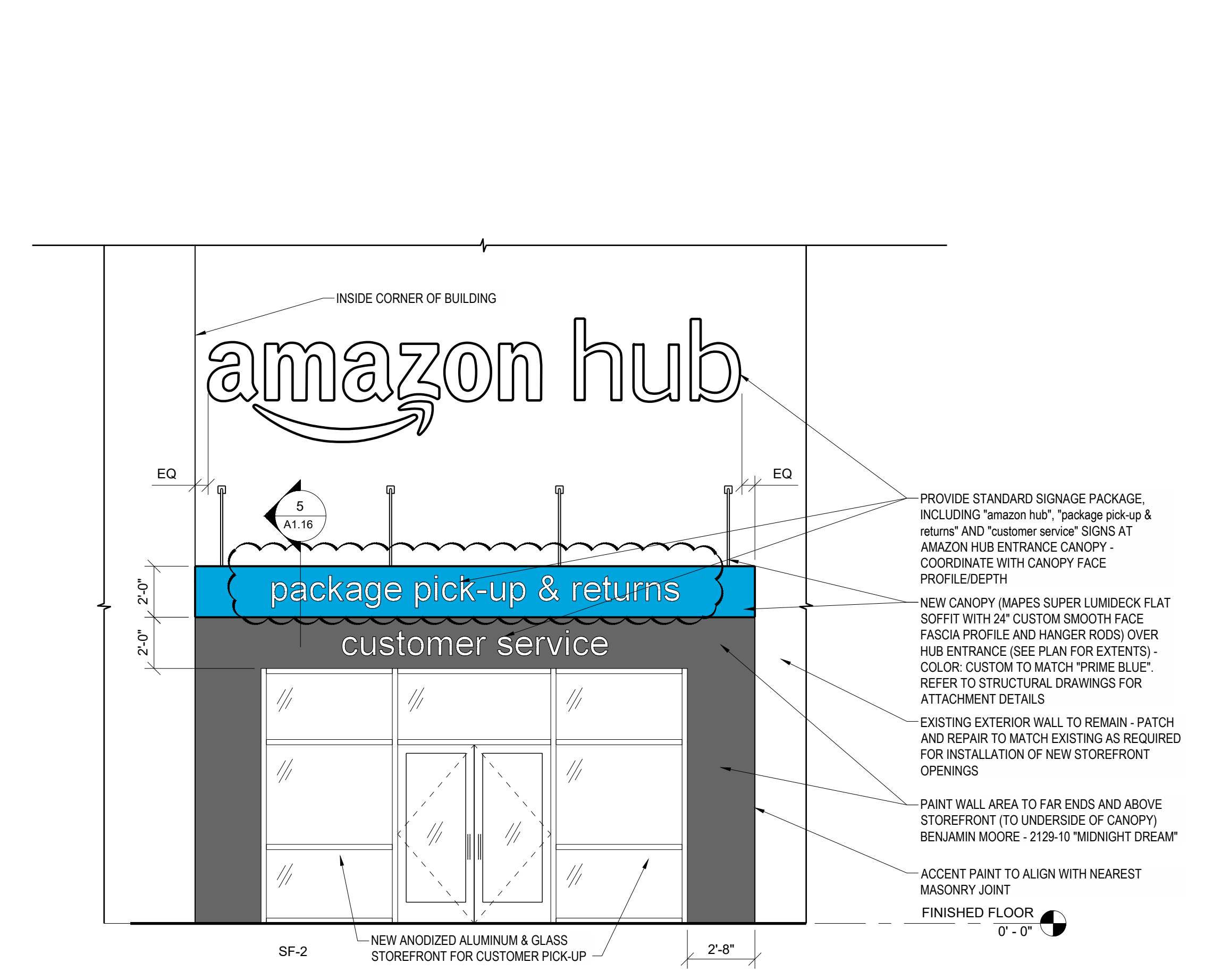
**1 OVERALL FLOOR PLAN**  
A1.10  
1/16" = 1'-0"

**GENERAL NOTES**

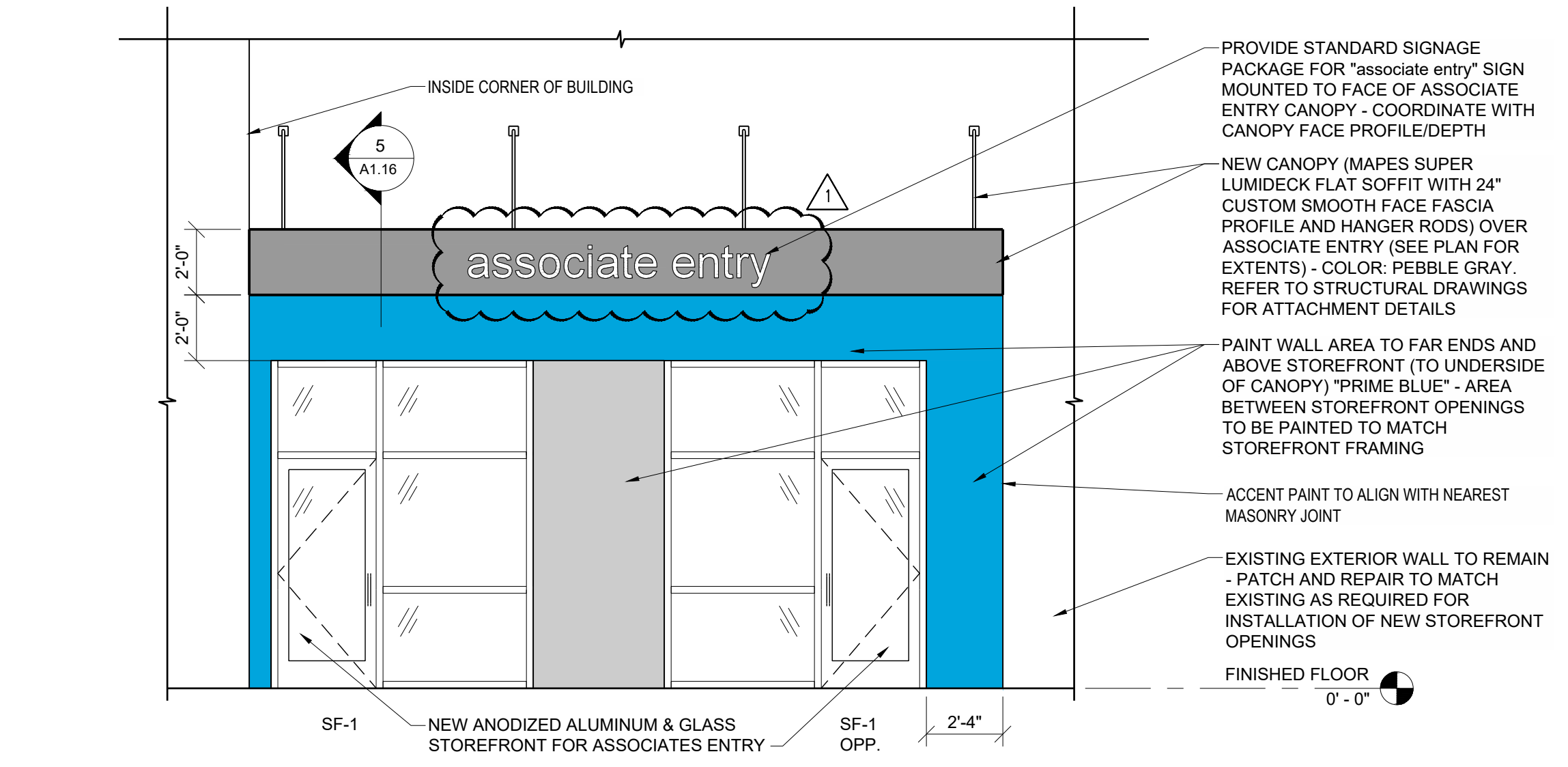
1. ALL EXTERIOR WALLS ARE EXISTING TO REMAIN, U.N.O.
2. DOOR SYMBOL KEY: SEE A6.10 FOR DOOR SCHEDULE

**KEY NOTES**

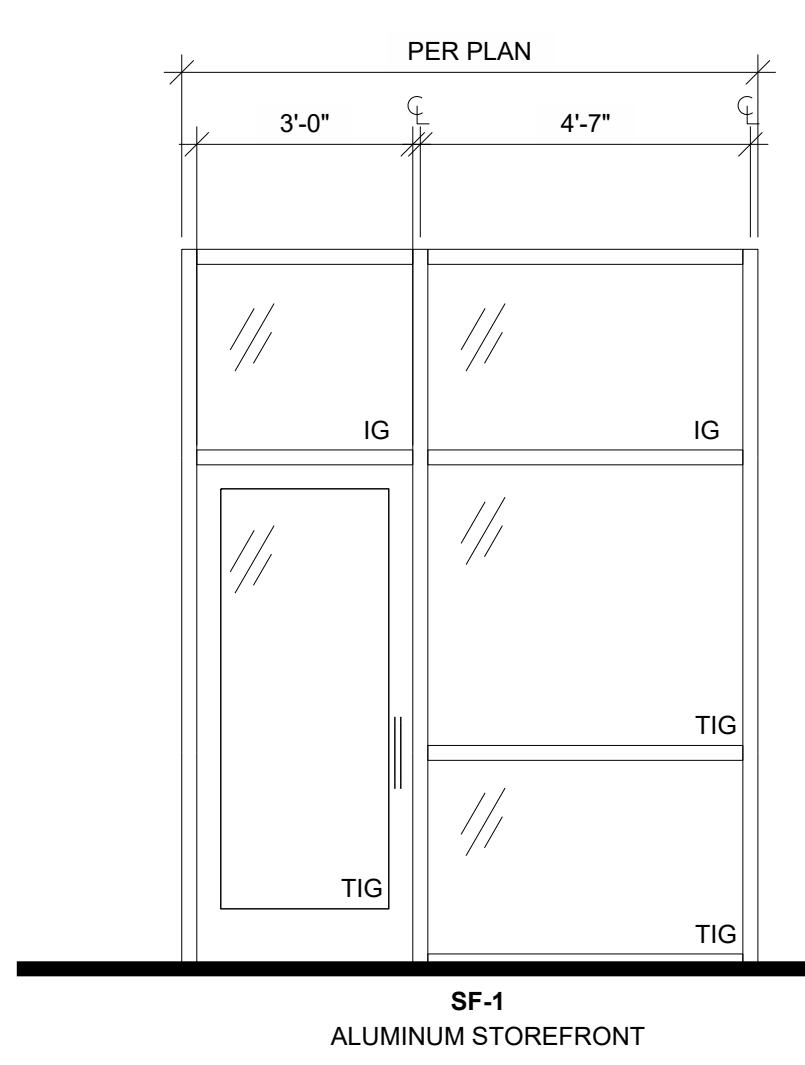
101. EXISTING MASONRY WALL, PAINT EXTERIOR PER EXTERIOR ELEVATIONS, TYP.
102. NOT USED
103. NOT USED
104. CANOPY DOWNSPOUT - CONNECT TO UNDERGROUND STORM SEWER.
105. NOT USED.
106. NEW ANODIZED ALUMINUM STOREFRONT SYSTEM IN NEW OPENING. REFER TO ELEVATIONS, PLANS AND STRUCTURAL DRAWINGS.
107. NEW ANODIZED ALUMINUM STOREFRONT SYSTEM IN EXISTING OPENING. REFER TO ELEVATIONS, PLANS AND STRUCTURAL DRAWINGS.
108. EXISTING DOCK DOOR TO BE LOCKED IN PLACE, UNUSED. COORDINATE ANY ADDITIONAL SCOPE OF WORK WITH TENANT CM.
109. NEW 9x10' DOCK DOOR AND EQUIPMENT IN EXISTING OPENING. COORDINATE REQUIRED OPENING SIZE WITH DOOR SCHEDULE.
110. ROLL-UP DOOR WITH HIGH SPEED FABRIC ROLL-UP DOOR. CLEAR ZONE DEMARCATED BY PAINTED RED STRIPING - SEE DETAIL A1/A6.12.
111. NEW 9x10' DOCK DOOR AND EQUIPMENT IN NEW OPENING. COORDINATE REQUIRED OPENING SIZE WITH DOOR SCHEDULE. REFER TO STRUCTURAL DRAWINGS.
112. EXISTING STOREFRONT SYSTEM TO REMAIN.
113. ROOF ACCESS LADDER, INCLUDING A RESTRAINT SYSTEM, INTERMEDIATE TRANSFER PLATFORM AND SAFETY CAGES AS REQUIRED BY OSHA. FABRICATOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALLATION.
114. METAL CANOPY OVER NEW DOCK DOOR LOCATIONS - SEE DETAIL ON SHEET A7.11
115. ROOF ACCESS HATCH ABOVE, SEE DETAIL 1/A7.10
116. A1 PHONE LOCATION.



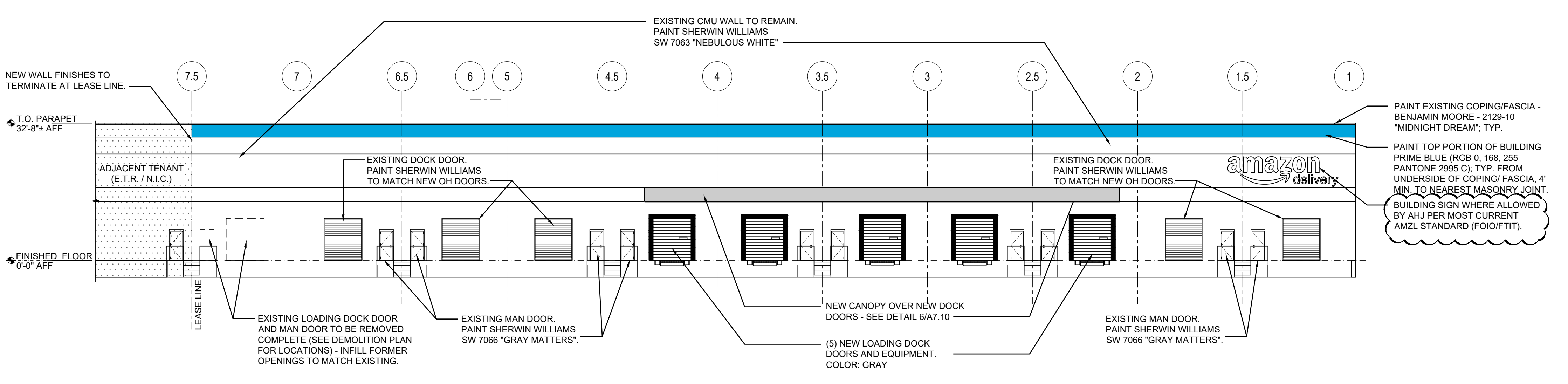
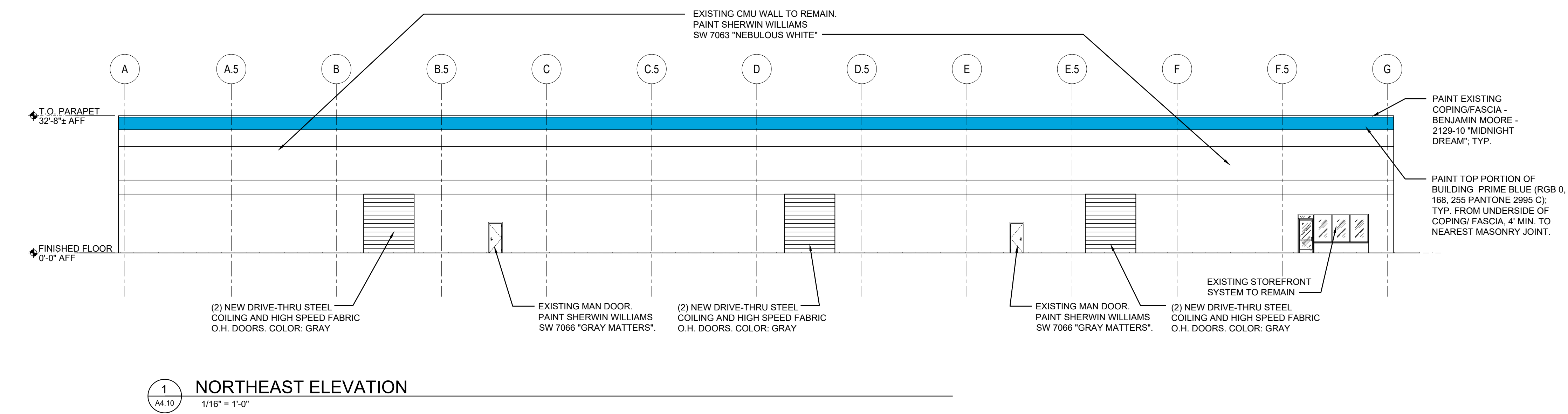
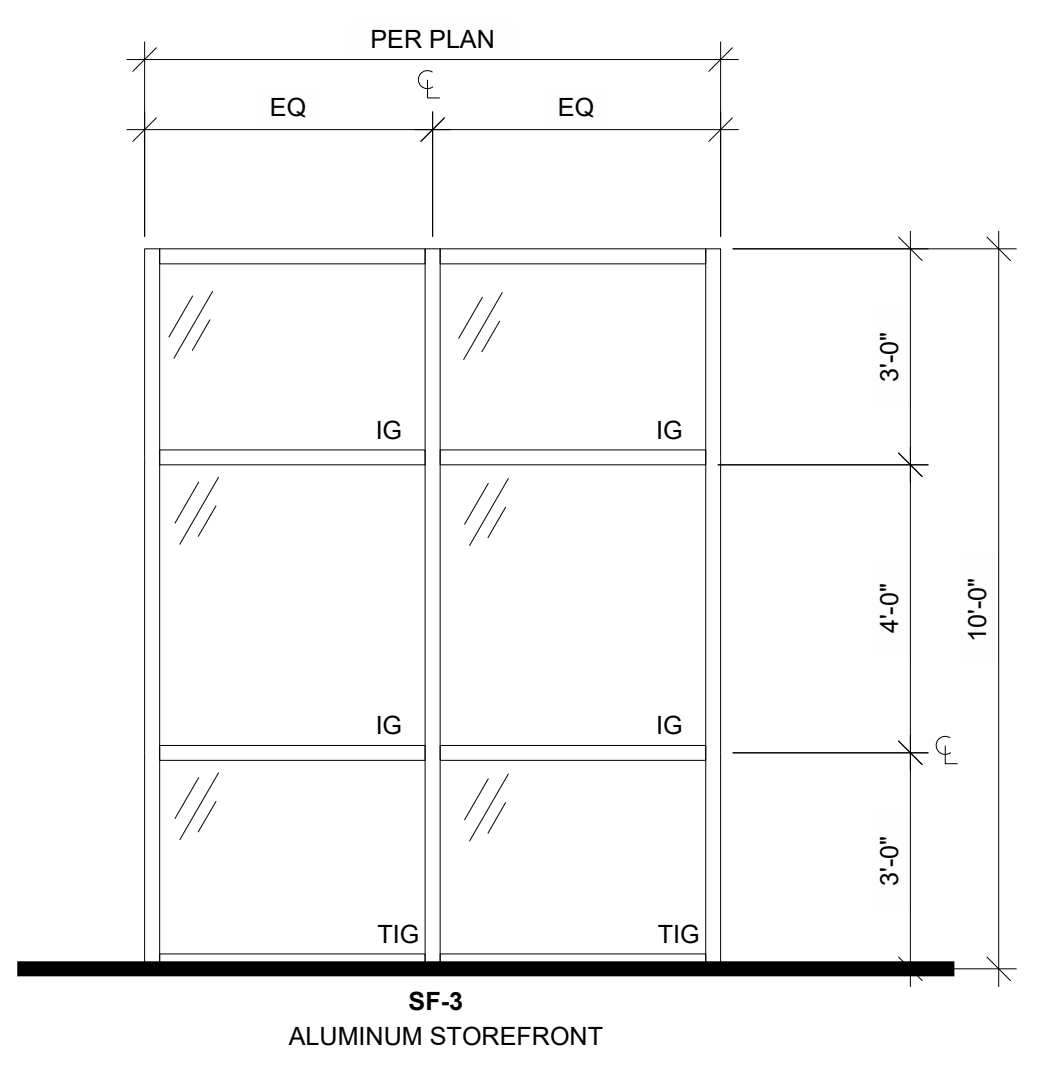
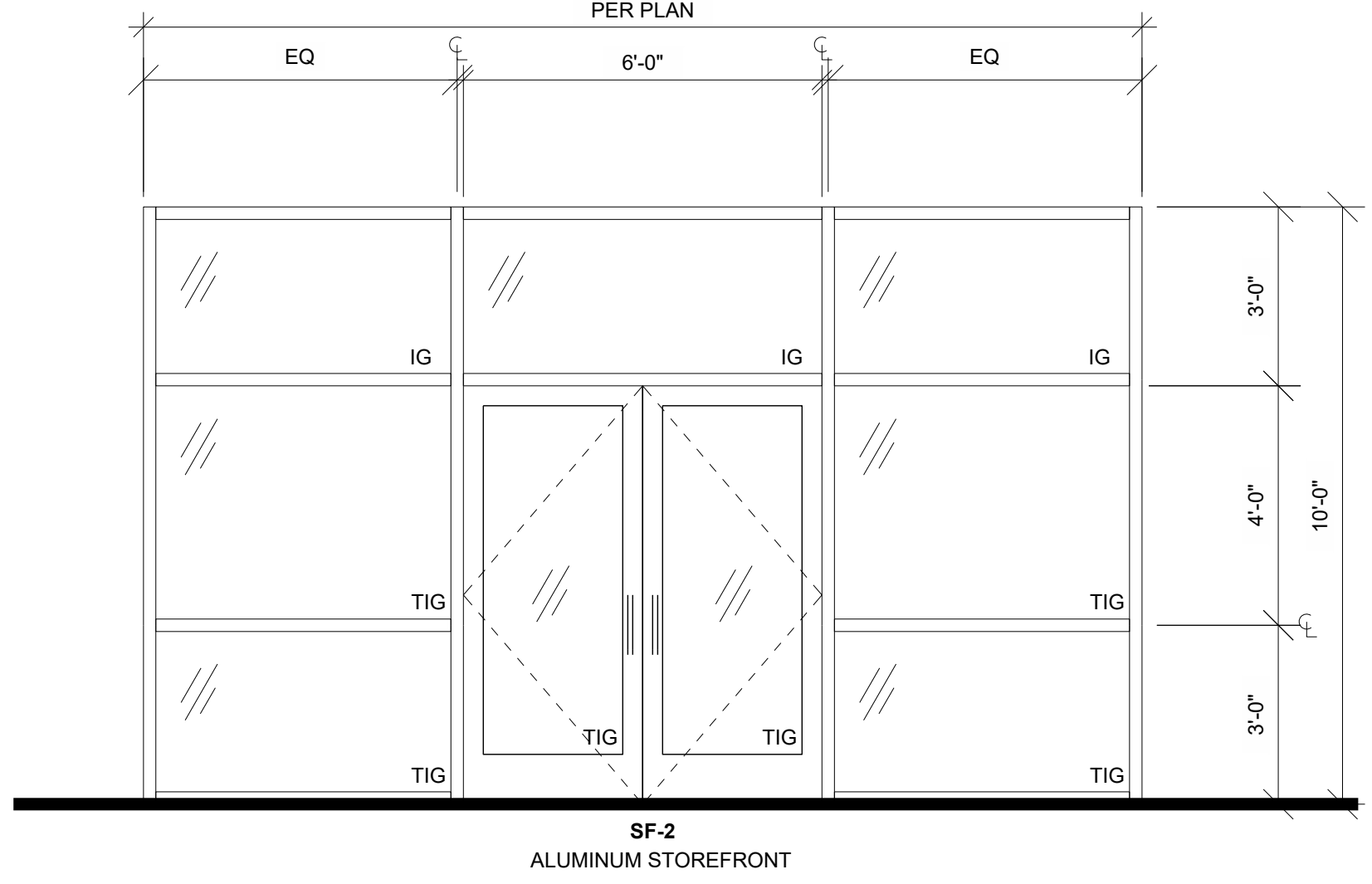
**A** ENLARGED ELEVATION - AMAZON HUB  
1/4" = 1'-0"



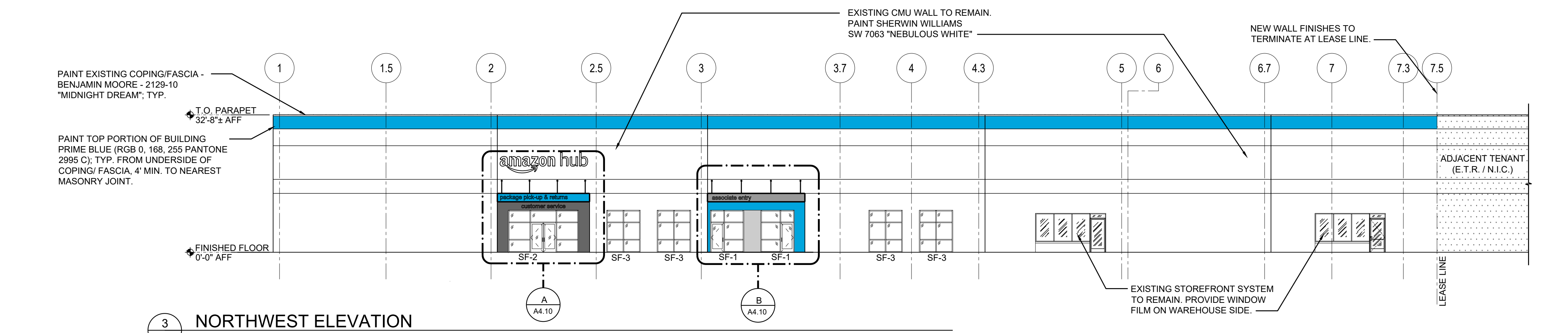
**B** ENLARGED ELEVATION - ASSOCIATE ENTRY  
1/4" = 1'-0"



**4** STOREFRONT ELEVATIONS  
3/8" = 1'-0"



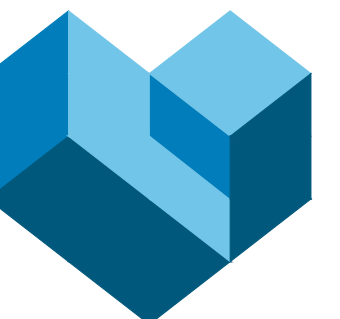
**2** SOUTHEAST ELEVATION  
1/16" = 1'-0"



**3** NORTHWEST ELEVATION  
1/16" = 1'-0"

- GENERAL NOTES**
- IG INDICATES INSULATED GLAZING. ALL STOREFRONT GLAZING TO BE IG TYPE, U.N.O.
  - TG INDICATES TEMPERED GLAZING, TYP.
  - TIG INDICATES TEMPERED, INSULATED GLAZING, TYP.; VERIFY WITH AHJ FOR SITE REQUIREMENT FOR TIG. BEFORE IMPLEMENTING.
  - ALL FIXED INSULATED GLAZING SHALL BE CERTIFIED & LABELED WITH ITS MAX. U-FACTOR OF & SOLAR HEAT GAIN COEFFICIENT BY AN INDEPENDENT AGENCY LICENSED BY THE NFRC, IN COMPLIANCE WITH THE VALUES LISTED ON SHEET CS.
  - PROVIDE AND COORDINATE "KNOXBOX" LOCATION WITH FIRE DEPARTMENT AND ARCHITECT PRIOR TO INSTALL.
  - ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR, U.N.O.
  - NEW ANODIZED ALUMINUM STOREFRONT FINISH TO MATCH EXISTING STOREFRONT FINISH.
  - FINISHES INDICATED HEREIN FOR 400 ORITANI DR. BUILDING SHALL ALSO BE PROVIDED AT 200 ORITANI DR. BUILDING, UNLESS OTHERWISE DIRECTED BY AMAZON CM.





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Date: 02.18.2020  
03.19.2020

Revisions/Submissions  
ISSUED FOR BIDDING / PERMIT  
REVISION NO. 1

No. 1

ARCHITECT OF RECORD  
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ARCHITECT OF RECORD  
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**DELIVERY STATION - DXY4**  
EXTERIOR IMPROVEMENTS  
400 ORITANI DRIVE  
ORANGETOWN, NY

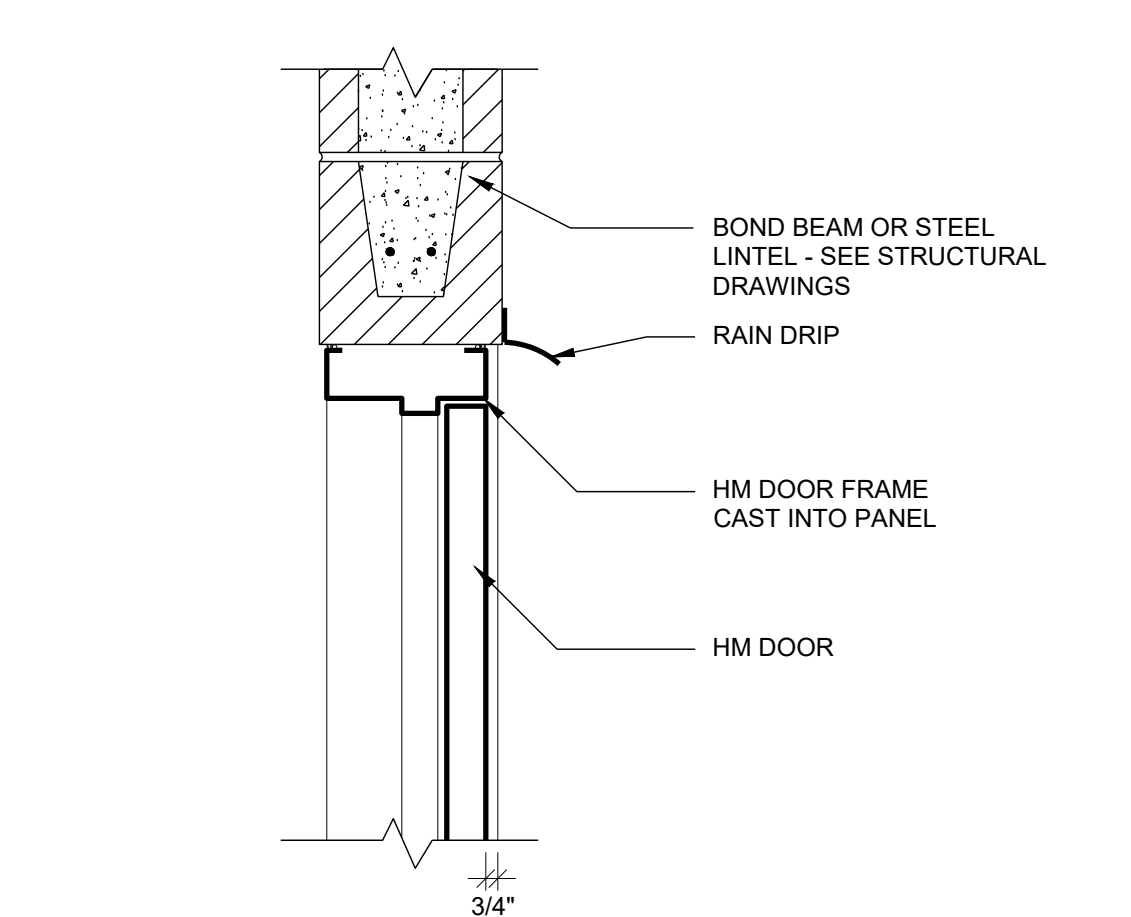
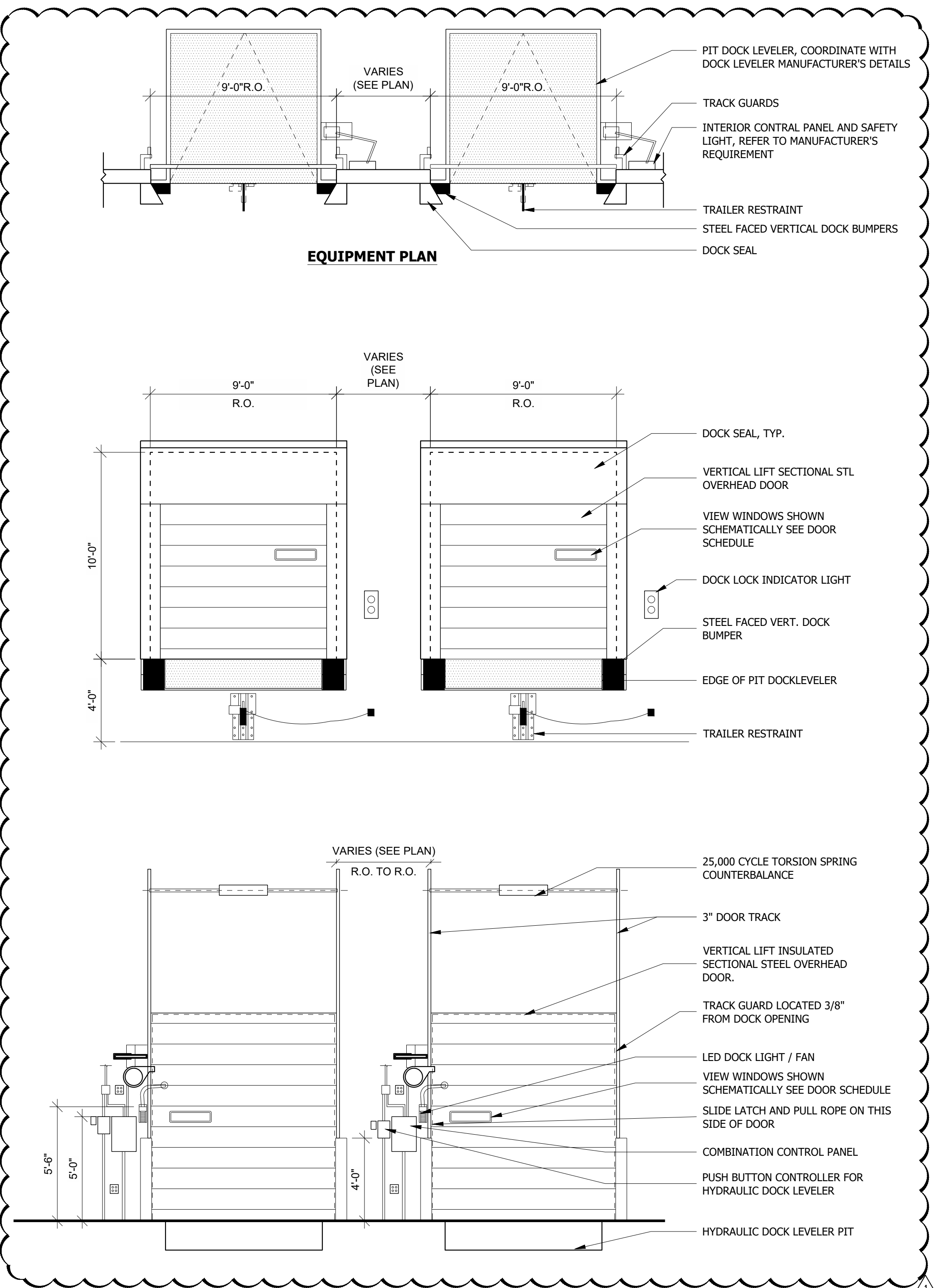


Project No. 757184-01  
Scale: AS NOTED  
Drawn: JO  
Checked: SCU  
Date: 02.18.2020

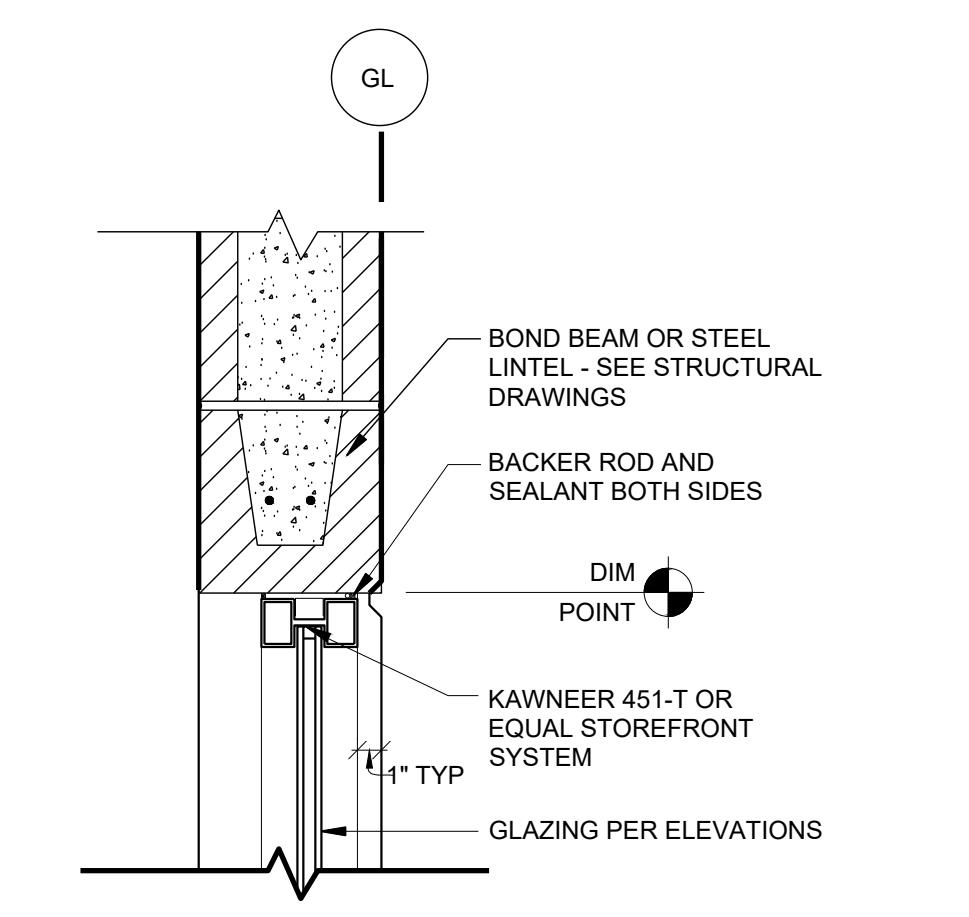
Drawing Title

**STOREFRONT & DOOR DETAILS**

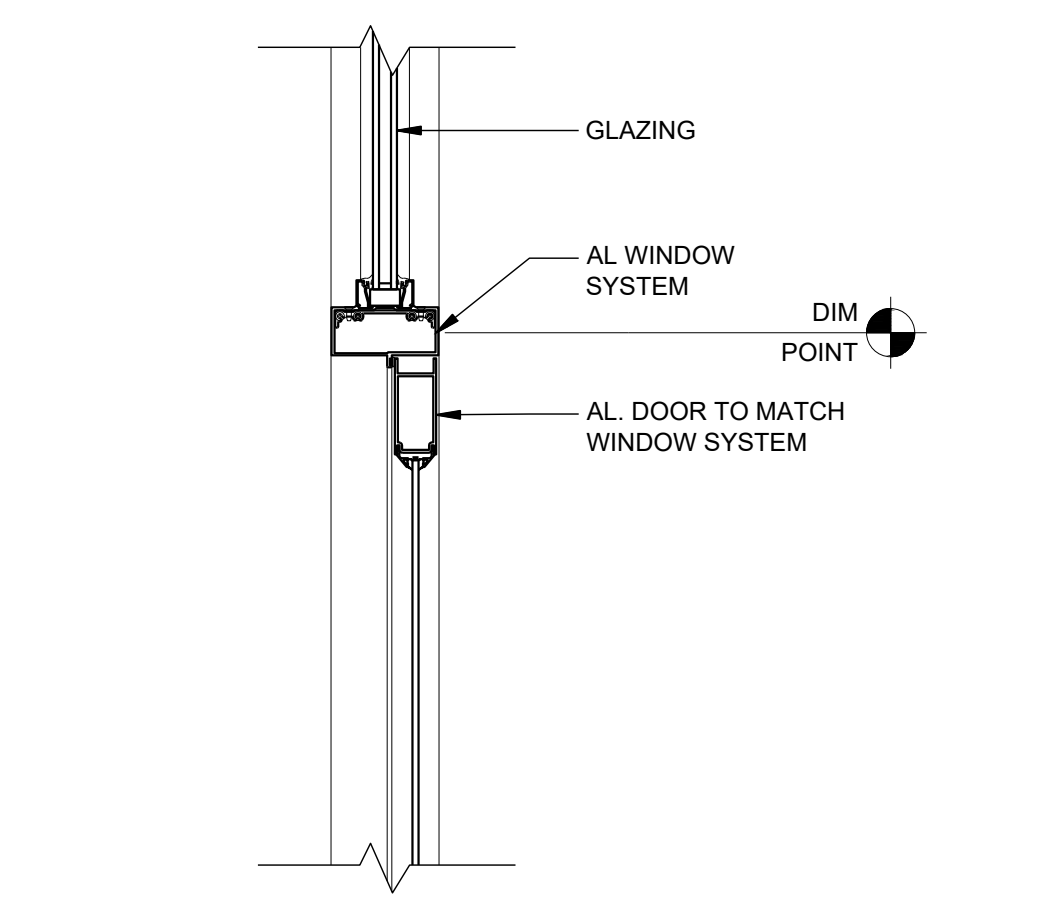
Drawing No. **A6.11**



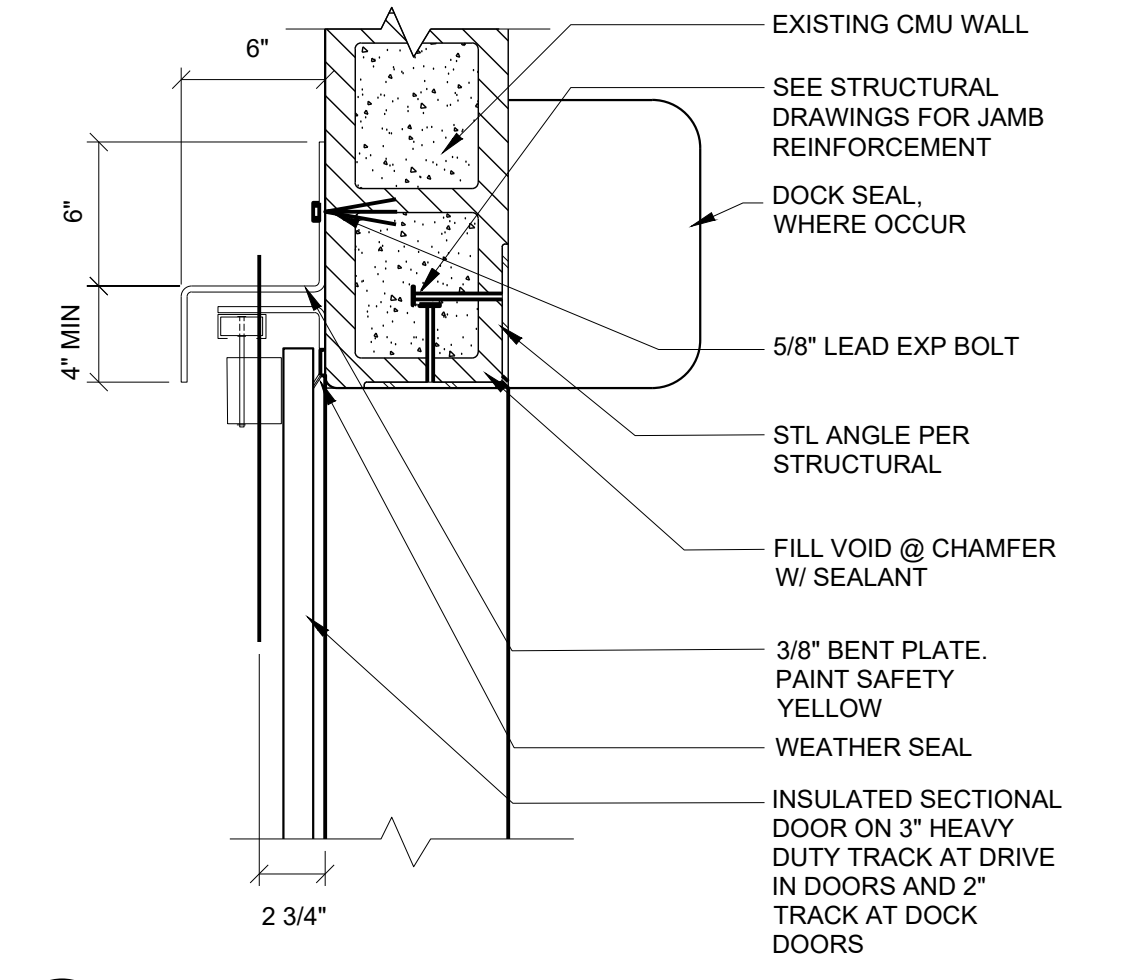
**1 TYP. HM DOOR HEAD**  
1 1/2" = 1'-0"



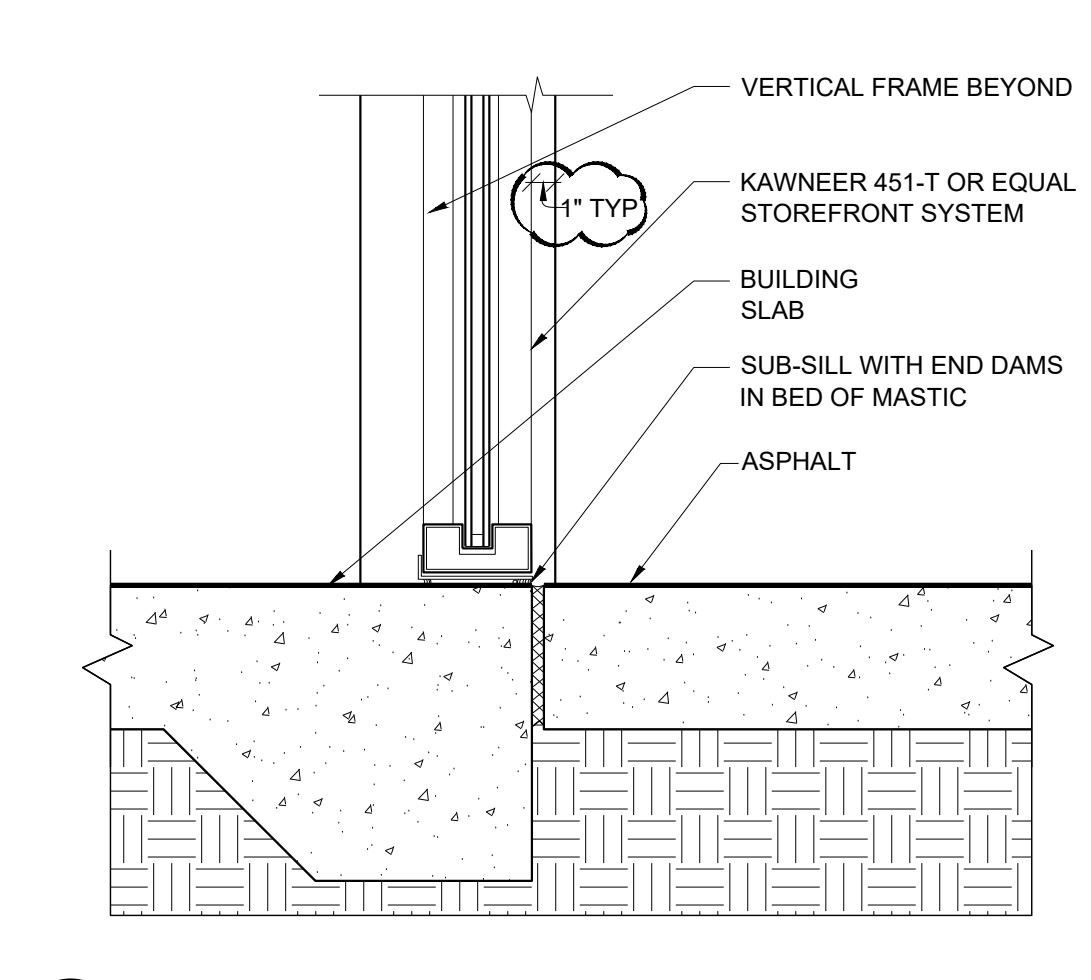
**2 STOREFRONT HEAD**  
1 1/2" = 1'-0"



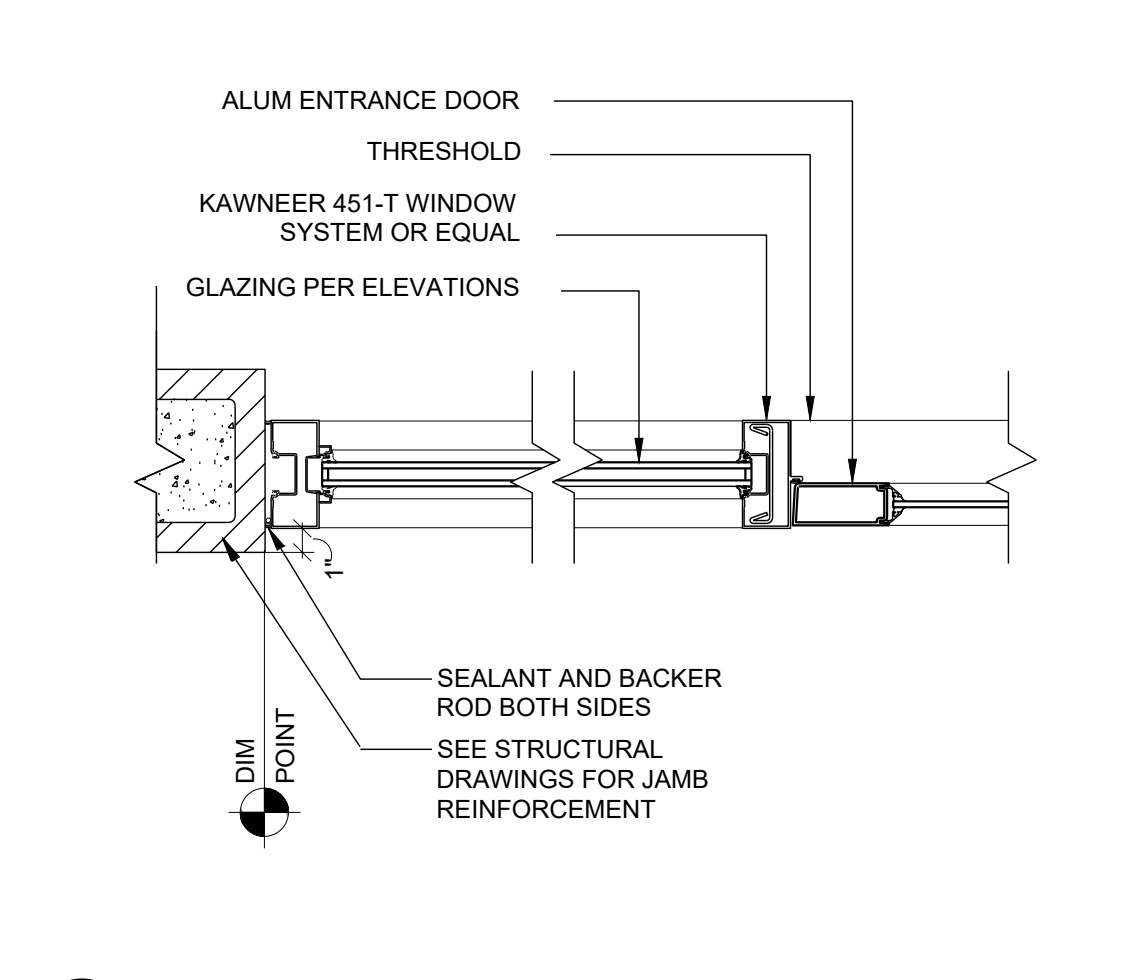
**3 ALUM. STOREFRONT HEAD**  
1 1/2" = 1'-0"



**7 SECTIONAL DOOR JAMB**  
1 1/2" = 1'-0"

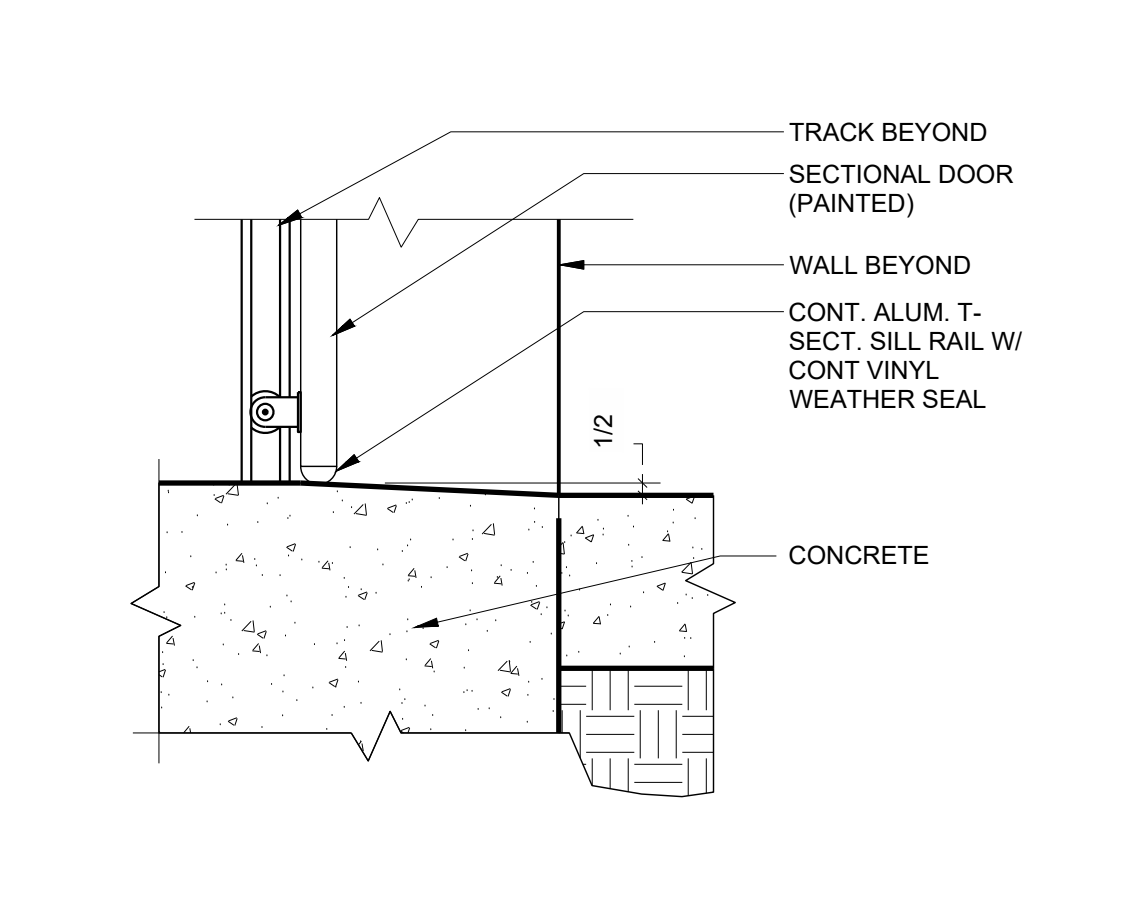


**8 ALUM. STOREFRONT SILL**  
1 1/2" = 1'-0"

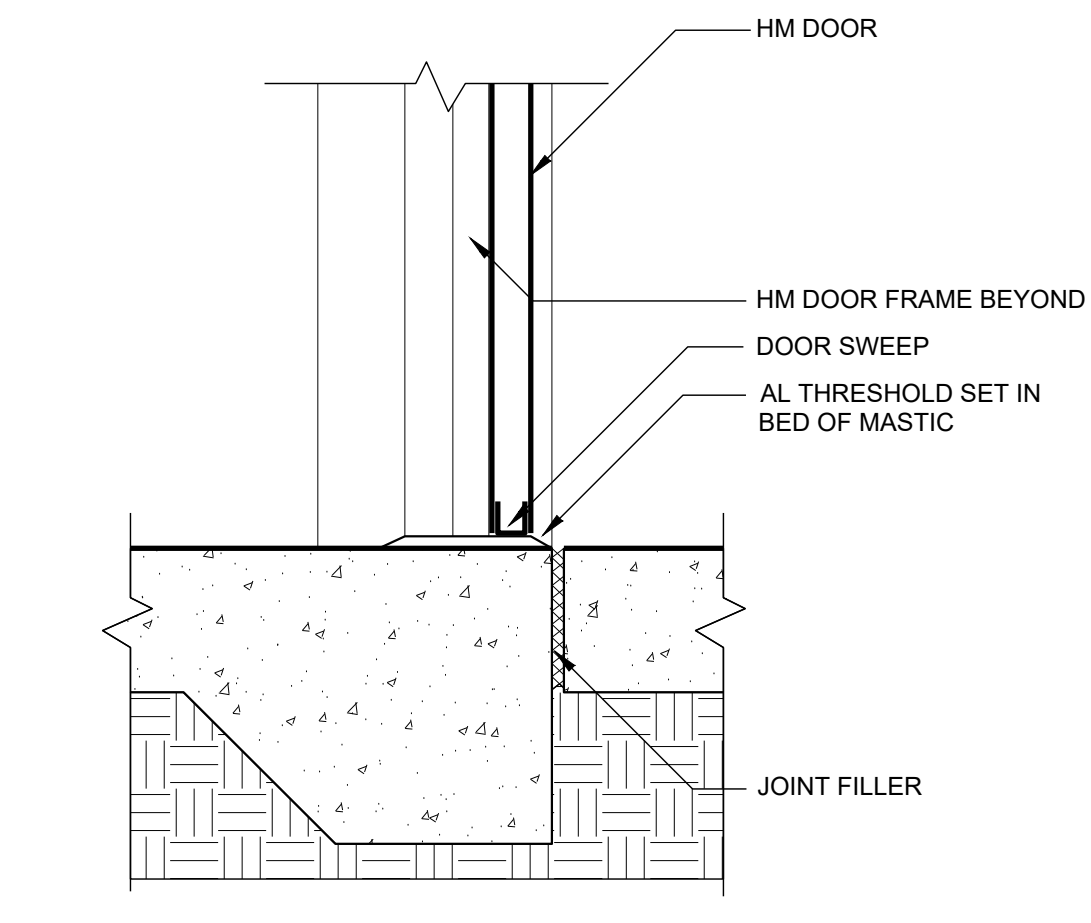


**9 ALUM. STOREFRONT JAMB**  
1 1/2" = 1'-0"

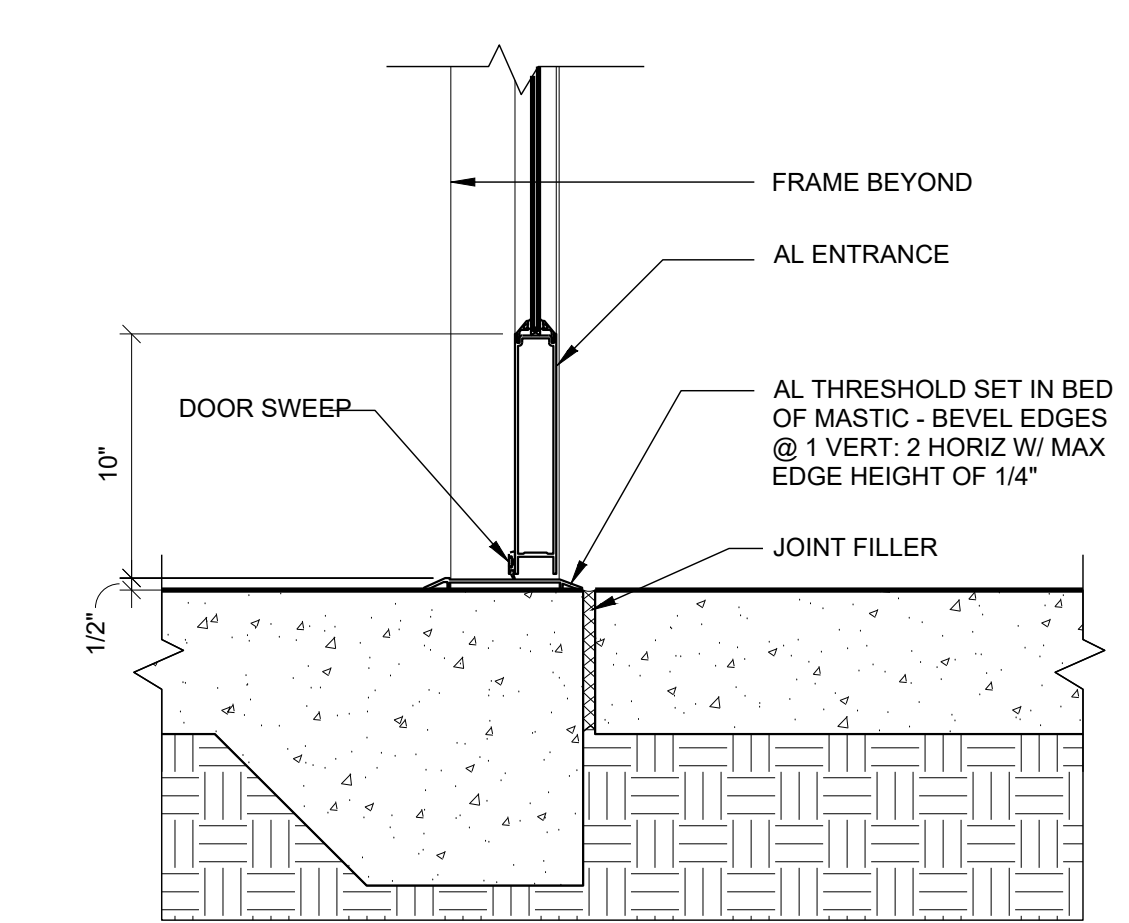
**10 NOT USED**  
1 1/2" = 1'-0"



**13 SILL @ O.H. DOOR**  
1 1/2" = 1'-0"



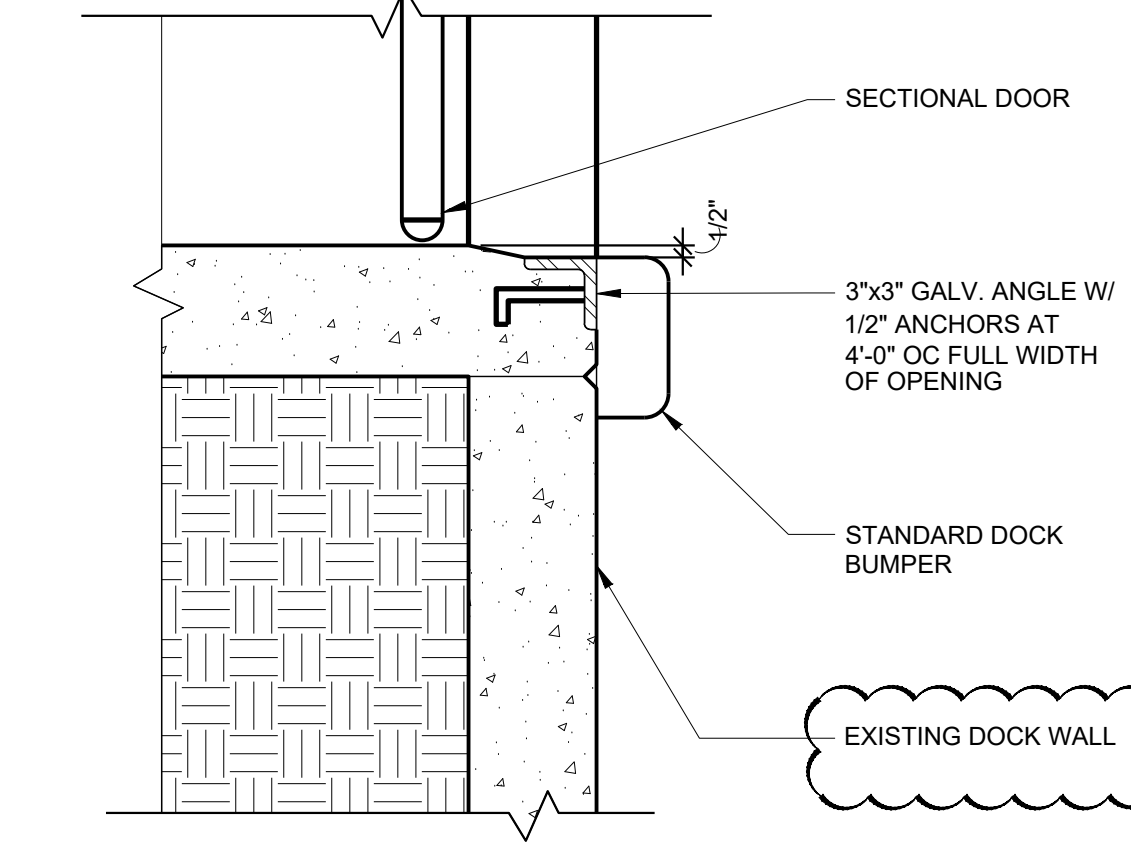
**14 TYP. HM DOOR SILL**  
1 1/2" = 1'-0"



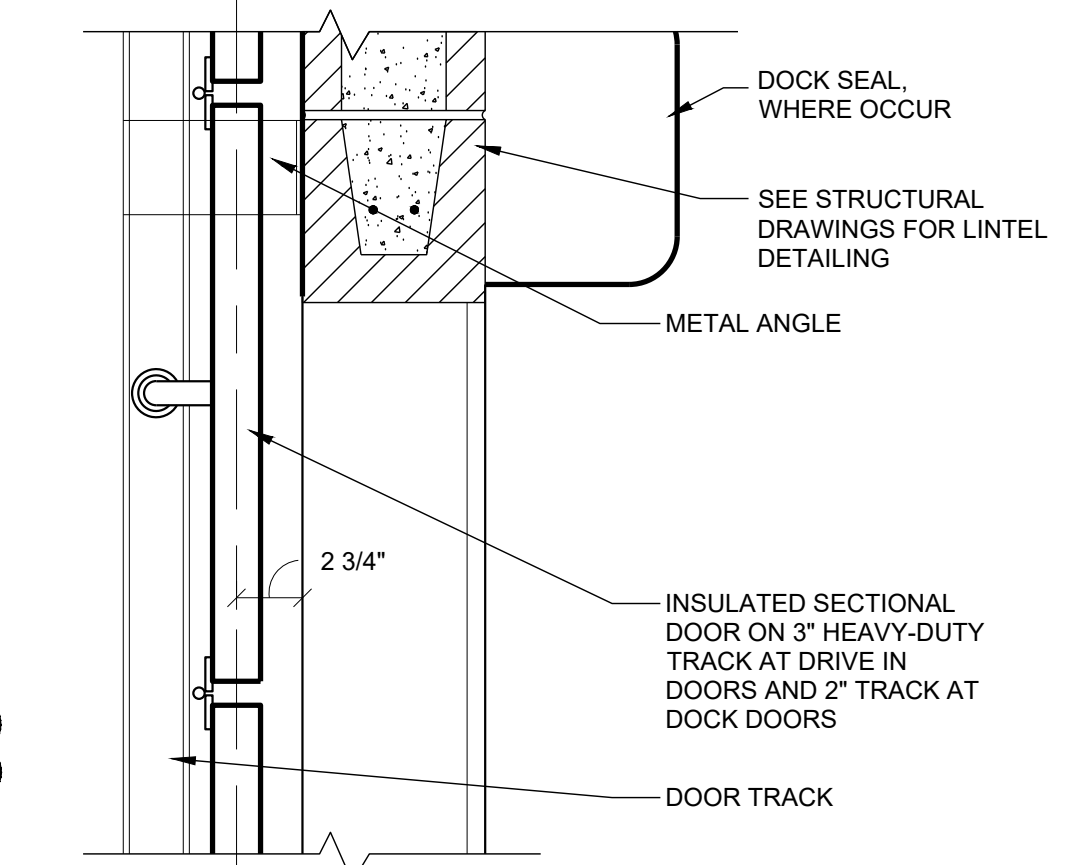
**15 ALUM. STOREFRONT DOOR SILL**  
1 1/2" = 1'-0"

**16 NOT USED**  
1 1/2" = 1'-0"

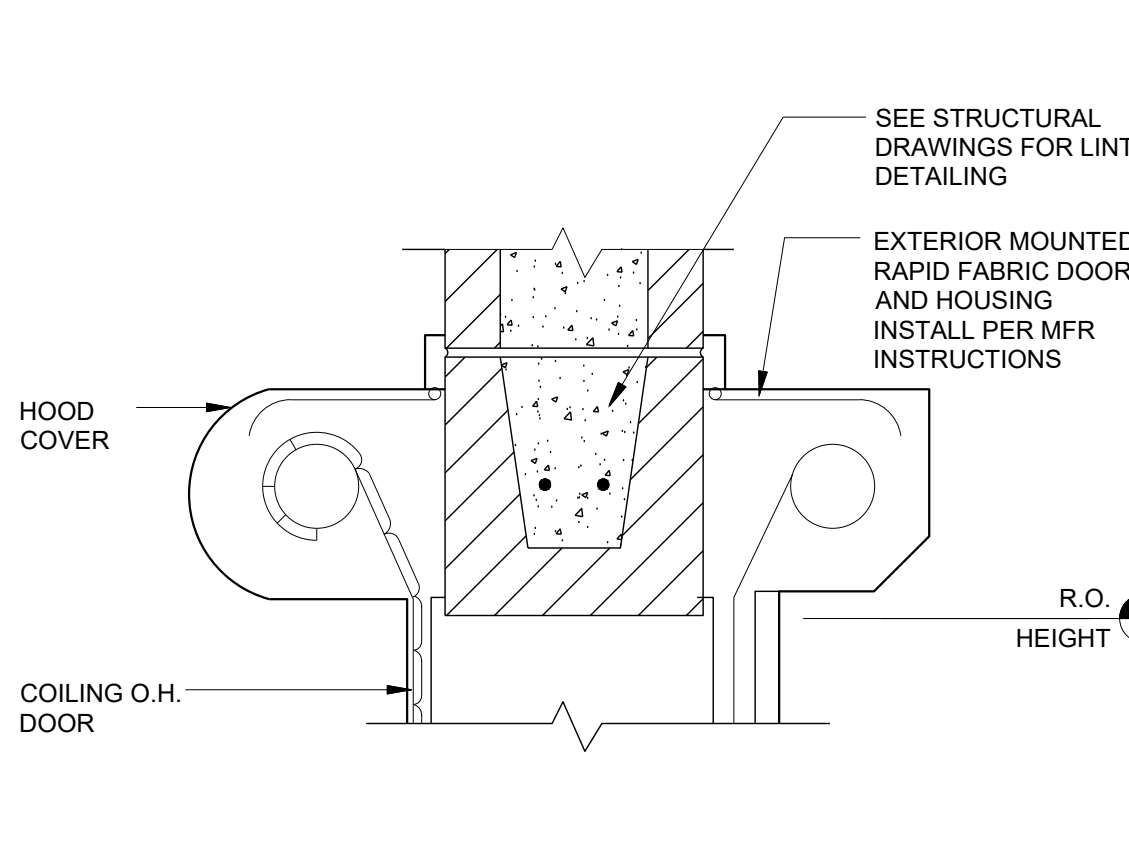
**17 OVERHEAD DOOR AND RELATED EQUIPMENT**  
1/4" = 1'-0"



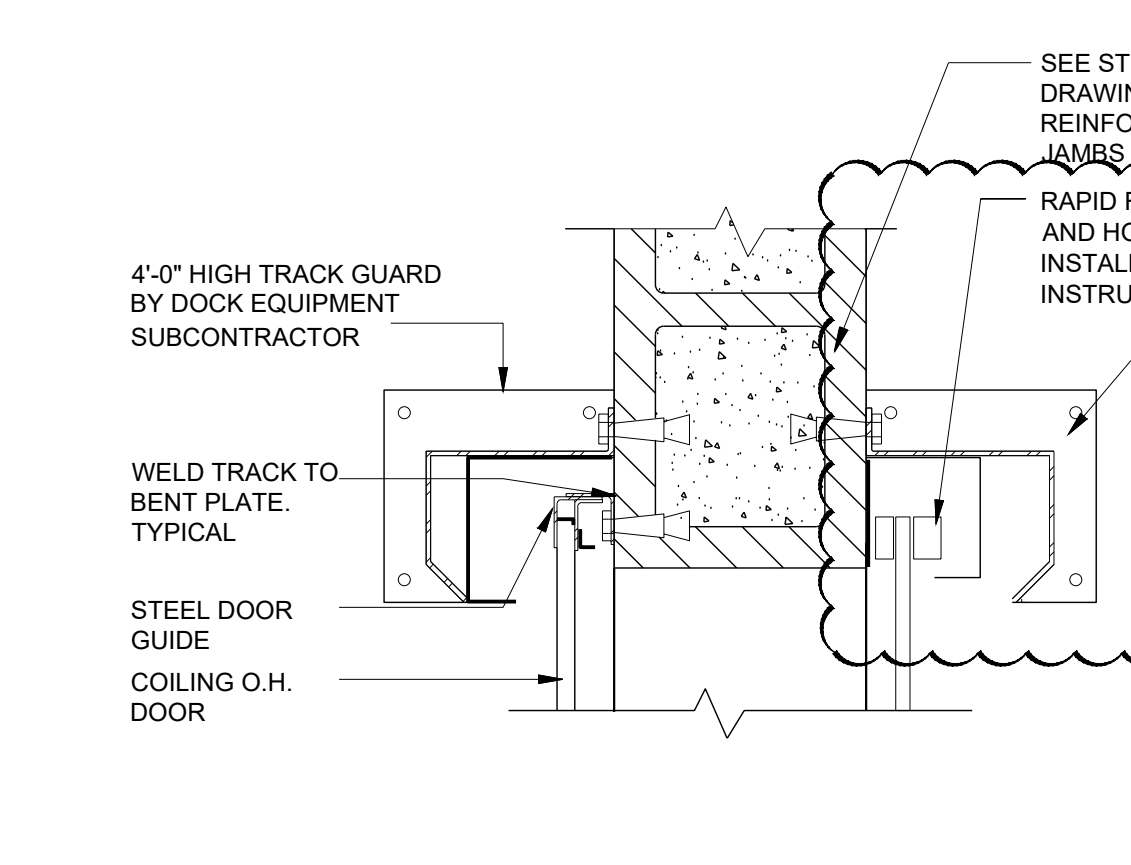
**19 CONCRETE DOCK EDGE**  
1 1/2" = 1'-0"



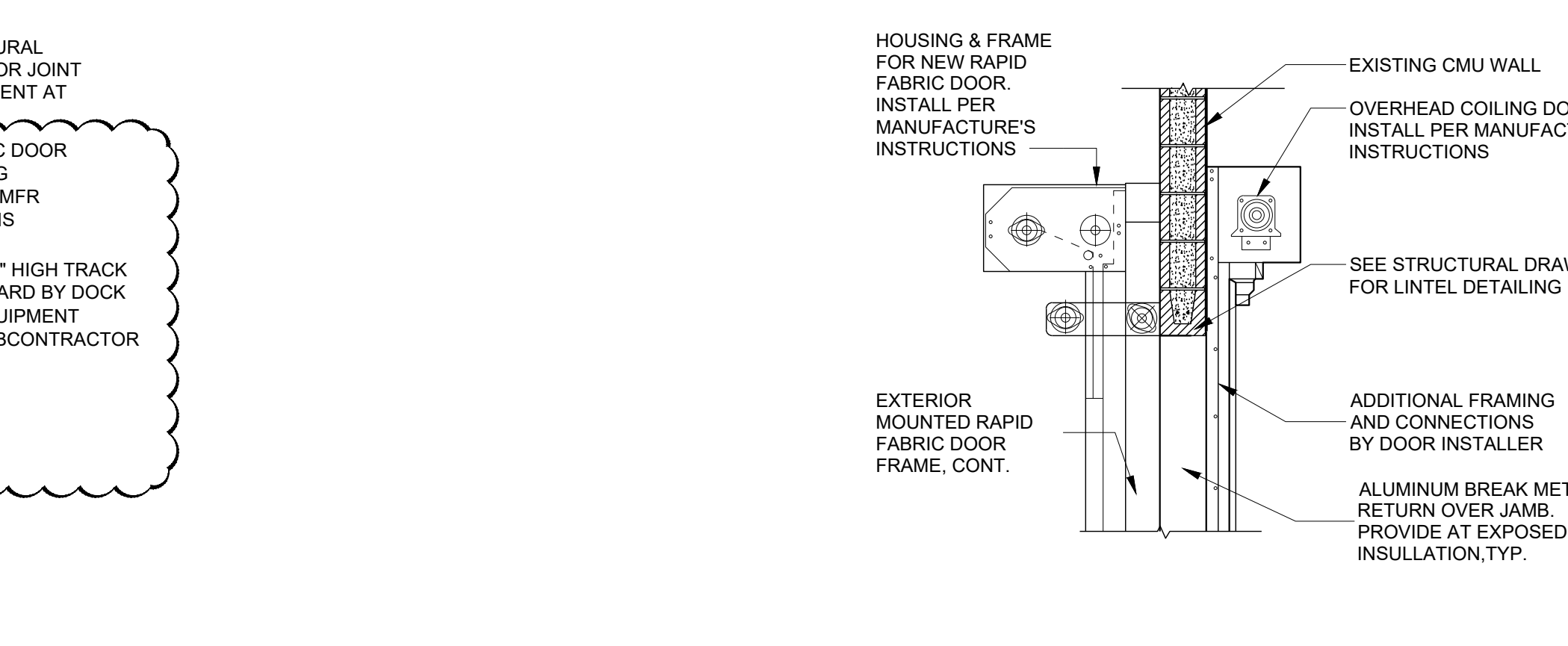
**20 SECTIONAL DOOR HEAD**  
1 1/2" = 1'-0"



**21 HEAD @ COILING O.H. DOOR (H6)**  
1 1/2" = 1'-0"



**22 JAMB @ COILING O.H. DOOR (J6)**  
1 1/2" = 1'-0"



**24 FABRIC OVERHEAD DOOR HEAD**  
1/2" = 1'-0"



Date	02/18/2020
Revision/Description	06/07/2020
No.	1
Issued For Bidding / Permit	REVISION NO. 2

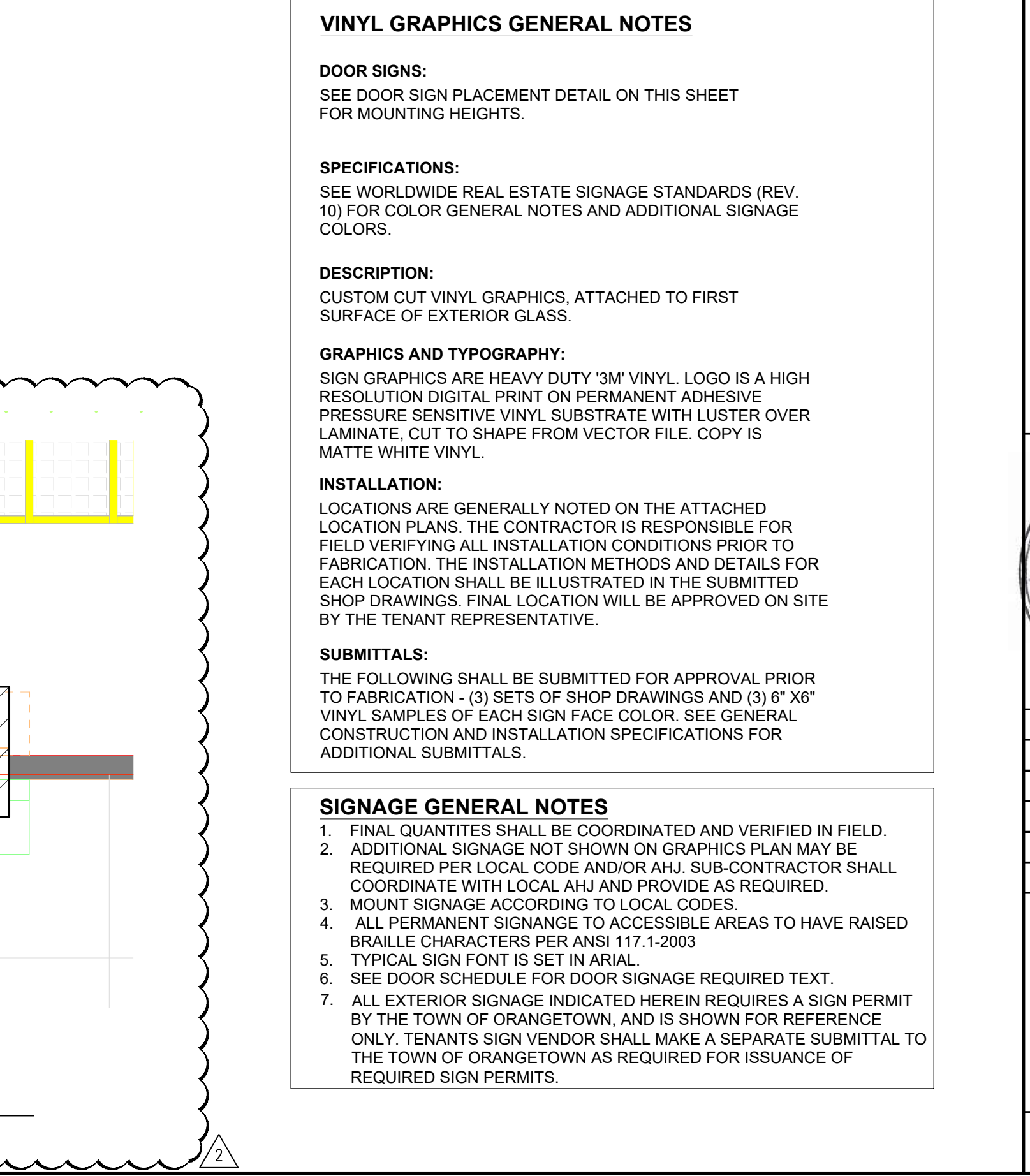
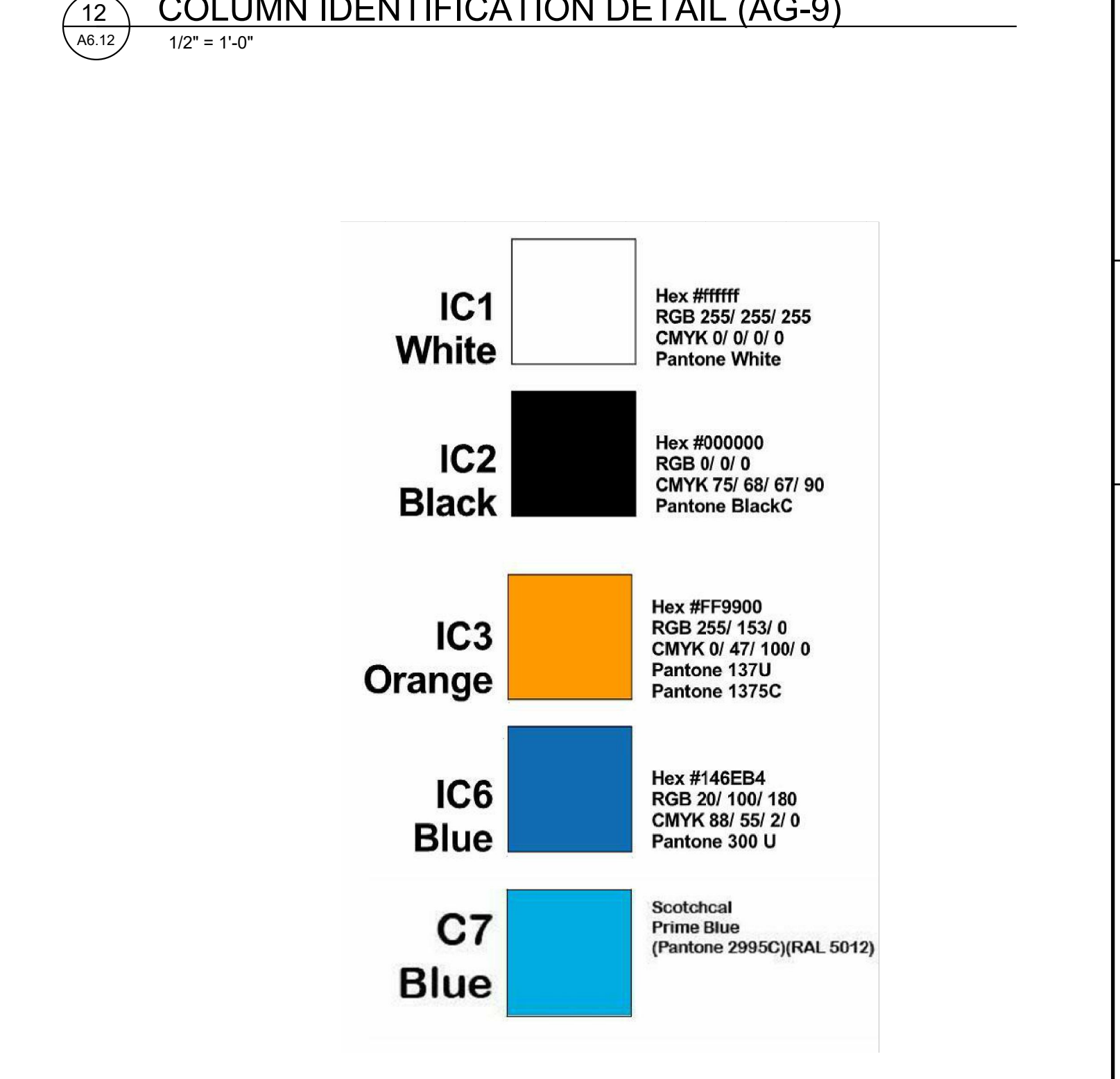
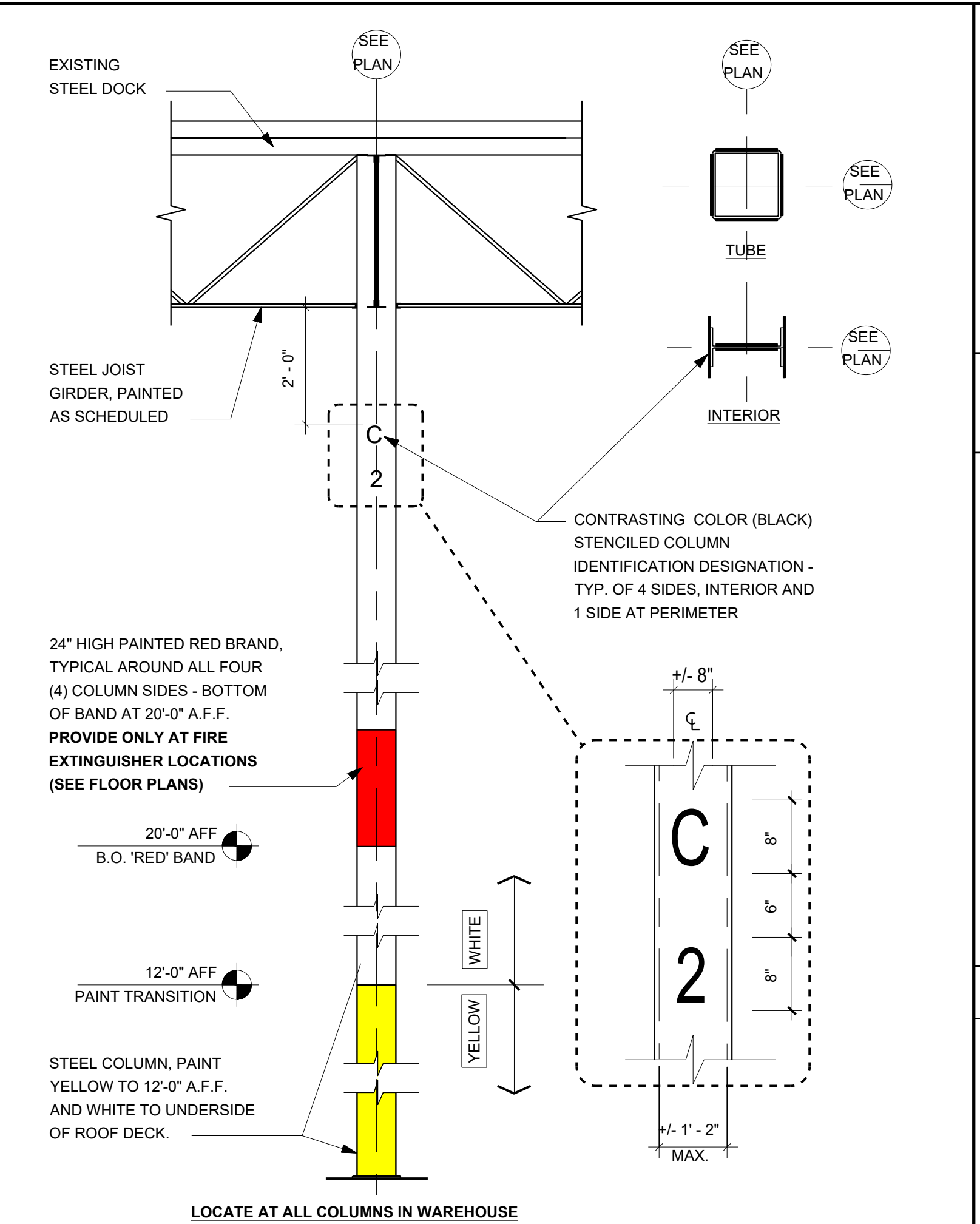
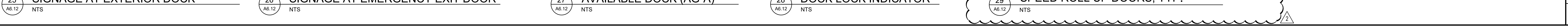
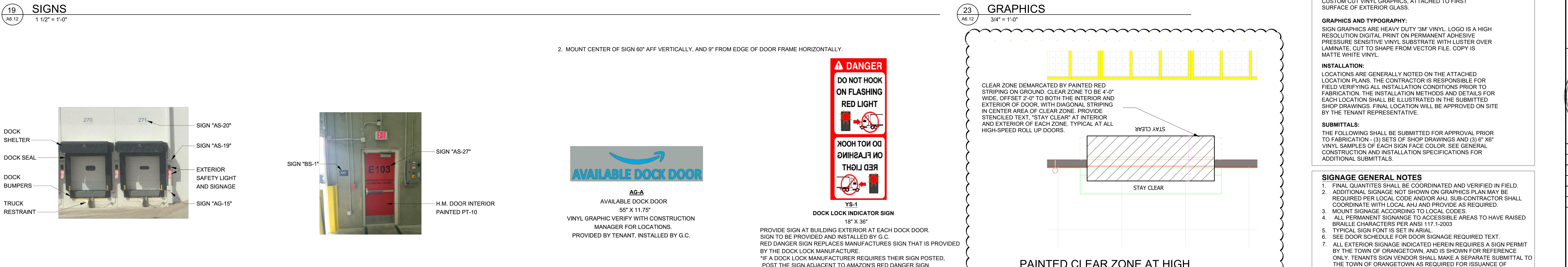
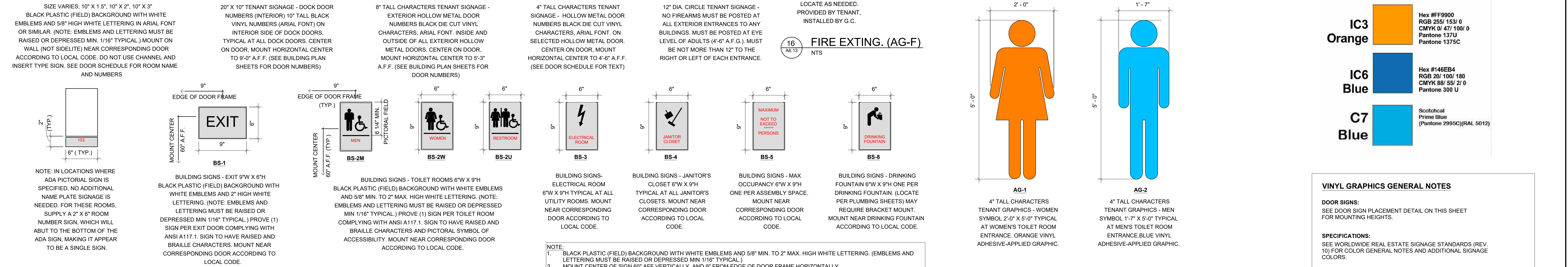
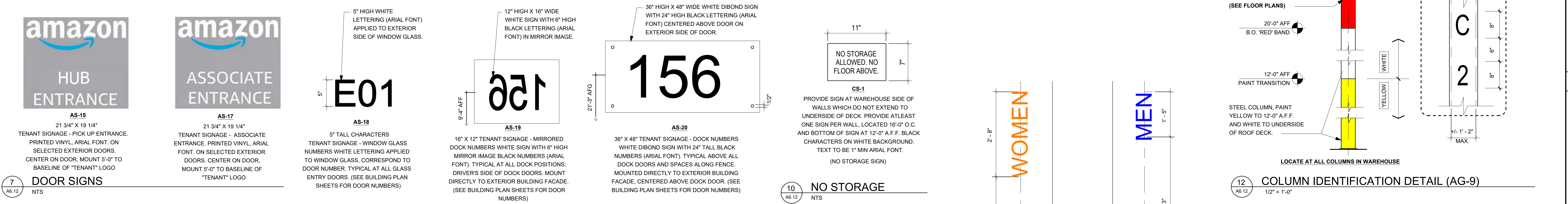
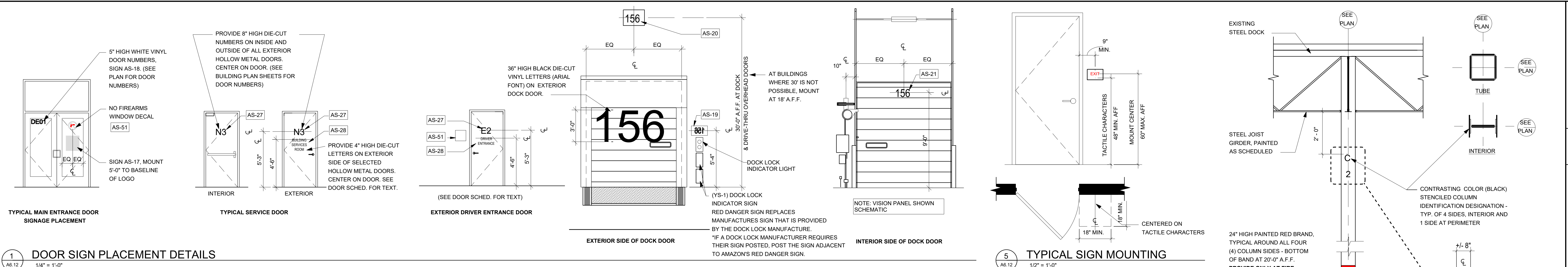
Architect of Record	BENJAMIN T. BELL, AIA 1305 SE INCLINE RD. SUITE 1 BENTONVILLE, AR 72712 PHONE: (479) 271-8058 FAX: (888) 208-4856
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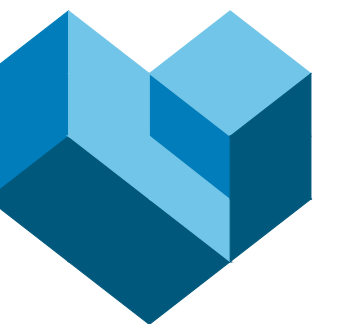
Project No.	757184-01
Scale	AS NOTED
Drawn	JO
Checked	SCU
Date	02.18.2020

**DELIVERY STATION - DXY4**  
EXTERIOR IMPROVEMENTS  
400 ORITANI DRIVE  
ORANGETOWN, NY

**DELIVERED THROUGH**  
ORANGETOWN, NY

**BUILDING SIGNAGE & GRAPHICS DETAILS**  
A6.12





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03.19.2020	REVISION NO. 1
05.07.2020	REVISION NO. 2

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**DELIVERY STATION - DXY4**  
EXTERIOR IMPROVEMENTS  
400 ORITANI DRIVE  
ORANGETOWN, NY

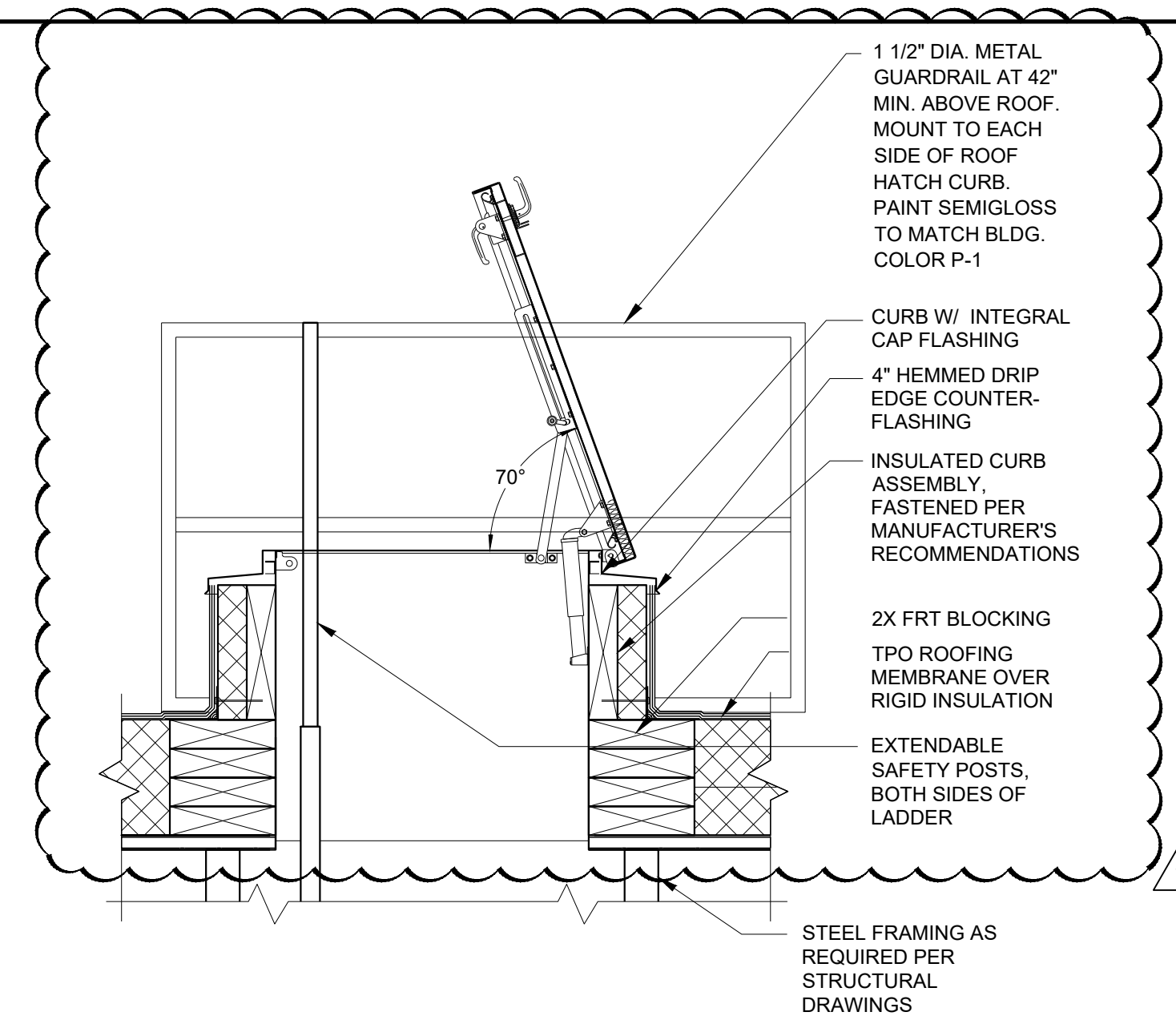


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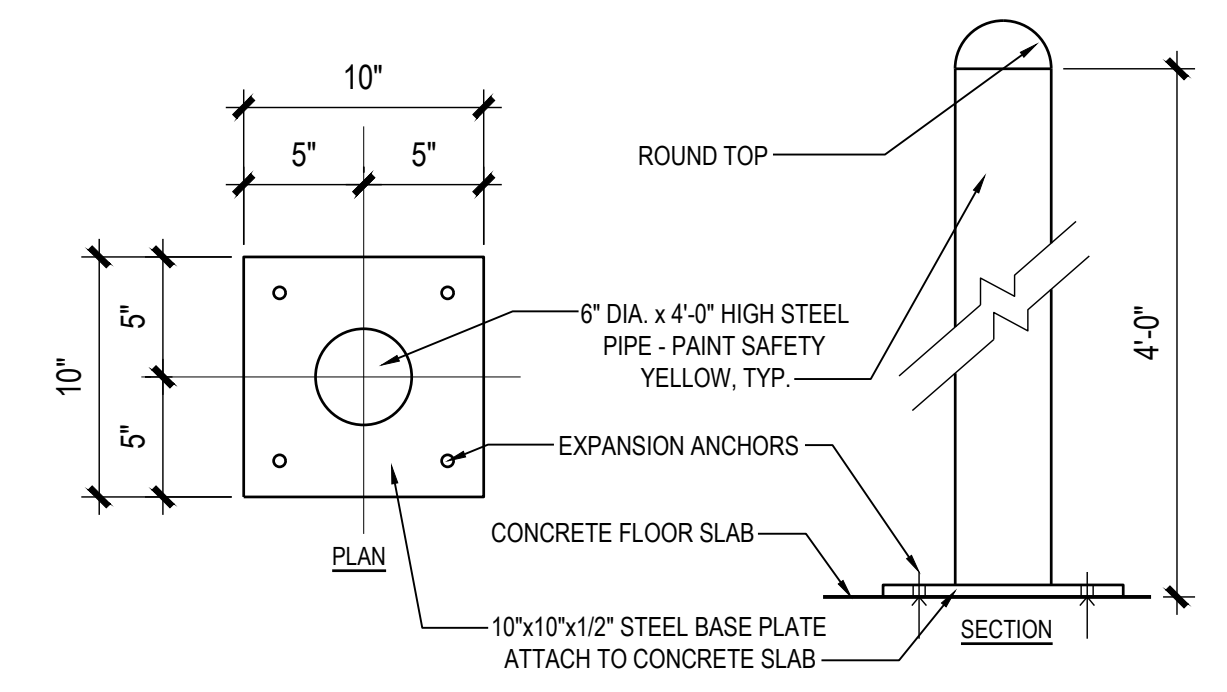
Drawing Title

**SHELL DETAILS**

Drawing No. **A7.10**



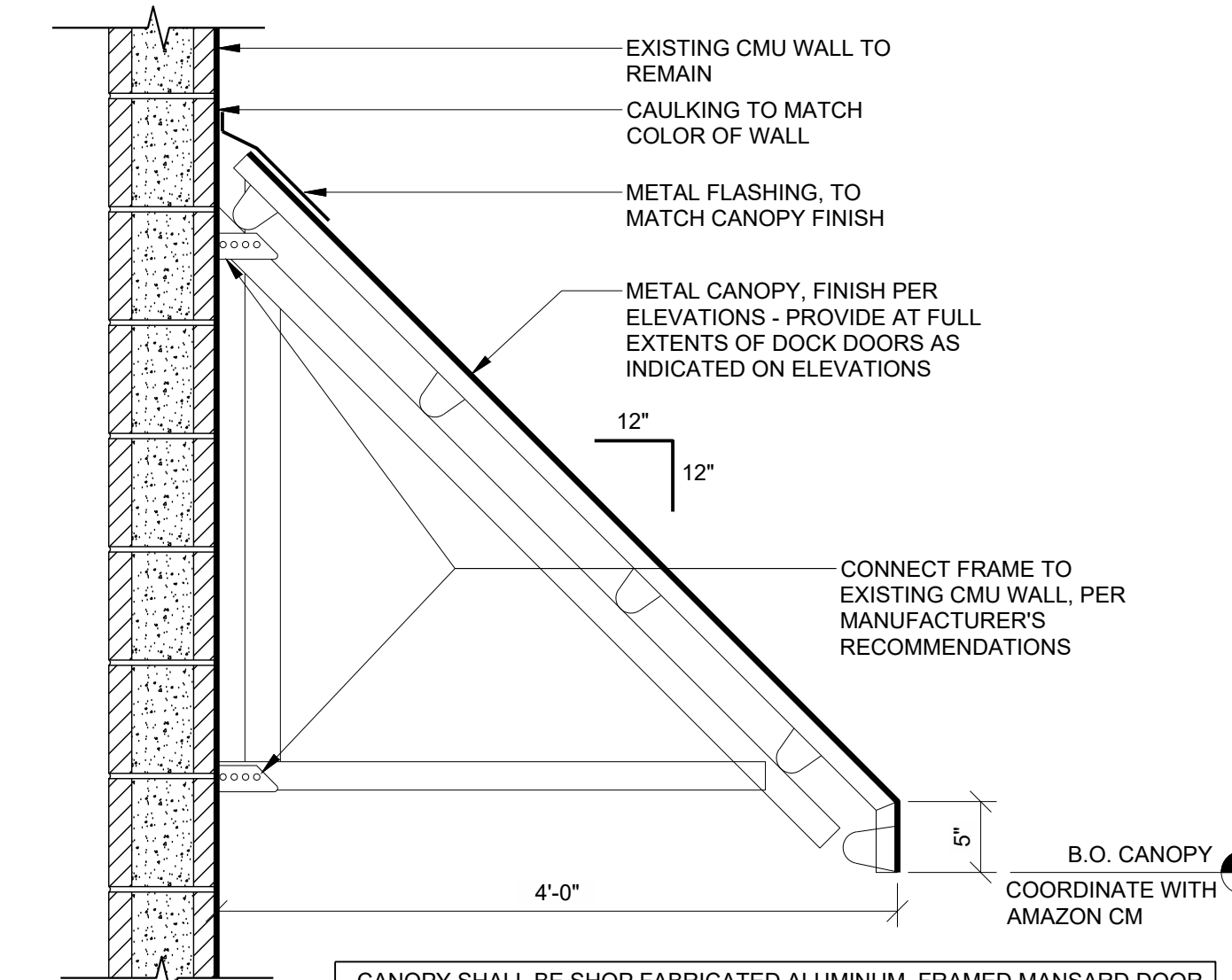
1 TYP. ROOF HATCH  
1 1/2" = 1'-0"



NOTES:

- TO BE COORDINATED WITH TENANT STARTUP FOR LOCATIONS AND QUANTITIES
- BOLLARDS SHALL BE EQUAL TO HEARTLAND ENGINEERED PRODUCTS B4HD-6" HEAVY DUTY BOLT-DOWN BOLLARD. ANCHOR TO CONCRETE SLAB WITH MANUFACTURER PROVIDED ANCHORS.

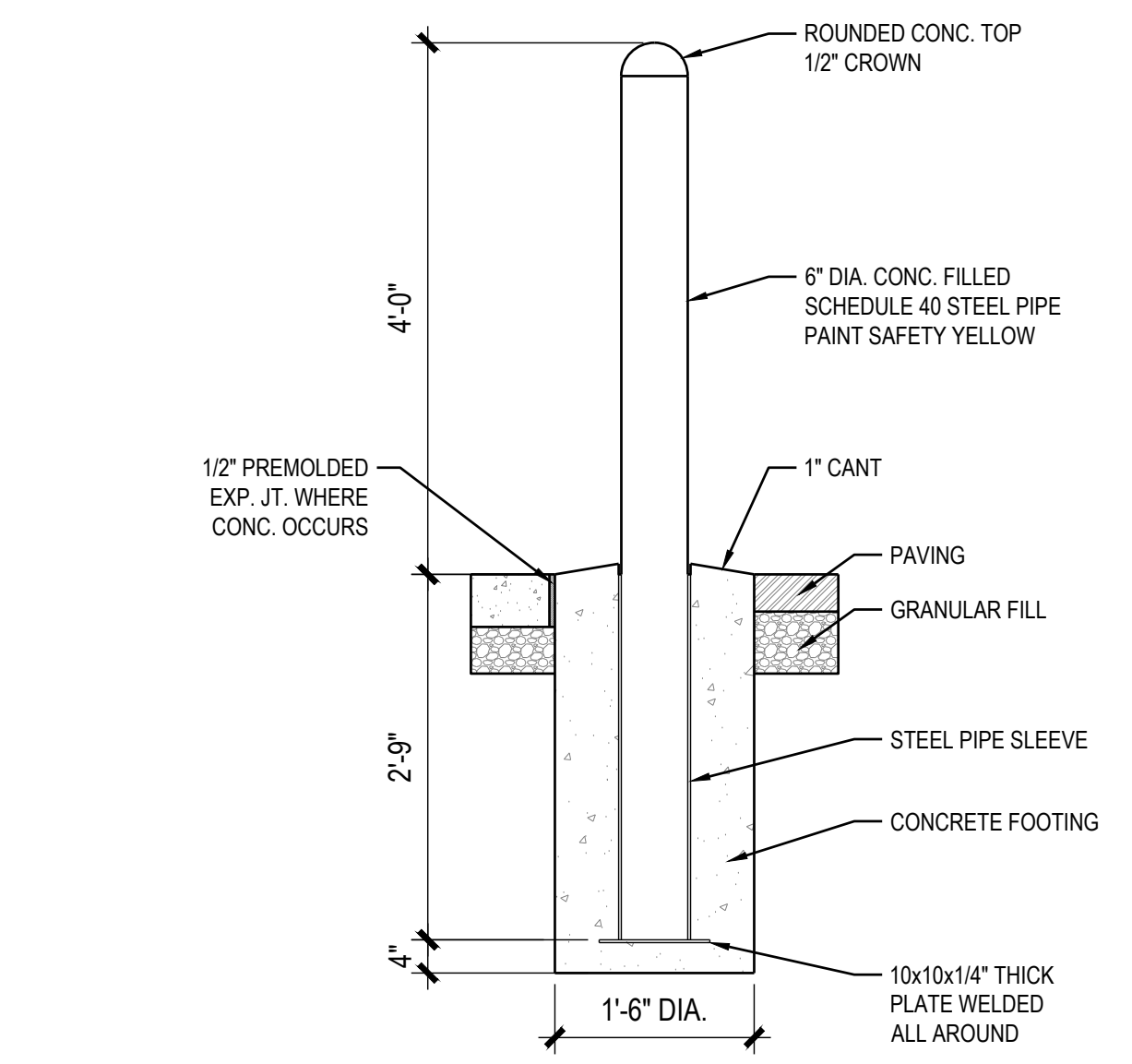
2 SURFACE MOUNTED BOLLARD  
1 1/2" = 1'-0"



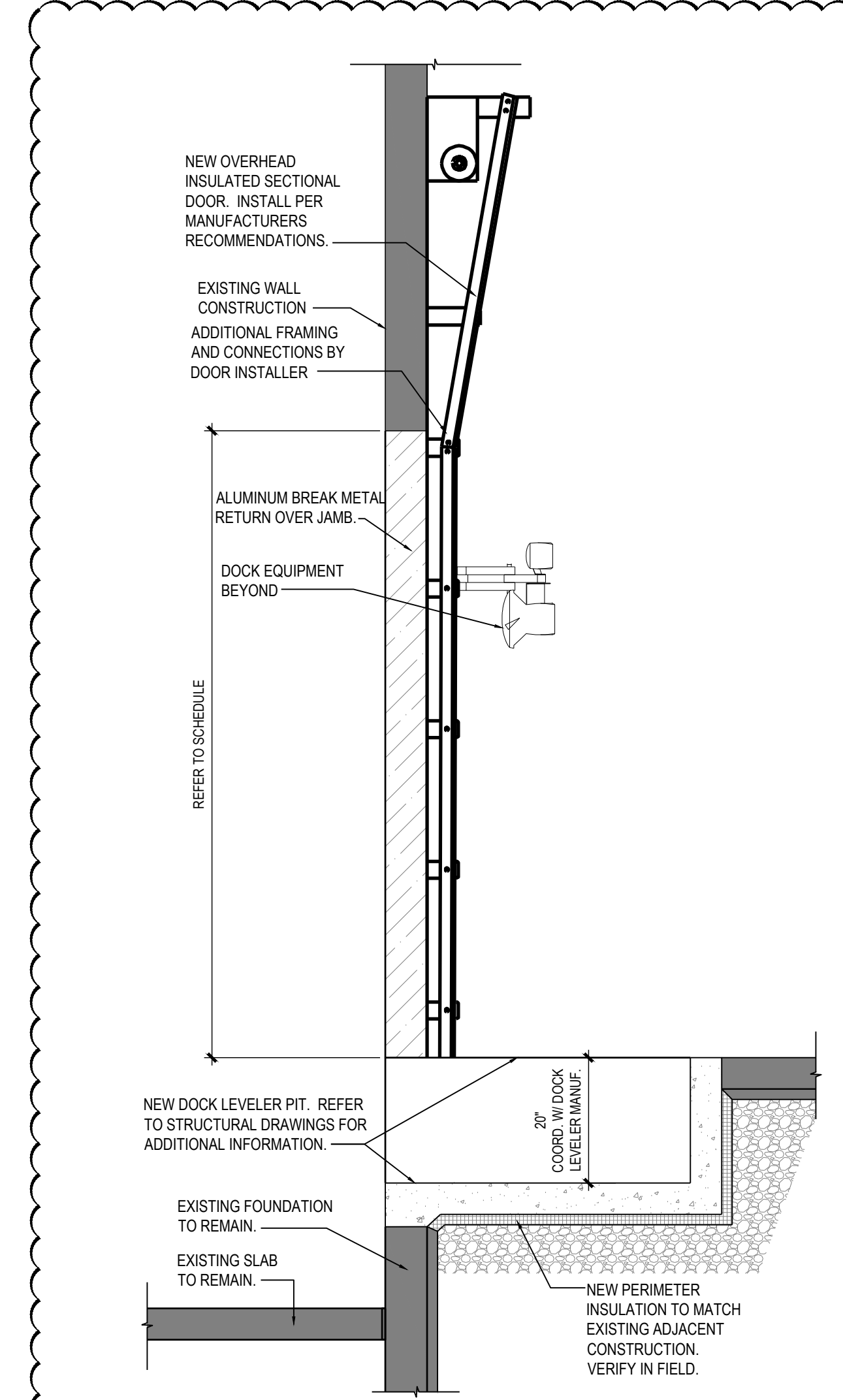
CANOPY SHALL BE SHOP FABRICATED ALUMINUM, FRAMED MANSARD DOOR AWNING WITH STANDING SEAM PANELS, COMPLETE WITH TOP FLASHING BY GENERAL AWNINGS OF APPROVED EQUAL. GALVANIZED FINISH - COLOR TO MATCH "PRIME BLUE". FABRICATOR SHOW SUBMITTING SHOP DRAWINGS FOR REVIEW/APPROVAL, INCLUDING RECOMMENDED METHOD OF ATTACHMENTS.

BASED UPON FIELD CONDITIONS, GC TO COORDINATE WITH MANUFACTURE TO DETERMINE IF SUPPLEMENTAL SUPPORTS ARE REQUIRED - CONTACT ARCHITECT OF RECORD IF ADDITIONAL FRAMING IS REQUIRED.

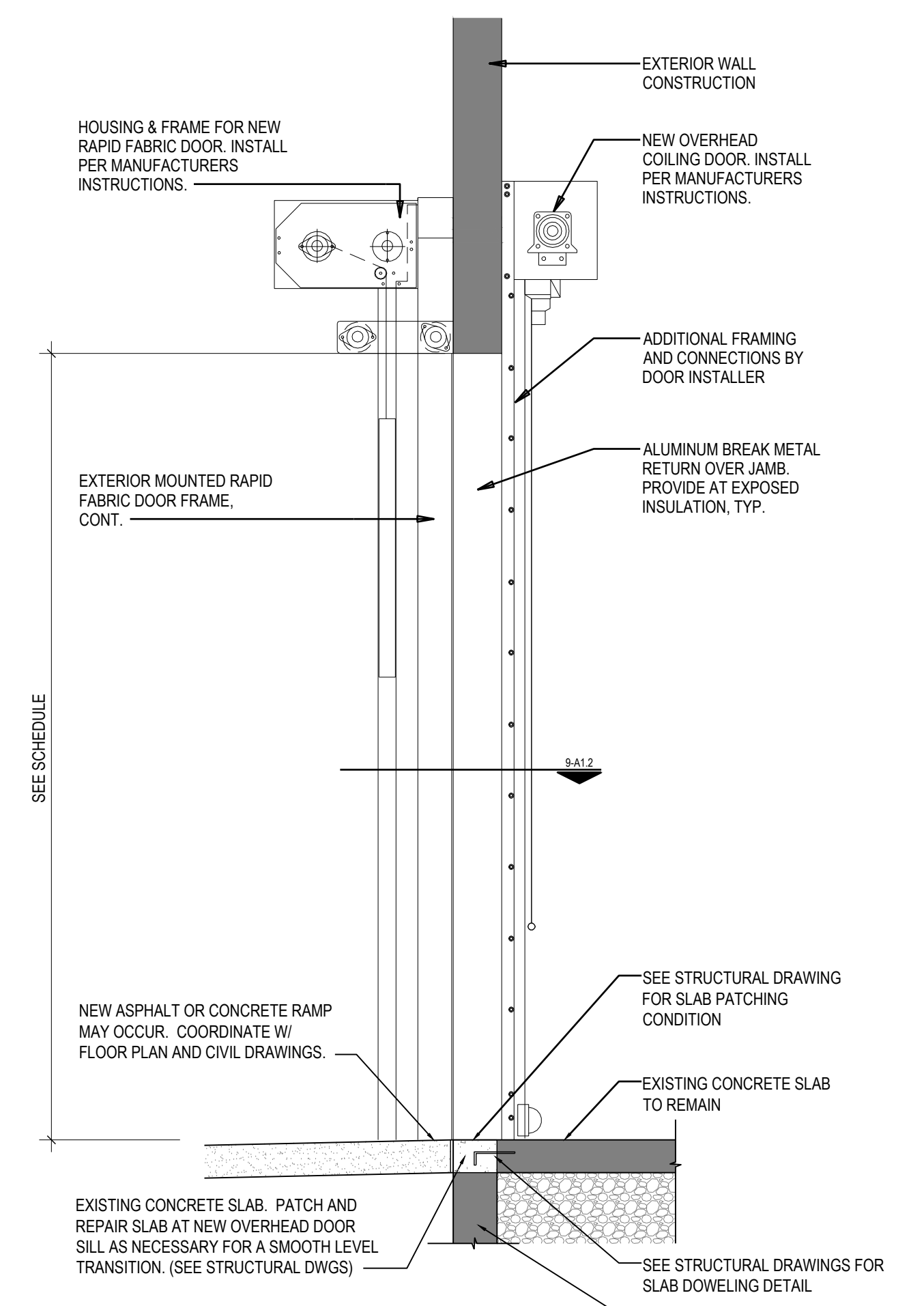
6 DOCK DOOR CANOPY SECTION  
1" = 1'-0"



7 EXTERIOR BOLLARD DETAIL  
1/2" = 1'-0"



10 OVERHEAD DOOR SECTION AT TRUCK DOCK  
1/2" = 1'-0"



11 RAPID FABRIC OVERHEAD DOOR SECTION AT NEW LOAD OUT DOOR  
1/2" = 1'-0"



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Table with columns: Date, Issued For Bidding / Permit, Revision No. 1, Revision No. 2

Table with columns: No., Issued For Bidding / Permit, Revision No. 1, Revision No. 2

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DELIVERY STATION - DXY4 EXTERIOR IMPROVEMENTS 400 ORITANI DRIVE ORANGETOWN, NY



Project No: 757184-01 Scale: AS NOTED

Drawn: JH Checked: JS/JB Date: 02.18.2020

GENERAL NOTES

S0.01

010000 - GENERAL STRUCTURAL NOTES

- 1. THE GENERAL STRUCTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE DRAWINGS AND SPECIFICATIONS AND THE GENERAL STRUCTURAL NOTES, THE STRICTEST PROVISION SHALL GOVERN.

033000 - CAST-IN-PLACE CONCRETE

- 1. SPECIFICATIONS AND STANDARDS: CONCRETE WORK, DETAILING, FABRICATION AND PLACING OF BARS AND CONCRETE SHALL BE GOVERNED BY THE APPLICABLE VERSION OF: A. ACI 301, ACI 315, AND ACI 318.

040000 CONCRETE MASONRY

- 1. COMPRESSIVE STRENGTH OF MASONRY (fm) 2,500 PSI, DETERMINED BY UNIT STRENGTH OR PRISM METHOD.

051200 - STRUCTURAL STEEL FRAMING

- 1. SPECIFICATIONS AND STANDARDS: UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY: A. AISC 360 - SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, ASD.

ABBREVIATIONS

Table with columns: Abbreviation, Description, Abbreviation, Description

Date	Revision
02.18.2020	ISSUED FOR BIDDING / PERMIT
03.19.2020	REVISION NO. 1
06.07.2020	REVISION NO. 2

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BENTONVILLE, AR 72712

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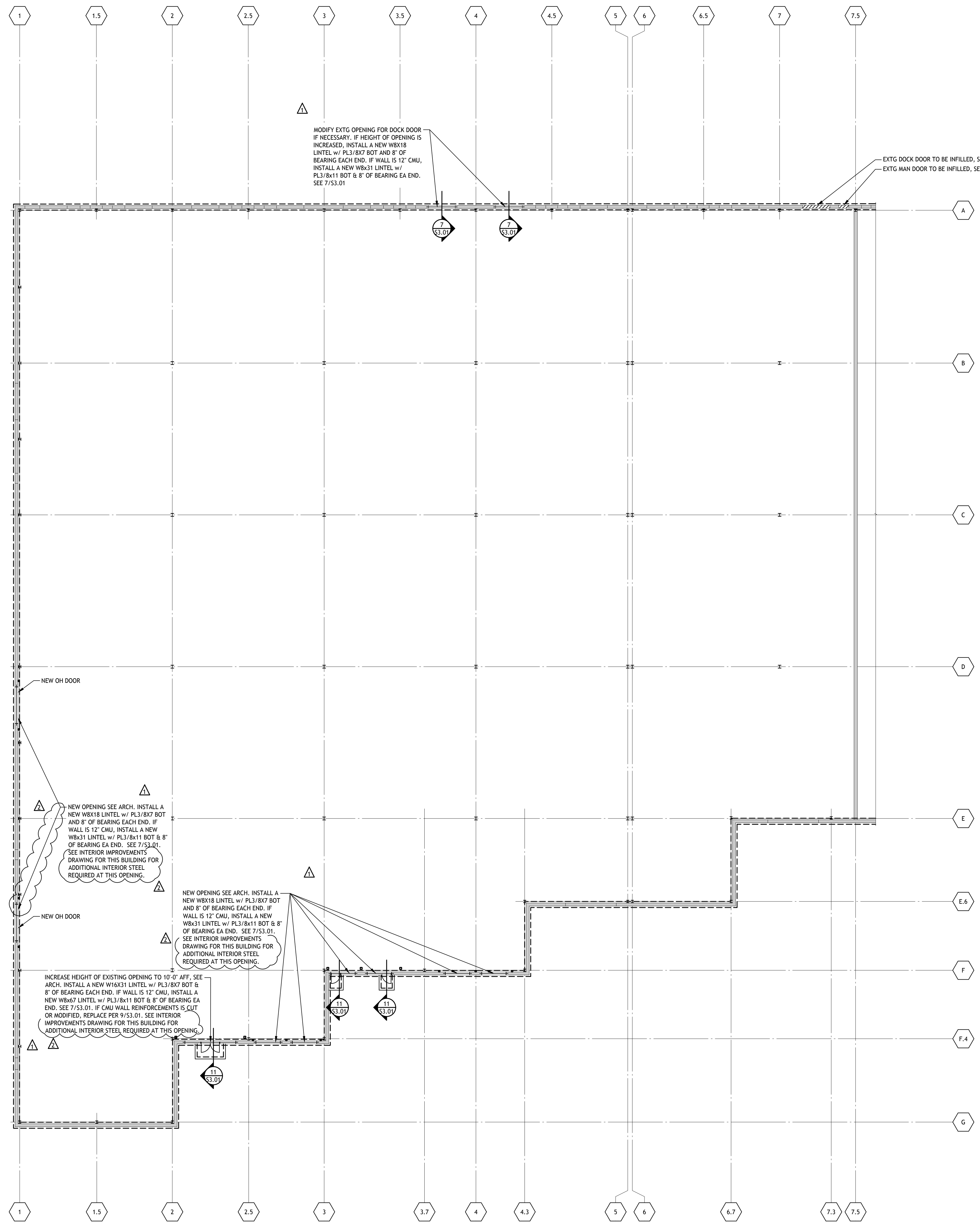
- FOUNDATION PLAN NOTES**
1. VERIFY LOCATIONS OF COLUMNS, WALLS, OPENINGS, ETC. WITH ARCHITECTURAL DRAWINGS BEFORE PLACING FOUNDATIONS.
  2. TOP OF SLAB ELEVATION 10'-0" EXCEPT AS NOTED. SEE CIVIL DRAWINGS FOR REFERENCE SITE ELEVATION.
  3. DESIGN SOIL BEARING PRESSURE 1500 PSF. ANY SOFT SPOTS OR VARIATIONS IN SUBSURFACE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER. THE DESIGN BEARING CAPACITY SHALL BE FIELD VERIFIED BY AN INDEPENDENT TESTING AGENCY SPECIALIZING IN SOILS INVESTIGATIONS.
  4. CONTRACTOR SHALL VERIFY ALL RELEVANT CONDITIONS AND DIMENSIONS OF EXISTING CONSTRUCTION BEFORE PROCEEDING WITH THE WORK.
  5. LOCATE TOP OF FOOTING ELEVATIONS IN THE FIELD BASED ON EXISTING GRADE.
  6. FOOTINGS TO CENTER UNDER COLUMN OR WALL UNLESS NOTED.
  7. ALL EXTERIOR FOOTINGS TO EXTEND MINIMUM OF 4'-0" BELOW FINISHED GRADE. VERIFY DEPTH OF EXISTING BUILDING WALL FOOTING. NOTIFY ENGINEER IF BOTTOM OF EXISTING FOOTINGS ARE LOCATED LESS THAN 4'-0" BELOW FINISHED GRADE.
  8. DO NOT BACKFILL AGAINST THE FOUNDATION WALLS UNTIL BOTH LEVELS OF THE FLOOR SLAB ARE IN PLACE OR PROVIDE TEMPORARY SUPPORT.
  9. REFERENCE: GENERAL STRUCTURAL NOTES - 50.01; COLUMN SCHEDULE - THIS SHEET.

**DELIVERY STATION - DXY4**  
EXTERIOR IMPROVEMENTS  
400 ORITANI DRIVE  
ORANGETOWN, NY



Project No. 757184-01  
Scale AS NOTED  
Drawn JH  
Checked JS/JB  
Date 02.18.2020

Drawing Title  
**PARTIAL FOUNDATION PLAN**  
Drawing No. **S1.01**



**PARTIAL FOUNDATION PLAN**  
1/16" = 1'-0"





**CESO**  
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Date	Revisions/Submissions
02.18.2020	
03.19.2020	ISSUED FOR BIDDING / PERMIT
05.07.2020	REVISION NO. 1
	REVISION NO. 2

No.	Revisions/Submissions
1	
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ARCHITECT OF RECORD

**BENJAMIN T. BELL, AIA**  
1305 NE McCLAMM RD. SUITE 11  
BENTONVILLE, AR 72712

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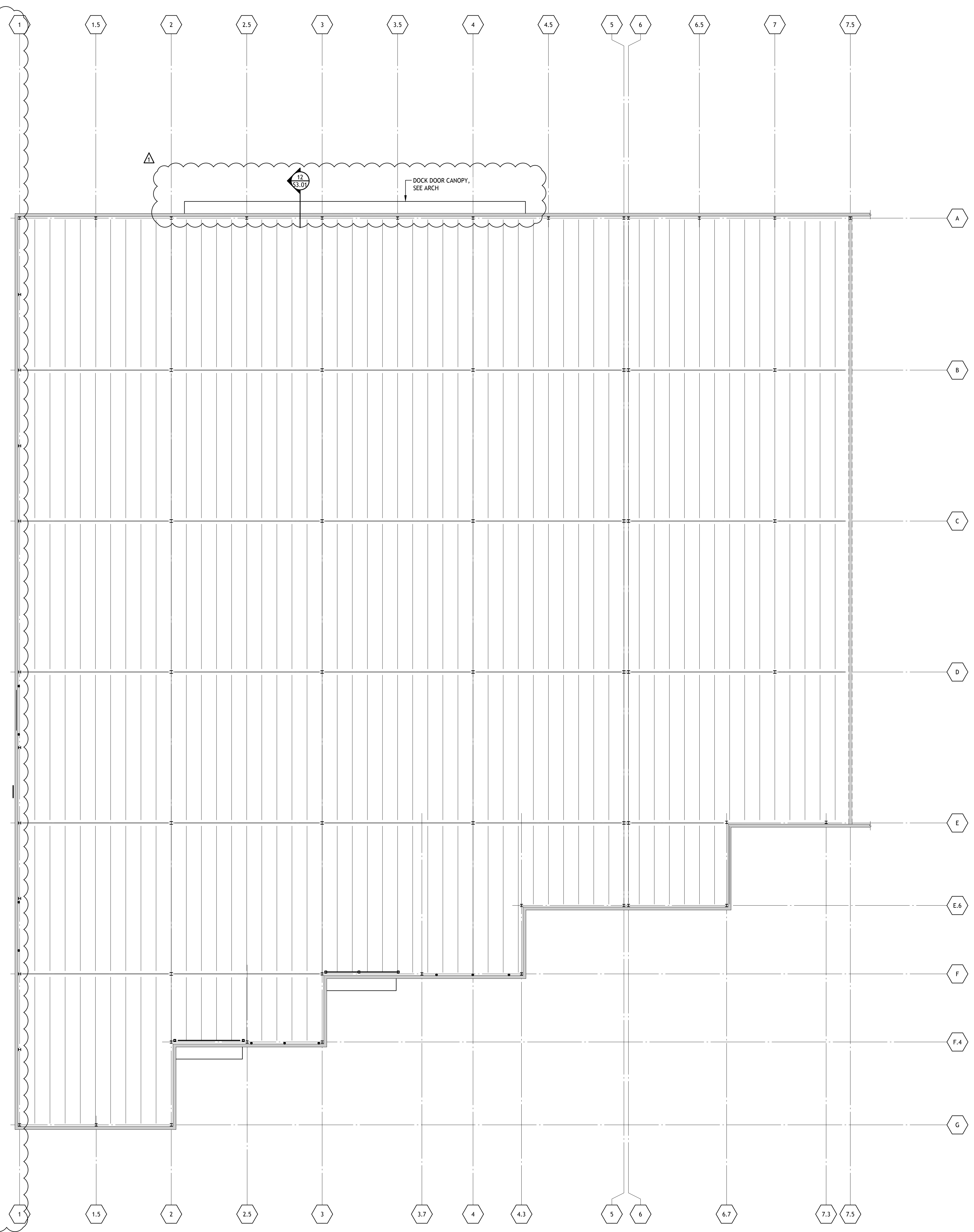
**DELIVERY STATION - DXY4**  
EXTERIOR IMPROVEMENTS  
400 ORITANI DRIVE  
ORANGETOWN, NY



Project No. 757184-01  
Scale AS NOTED  
Drawn JH  
Checked JS/JB  
Date 02.18.2020

Drawing Title  
**PARTIAL ROOF  
& CANOPY  
FRAMING PLAN**

Drawing No. **S2.01**



**PARTIAL ROOF FRAMING PLAN**  
1/16" = 1'-0"  
BLDG NORTH



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Date	Revisions/Submissions
02.18.2020	ISSUED FOR BIDDING / PERMIT
03.19.2020	REVISION NO. 1
05.07.2020	REVISION NO. 2

Revisions/Submissions

ISSUED FOR BIDDING / PERMIT

REVISION NO. 1

REVISION NO. 2

No.

ARCHITECT OF RECORD

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**DELIVERY STATION - DXY4**  
EXTERIOR IMPROVEMENTS  
400 ORITANI DRIVE  
ORANGETOWN, NY



5/7/2020

Project No. 757184-01

Scale AS NOTED

Drawn JH

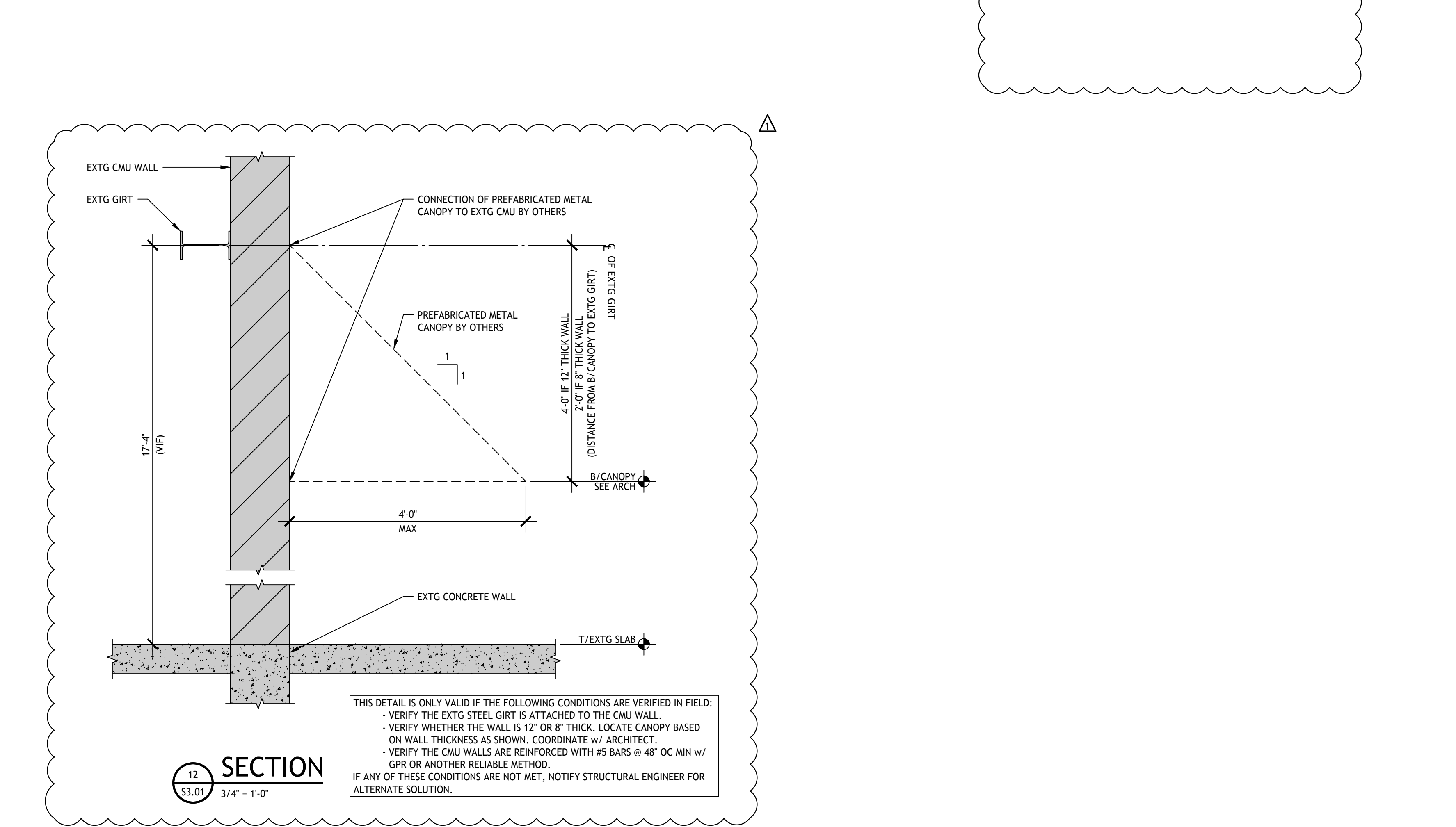
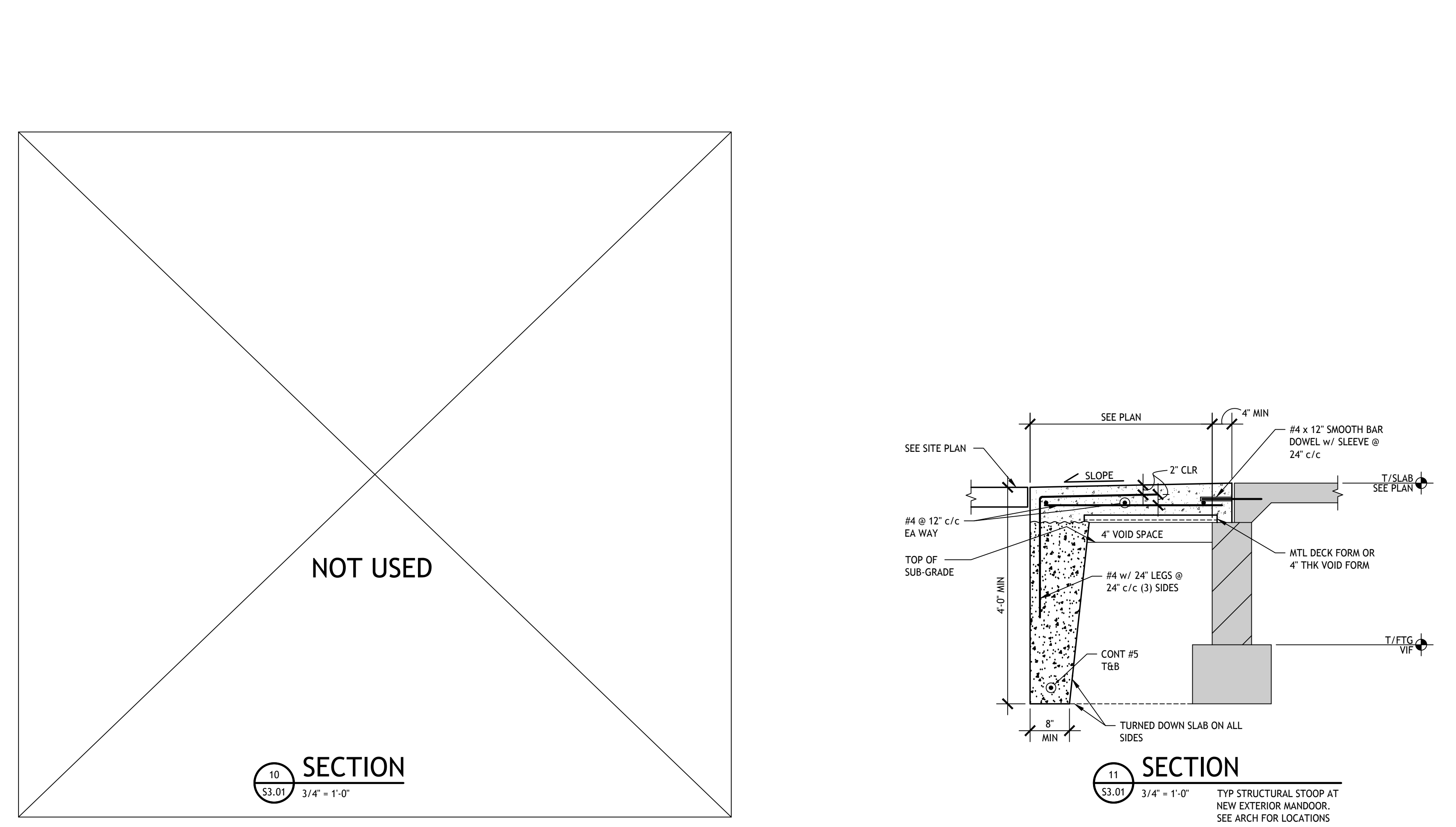
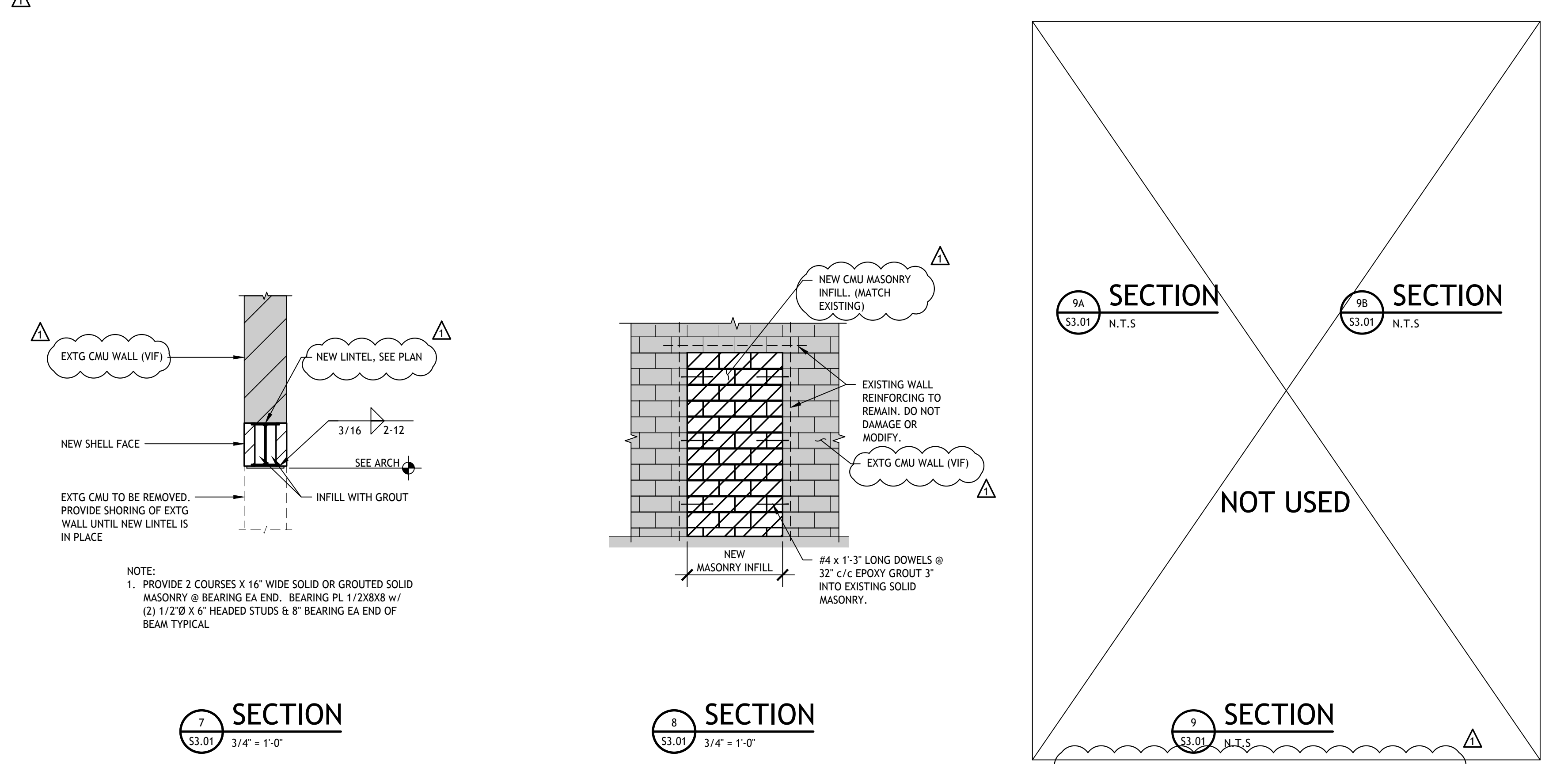
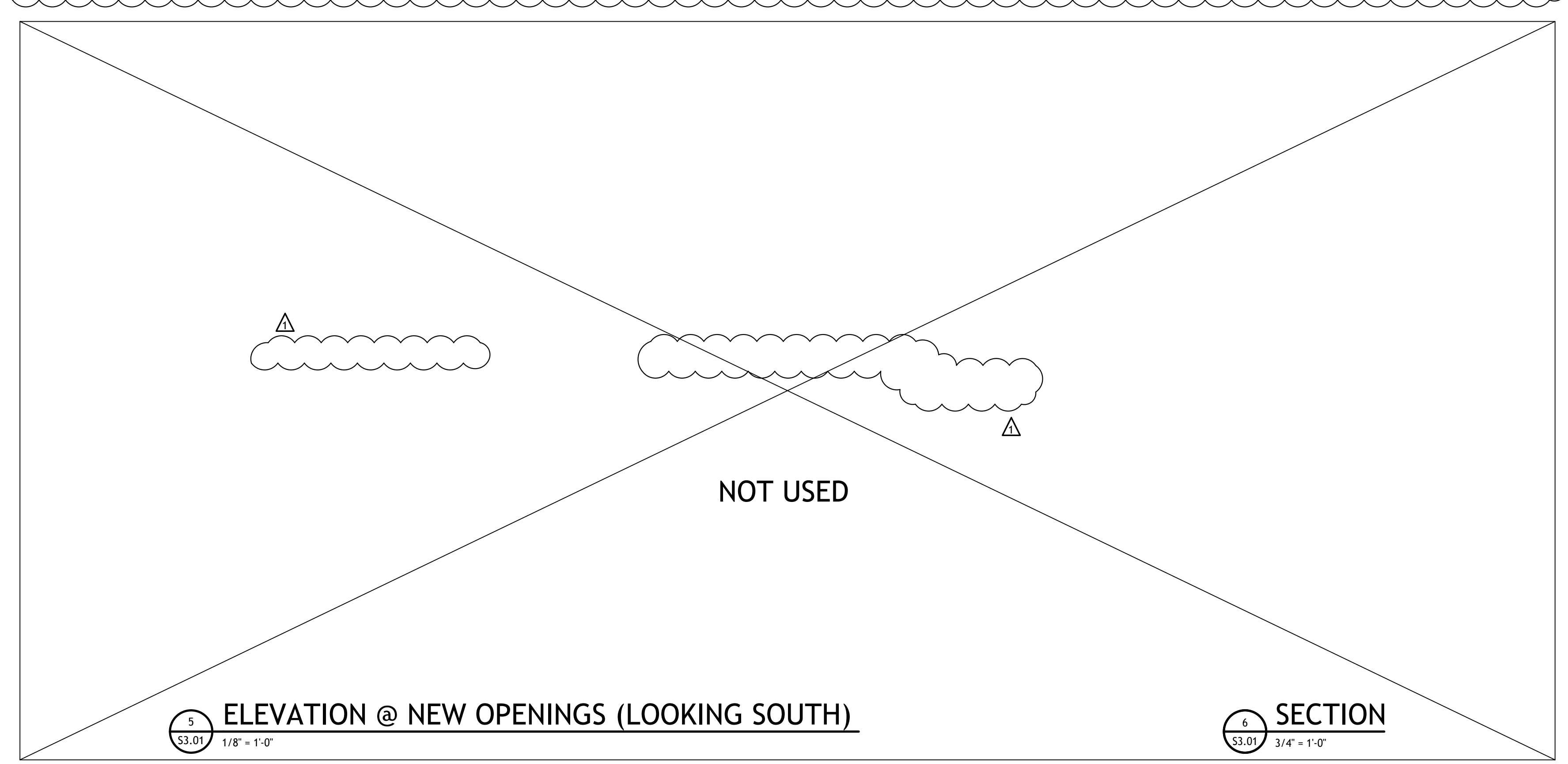
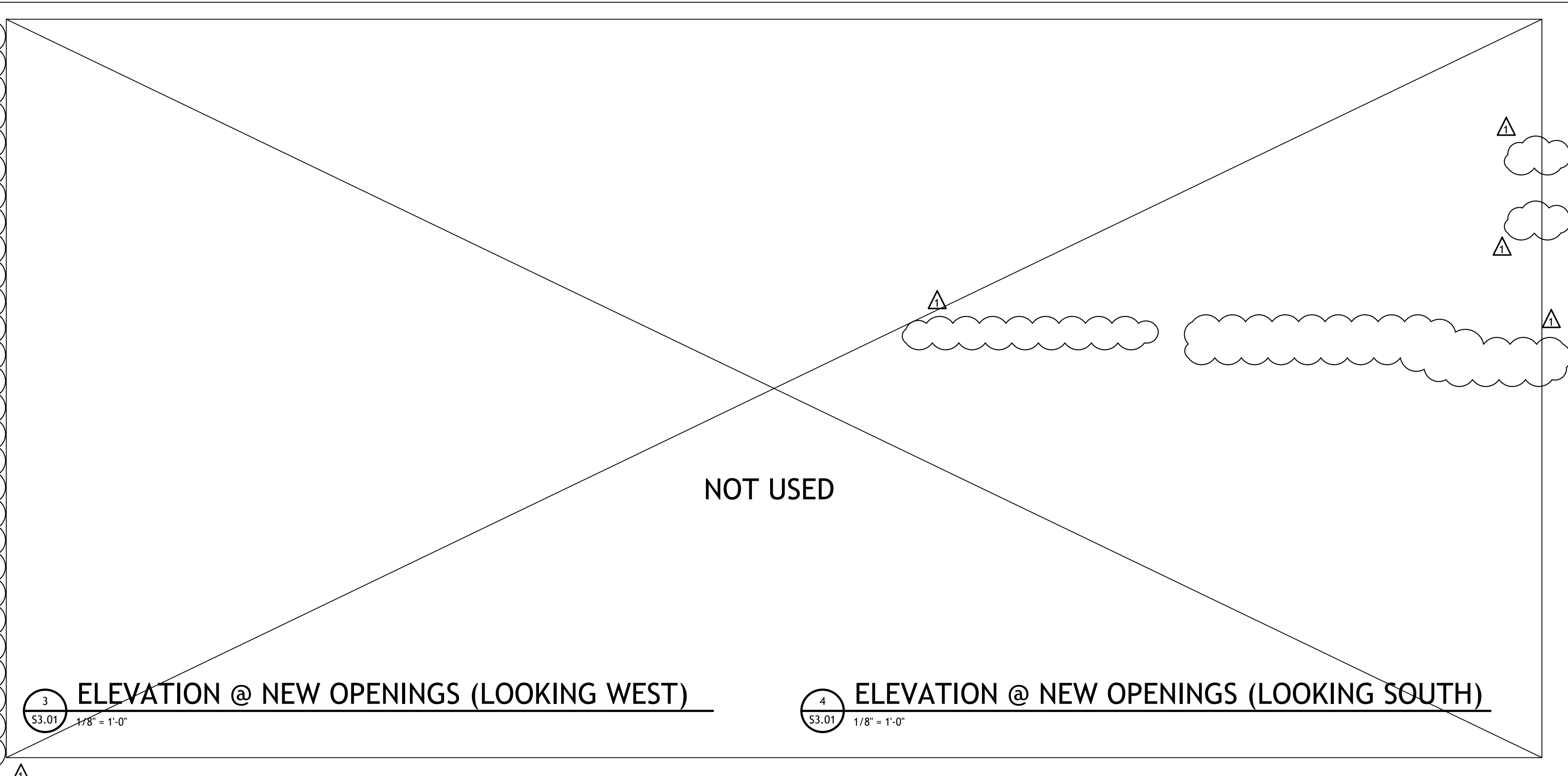
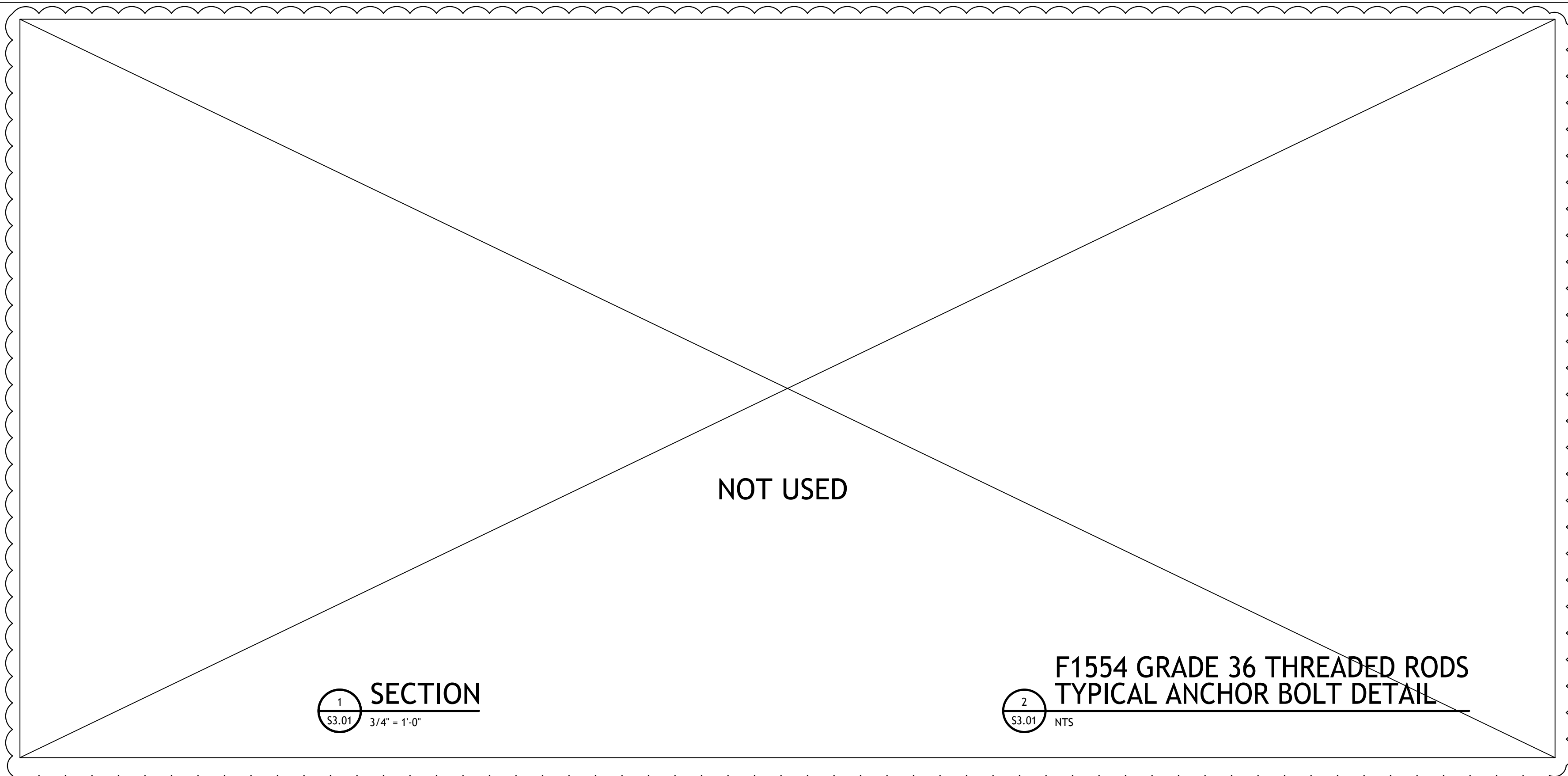
Checked JS/JB

Date 02.18.2020

Drawing Title

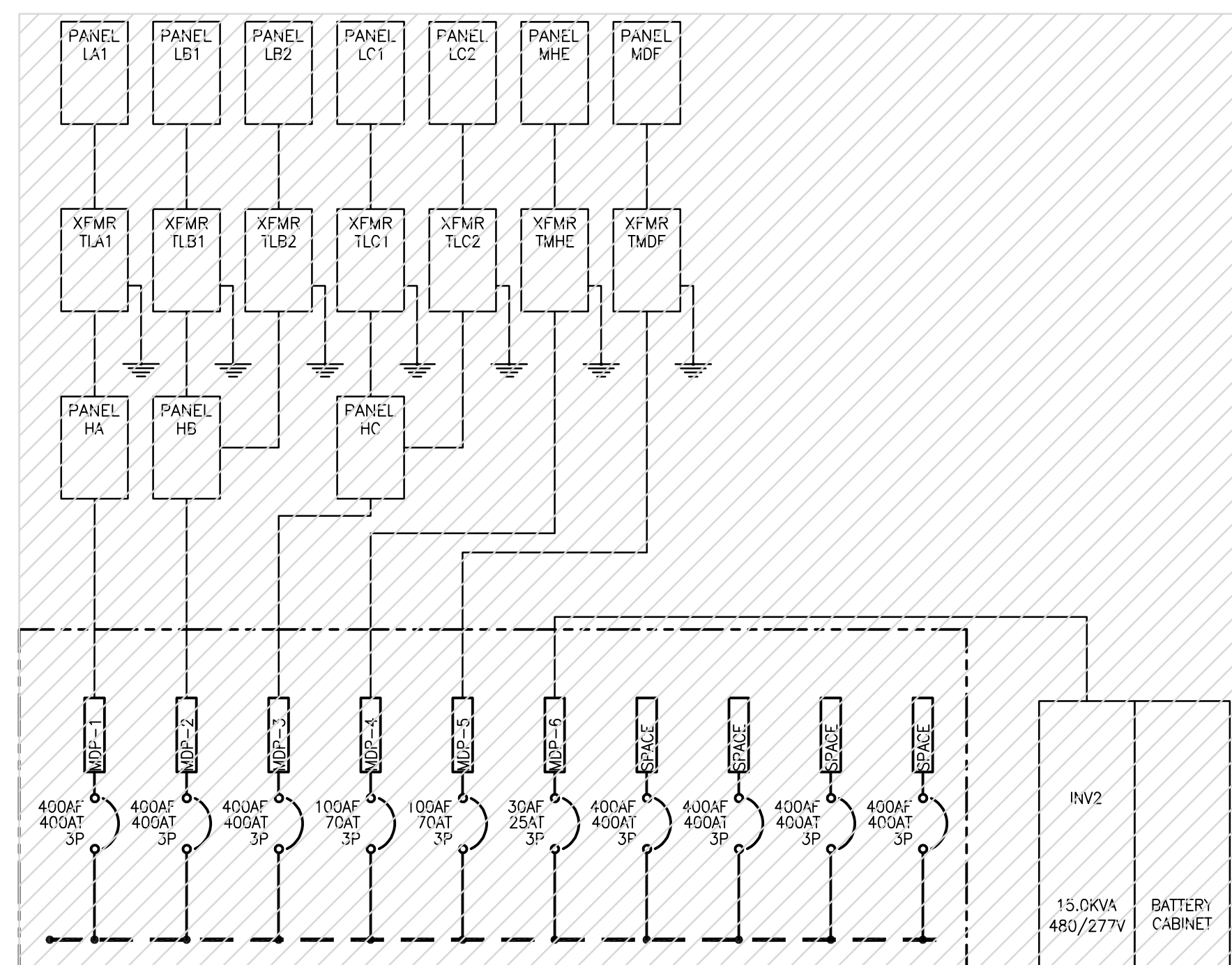
**FOUNDATION SECTIONS & DETAILS**

Drawing No. S3.01

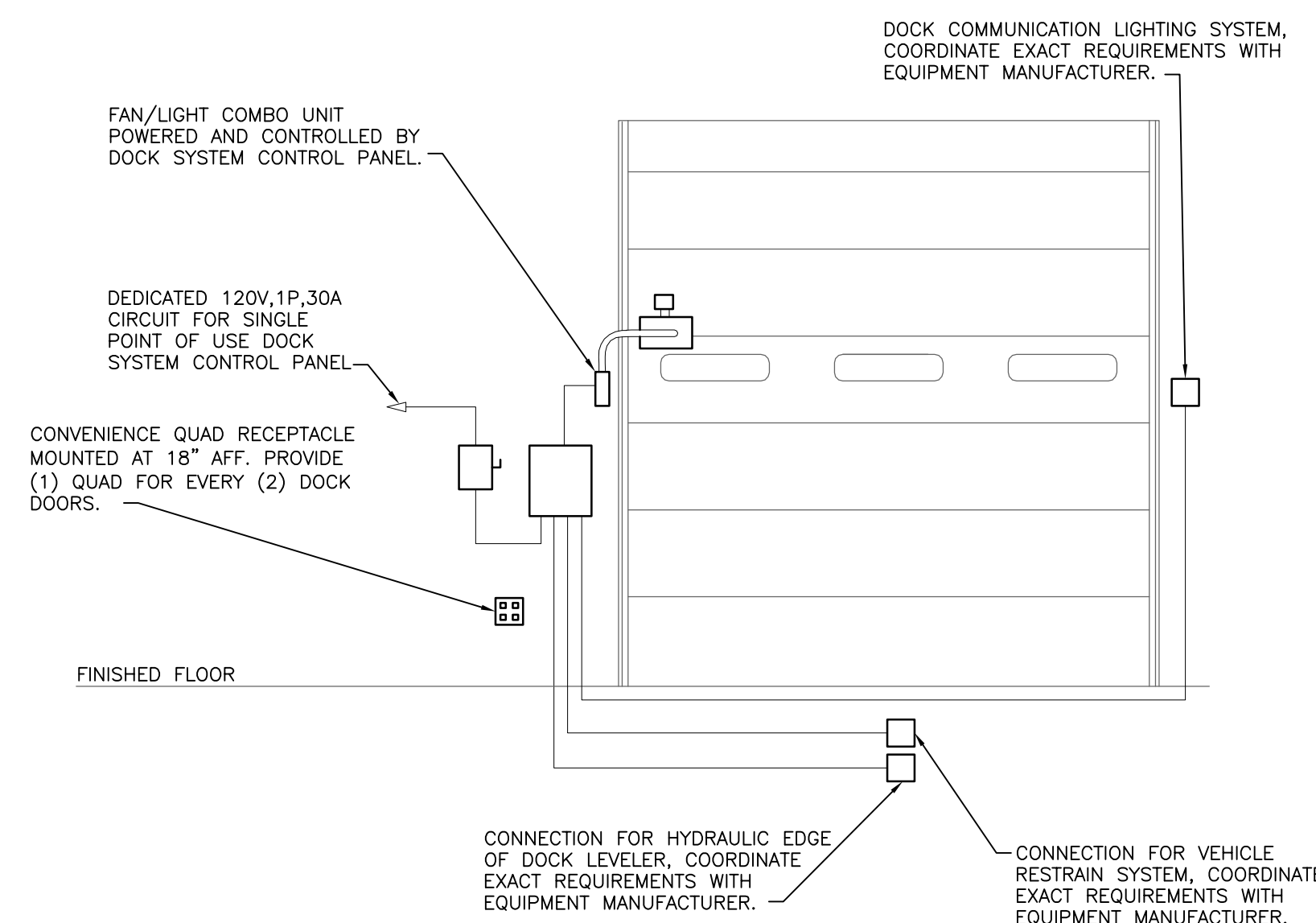


LOAD DESCRIPTION	BKR	BKR	NOTE	WATTS	CTD	PHASE	CTD	WATTS	NOTE	BKR	BKR	LOAD DESCRIPTION
SIZE	POL									SIZE	POL	
PHASE A	8,888 W									CONNECTED DEMAND		
PHASE B	8,473 W									187,547 W		
PHASE C	8,684 W									162,666 W		
				25,164 W			70 A			25,776 W		
				70 A			70 A			72 A		

LOAD DESCRIPTION	BKR	BKR	NOTE	WATTS	CTD	PHASE	CTD	WATTS	NOTE	BKR	BKR	LOAD DESCRIPTION
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PHASE C	8,684 W									162,666 W		
				25,164 W			70 A			25,776 W		
				70 A			70 A			72 A		



01 ONE-LINE DIAGRAM  
NOT TO SCALE



### GENERAL NOTES:

- COORDINATE AND PROVIDE ALL POWER AND CONTROL WIRING REQUIREMENTS WITH MANUFACTURER PRIOR TO BEGINNING WORK.
- COORDINATE ALL DIMENSIONS WITH ARCHITECT AND EQUIPMENT INSTALLERS PRIOR TO BEGINNING WORK.
- DETAIL MAY NOT REFLECT EXACT SYSTEM CONFIGURATION. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED CONDUIT AND WIRING FOR COMPLETE SYSTEM. COORDINATE FINAL REQUIREMENTS WITH EQUIPMENT SUPPLIER AND SYSTEM SPECIFIC WIRING DIAGRAMS.
- ALL COMPONENTS MUST BE PROPERLY GROUNDED PER NEC 250-81(g) & (c). INCLUDE GROUNDING BUSHING ON ALL CONDUITS ENTERING NON-METAL ENCLOSURES WITH #8 GROUNDING BUSHINGS WHEN MULTIPLE CONDUITS ENTER ENCLOSURE.
- REFER TO DRAWING ED.01 FOR KEY NOTES AND ADDITIONAL INFORMATION.

01 TYPICAL LOADING DOCK DOOR ELEVATION DETAIL  
NOT TO SCALE

### ELECTRICAL SYMBOLS LEGEND

HOME RUN TO PANEL, CIRCUIT NUMBERS, PHASE, NEUTRAL AND GROUND CONDUCTORS INDICATED ALONG WITH ISOLATED GROUND CONDUCTOR IF APPLICABLE.

**PARTIAL CIRCUIT**  
CONDUIT INSTALLED CONCEALED ABOVE CEILING OR IN WALL  
CONDUIT INSTALLED CONCEALED BELOW FLOOR SLAB OR UNDERGROUND  
CONDUIT INSTALLED WITH DIRECT CURRENT POWER WIRING  
CONDUIT TURNED UP OR DOWN AS NOTED

**FLEXIBLE CONDUIT FOR FINAL CONNECTION TO EQUIPMENT**  
SINGLE POLE SWITCH, +3'-10" OR AS NOTED  
THREE-WAY SWITCH, +3'-10" OR AS NOTED  
WEATHERPROOF TOGGLE SWITCH, +3'-10" OR AS NOTED  
SINGLE POLE SWITCH WITH PILOT LIGHT, +3'-10" OR AS NOTED  
MOMENTARY CONTACT SWITCH FOR USE WITH VACANCY SENSOR, +3'-10" OR AS NOTED  
WALL MOUNTED OCCUPANCY SENSOR, +3'-10" OR AS NOTED  
CEILING MOUNTED OCCUPANCY SENSOR  
WALL MOUNTED VACANCY SENSOR, +3'-10" OR AS NOTED  
CEILING MOUNTED VACANCY SENSOR  
CEILING MOUNTED INTERIOR DAYLIGHT HARVESTING PHOTOCELL SENSOR  
POWER PACK, INSTALLED ABOVE ACCESSIBLE CEILING

SIMPLEX RECEPTACLE, +18" OR AS NOTED  
DUPLICATION RECEPTACLE, +18" OR AS NOTED  
ISOLATED GROUND DUPLEX RECEPTACLE, +18" OR AS NOTED  
CONTROLLED DUPLEX RECEPTACLE, +18" OR AS NOTED  
QUADRUPLX RECEPTACLE, +18" OR AS NOTED  
ISOLATED GROUND QUADRUPLX RECEPTACLE, +18" OR AS NOTED  
QUADRUPLX RECEPTACLE WITH ONE OUTLET CONTROLLED, +18" OR AS NOTED  
GROUND FAULT INTERRUPTING RECEPTACLE, +18" OR AS NOTED  
WEATHERPROOF GROUND FAULT INTERRUPTING RECEPTACLE, +18" OR AS NOTED

RECEPTACLE INSTALLED HORIZONTALLY, BOTTOM AT +6" ABOVE COUNTER TOP  
ISOLATED GROUND RECEPTACLE INSTALLED FLUSH IN CEILING  
SPECIAL RECEPTACLE, NEMA STYLE AS NOTED, +18" OR AS NOTED  
MULTI-OUTLET SYSTEM, INSTALL AS NOTED  
FLUSH FLOOR MOUNTED RECEPTACLE, LETTER INDICATES TYPE  
POKE-THROUGH FLUSH FLOOR MOUNTED RECEPTACLE, LETTER INDICATES TYPE  
JUNCTION BOX  
DISCONNECT SWITCH, TOP AT +6'-0" OR AS NOTED  
DISCONNECT SWITCH PROVIDED WITH EQUIPMENT  
COMBINATION MOTOR STARTER/DISCONNECT SWITCH FURNISHED BY MECHANICAL CONTRACTOR, INSTALLED BY ELECTRICAL CONTRACTOR  
MOTOR CONNECTION  
LIGHTING CONTACTOR, INSTALLED AS NOTED  
TIME CLOCK, +6'-2" OR AS NOTED  
CONTROL OR POWER RELAY, INSTALLED AS NOTED  
PUSHBUTTON, TOP AT +4'-6" OR AS NOTED  
DOOR BELL CHIME, +8'-0" OR AS NOTED  
CONTROL TRANSFORMER, INSTALLED AS NOTED  
THERMOSTAT, TEMPERATURE SENSOR, CARBON DIOXIDE SENSOR AND HUMIDISTAT PROVIDED BY MECHANICAL CONTRACTOR, +3'-10" OR AS NOTED  
ELECTRICALLY OPERATED DAMPER, PROVIDED BY MECHANICAL CONTRACTOR  
CARD READER, +3'-10" OR AS NOTED  
TELEPHONE OUTLET, +18" WITH 1/2" CONDUIT TO ABOVE CEILING  
TELEPHONE OUTLET, +6" ABOVE COUNTER WITH 1/2" CONDUIT TO ABOVE CEILING  
DATA OUTLET, +18" WITH 3/4" CONDUIT TO ABOVE CEILING  
DATA OUTLET, +6" ABOVE COUNTER WITH 3/4" CONDUIT TO ABOVE CEILING  
TELEPHONE/DATA OUTLET, +18" WITH 1" CONDUIT TO ABOVE CEILING  
TELEPHONE/DATA OUTLET, +6" ABOVE COUNTER WITH 1" CONDUIT TO ABOVE CEILING  
FIRE ALARM CONTROL PANEL, FLUSH MOUNTED, TOP AT +6'-0"  
MANUAL FIRE ALARM PULL STATION, +3'-10" PER ADA  
FIRE ALARM HORN AND 110cd STROBE, +80" TO BOTTOM OF DEVICE PER ADA  
STROBE ONLY (75cd UNO), +80" TO BOTTOM OF DEVICE PER ADA  
FIRE ALARM HORN AND 115cd STROBE, CEILING MOUNTED  
STROBE ONLY (115cd UNO), CEILING MOUNTED  
AREA TYPE PHOTOELECTRIC SMOKE DETECTOR, CEILING MOUNTED, OR AS NOTED  
DUCT TYPE PHOTOELECTRIC SMOKE DETECTOR WITH SAMPLING TUBES AND REMOTE INDICATOR LIGHT MOUNTED FLUSH IN CEILING BELOW DETECTOR  
FIRE ALARM SYSTEM RELAY  
SPRINKLER FLOW SWITCH, PROVIDED BY PLUMBING CONTRACTOR  
SPRINKLER TAMPER SWITCH, PROVIDED BY PLUMBING CONTRACTOR  
FIRE SPRINKLER SYSTEM BELL (GONG), +10'-0" AFG  
COMBINATION FIRE/SMOKE DAMPER PROVIDED BY MECHANICAL CONTRACTOR ABOVE FINISHED FLOOR/GRADE

AFF/AFG  
AHJ  
BAS  
EC  
FA  
GC  
MC  
NL  
NF  
PC  
TYP  
WP

**SYMBOLS LEGEND NOTES:**  
MOUNTING HEIGHTS INDICATED ARE MEASURED FROM FINISHED FLOOR TO THE CENTERLINE OF THE DEVICE UNLESS NOTED OTHERWISE.

### GENERAL DEMOLITION NOTES

- ALL EXISTING DEVICES AND/OR CIRCUITS SHOWN ARE INDICATED ONLY FOR INFORMATION PURPOSES. VISIT THE SITE AND VERIFY ALL CONDITIONS AS THEY EXIST AND REMOVE, RELOCATE AND/OR REWORK ANY ELECTRICAL EQUIPMENT OR CIRCUITS NECESSARY FOR A COMPLETE REWIRING SYSTEM.
- FAILURE TO FAMILIARIZE WITH THE SITE WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR PERFORMING ALL WORK NECESSARY TO PROVIDE A WORKMANLIKE INSTALLATION.
- ALL WORK SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE ADOPTED ELECTRICAL CODE.
- NOTIFY BUILDING OPERATIONS MANAGER (7) BUSINESS DAYS IN ADVANCE OF ALL INTERRUPTIONS TO THE EXISTING BUILDING SERVICES.
- MAINTAIN ACCURATE RECORDS OF ALL MODIFICATIONS TO EXISTING SYSTEMS WHICH ARE TO REMAIN. DELIVER ALL "RECORD" DRAWINGS TO THE OWNER INDICATING SUCH CHANGES.
- DISCONNECT AND LABEL ABANDONED FEEDERS AND CIRCUITS.
- WHERE NEW WORK INTERFERES WITH CIRCUITS IN ROOMS OTHERWISE UNDISTURBED, EXISTING CIRCUITS SHALL BE REWORKED AS REQUIRED TO MAINTAIN SERVICE.
- REMOVE ALL UNUSED EQUIPMENT, FIXTURES, AND PANELS FROM THE SITE, UNLESS NOTED OTHERWISE.
- COORDINATE THE ROUTING OF ALL CONDUITS AND THE LOCATIONS OF ALL EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICTS WITH DUCTS, PIPES, ETC.
- REWORK THE ROUTING OF ALL CONDUITS AND THE LOCATIONS OF ALL EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICTS WITH DUCTS, PIPES, ETC.
- REMOVE ALL ROYMEY, BX, AND OTHER FLEXIBLE CONDUIT OR CABLE SYSTEMS AND EXPOSED WIRING FOR ALL ABANDONED CIRCUITS.
- PROVIDE TEMPORARY CONNECTIONS TO MAINTAIN POWER TO BRANCH AND FEEDER CIRCUITS UNTIL A PERMANENT PANEL IS INSTALLED TO RECONNECT THE EXISTING REMAINING CIRCUITS.
- COORDINATE THE REMOVAL OF ALL MECHANICAL AND PLUMBING EQUIPMENT AND REMOVE ALL ELECTRICAL POWER AND CONTROL CIRCUITS FOR EQUIPMENT BEING REMOVED. WHERE EXISTING EQUIPMENT IS BEING REPLACED WITH NEW EQUIPMENT OR RELOCATED EQUIPMENT, CONTRACTOR MAY REMOVE THE EXISTING CONDUIT AND ROUGH-IN LOCATIONS IF POSSIBLE, BUT NEW CONDUCTORS SHALL BE PROVIDED.
- WHERE EQUIPMENT IS REMOVED FROM OR RELOCATED TO A LOCATION WHICH PRESENTS A FIRE RATED STRUCTURE, PROVIDE APPROPRIATE FIRE STOPPING MATERIALS TO MAINTAIN FIRE RATINGS OF THE STRUCTURE.

### GENERAL REMODEL NOTES

- ALL EXISTING EQUIPMENT, WIRING DEVICES, LIGHTS, CONDUIT, WIRING, CIRCUITING, ETC. NOT DISTURBED BY NEW CONSTRUCTION WORK SHALL BE MAINTAINED AND UNADAMAGED. THESE DEVICES, IF SHOWN ARE SHOWN FOR INFORMATION PURPOSES ONLY. VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS AND FAMILIARIZE THEMSELVES WITH ALL WORK TO BE DONE AT THE JOB SITE. FAILURE TO DO SO SHALL NOT RELIEVE CONTRACTOR OF THE RESPONSIBILITY FOR PERFORMING ALL WORK NECESSARY TO PROVIDE A WORKMANLIKE INSTALLATION.
- EXISTING SERVICES (ELECTRICAL, FIRE ALARM, ETC.) SHALL NOT BE INTERRUPTED WITHOUT PRIOR SCHEDULING OF SUCH OUTAGES WITH THE OWNER, ARCHITECT, AND ALL OTHER PARTIES INVOLVED.
- MAINTAIN ACCURATE RECORDS OF ALL MODIFICATIONS TO EXISTING SYSTEMS WHICH ARE TO REMAIN. DELIVER ALL "RECORD" DRAWINGS TO THE OWNER INDICATING SUCH CHANGES.
- DISCONNECT AND LABEL ABANDONED FEEDERS AND CIRCUITS.
- REMOVE ALL EXPOSED CONDUITS, CONDUITS ABOVE LAY-IN CEILINGS, OR EQUIPMENT WHICH IS ABANDONED.
- WHERE NEW WORK INTERFERES WITH CIRCUITS IN ROOMS OTHERWISE UNDISTURBED, EXISTING CIRCUITS SHALL BE REWORKED AS REQUIRED TO MAINTAIN SERVICE.
- ALL EQUIPMENT, FIXTURES, PANELBOARDS, CONDUIT AND WIRING THAT ARE REMOVED SHALL BE REMOVED FROM THE JOB SITE, UNLESS OTHERWISE DIRECTED OTHERWISE BY THE ARCHITECT OR OWNER'S REPRESENTATIVE.
- EXISTING ROUGH-IN BOXES AND CONDUIT MAY BE UTILIZED IF THEY ARE OF PROPER SIZE AND IN SUITABLE LOCATION(S) FOR NEW CONSTRUCTION. DEVICES AND WIRING SHALL BE NEW.
- CIRCUIT ROUTINGS SHOWN IN REMODELED AREAS MAY BE MODIFIED TO SUIT FIELD CONDITIONS, KEEP DEVICES AND/OR FIXTURE CIRCUITS APPROXIMATELY AS INDICATED TO LIMIT VOLTAGE DROP OF FEEDER AND BRANCH CIRCUITS.
- VERIFY THE LOCATION AND CONDITION OF ALL EXISTING UTILITIES AND PROTECT DURING THE COURSE OF THEIR WORK. EXISTING UTILITIES, BUILDING MATERIALS AND ANY ASSOCIATED ITEMS WHICH ARE DAMAGED BY CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE (IN A TIMELY MANNER) AND TO THE OWNER'S APPROVAL.
- COORDINATE THE REMOVAL OR RELOCATION OF ALL MECHANICAL AND PLUMBING EQUIPMENT. DISCONNECT AND REMOVE ALL ELECTRICAL POWER AND CONTROL CIRCUITS FOR EQUIPMENT BEING REMOVED OR RELOCATED. EXISTING CONDUIT AND ROUGH-IN MAYBE USED FOR RELOCATED OR NEW EQUIPMENT. ALL CONDUCTORS SHALL BE NEW.
- REMOVE ALL EXISTING DATA, TELEPHONE, FIRE ALARM CABLES AND ANY OTHER LOW VOLTAGE WIRING THAT ARE NOT TO BE USED.
- DESIGN IS BASED ON FIELD INFORMATION, AS-BUILT DRAWINGS AND OWNER FURNISHED INFORMATION. VERIFY ACCURACY OF ALL EXISTING CONDITIONS. IN CASE OF DISCREPANCY, PROVIDE ALL NECESSARY CONDUIT, WIRE, BOXES, FITTINGS, ETC. FOR A COMPLETE OPERATING ELECTRICAL SYSTEM. ENTIRE INSTALLATION TO COMPLY WITH SPECIFICATIONS AND ADOPTED ELECTRICAL CODE.

### WIRING SCHEDULE FOR VOLTAGE DROP

DISTANCE	CONDUCTOR SIZE
UP TO 100'	#12
100' - 150'	#10
150' - 250'	#8
250' - OVER	#6
UP TO 200'	#12
200' - 375'	#10
375' - OVER	#8

NOTE  
FOR CIRCUITS WITH #6 CONDUCTORS, REDUCE TO #8 CONDUCTORS AT PANEL FOR FINAL CONNECTIONS TO CIRCUIT BREAKER.

### GENERAL ELECTRICAL NOTES

- INCLUDE ALLOWANCE FOR UNFORESEEN CONDITIONS THAT MAY AFFECT THE SCOPE OF WORK. MINOR DEVIATIONS REQUIRED FOR ACCOMPLISHING THE INTENT OF THIS DESIGN ARE TO BE INCLUDED IN THIS ALLOWANCE.
- SWITCHBOARDS, PANELBOARDS, DISCONNECT SWITCHES, TRANSFORMERS AND CONTACTORS SHALL BE "LISTED" AND "IDENTIFIED" AS RATED FOR A MINIMUM OF 75°C CONDUCTOR TEMPERATURE.
- ELECTRICAL DESIGN HAS BEEN BASED ON THE INSTALLATION OF 75°C CONDUCTORS CONNECTED TO TERMINAL LUGS AND EQUIPMENT U.L. LISTED FOR A MINIMUM 75°C. CONDUCTORS TERMINATED ON EQUIPMENT WITH A LOWER RATING (60°C) OR NO RATING SHOWN TO HAVE CONDUCTOR SIZE INCREASED TO CONFORM TO ADOPTED ELECTRICAL CODE AND UL/CUL NO. 489 REQUIREMENTS.
- CONDUIT INSTALLED INDOORS SHALL BE ELECTRICAL METALLIC TUBING (EMT), MINIMUM 1/2" OR AS NOTED.
- CONDUIT INSTALLED BELOW SLAB SHALL BE RIGID STEEL, INC. PVC OR HDPE, MINIMUM 3/4", IF PVC OR HDPE IS USED, TRANSITION TO RIGID STEEL BEFORE TURNING UP AND PENETRATING FLOOR SLAB.
- CONDUCTORS SHALL BE A MINIMUM OF #12 THHN/THWN COPPER UNLESS NOTED OTHERWISE ON PLANS OR IN SPECIFICATIONS. BRANCH CIRCUITS SHALL BE PROVIDED WITH (2) #12 CONDUCTORS AND (1) #12 EQUIPMENT GROUND CONDUCTOR UNLESS NOTED OTHERWISE.
- BRANCH CIRCUITS SHOWN WITH TWO GROUNDING CONDUCTORS SHALL HAVE ONE EQUIPMENT GROUND CONDUCTOR (GREEN) AND ONE ISOLATED GROUND CONDUCTOR (GREEN/W/ YELLOW STRIP) INSTALLED IN RACEWAY.
- DIRECT CURRENT WIRING SHALL BE (2) #10 IN 1/2" CONDUIT UNLESS NOTED OTHERWISE.
- CONTROL VOLTAGE WIRING SHALL BE PLENUM RATED OR INSTALLED IN CONDUIT.
- THERMOSTATS, TEMPERATURE SENSORS, CARBON DIOXIDE SENSORS AND HUMIDISTATS: UNLESS NOTED OTHERWISE, PROVIDE WALL BOX AT +3'-10" AFF WITH 1/2" CONDUIT STUBBED OUT TO ABOVE ACCESSIBLE CEILING WITH NYLON BUSHINGS AND PULLSTRINGS.
- PROVIDE FLEXIBLE CONNECTIONS ONLY FOR FINAL CONNECTION TO EQUIPMENT, 6'-0" MAXIMUM LENGTH. PROVIDE LIQUID TIGHT FLEXIBLE CONNECTION AT EXTERIOR LOCATIONS AND BE EXPOSURE TO MOISTURE IS POSSIBLE.
- ALL EMPTY CONDUITS SHALL BE PROVIDED WITH A PULL WIRE.
- ALL RACEWAYS SHALL CONTAIN A GROUNDING ELECTRODE SIZED PER THE ADOPTED ELECTRICAL CODE.
- COORDINATE WORK ABOVE THE CEILING WITH OTHER TRADES TO PROVIDE THE GREATEST POSSIBLE CLEARANCE. CONDUIT RUNS SHALL BE RUN THROUGH TRUSSES WHERE POSSIBLE.
- VERIFY EXACT PLACEMENT OF ALL DEVICES SHOWN ON THE CONSTRUCTION DOCUMENTS PRIOR TO FINAL PLACEMENT.
- ALL RECESSED PANELBOARDS SHALL BE INSTALLED WITH A MINIMUM OF (3) 3/4" CONDUITS STUBBED UP TO ACCESSIBLE CEILING SPACE FOR FUTURE USE.
- ALL PANELBOARDS, SWITCHBOARDS AND LINE VOLTAGE CONTROL EQUIPMENT SHALL BE FIELD MARKED TO WARN QUALIFIED PERSONS OF POTENTIAL ELECTRIC ARC FLASH HAZARDS. MARKING SHALL BE LOCATED SO AS TO BE CLEARLY VISIBLE TO QUALIFIED PERSONS BEFORE EXAMINATION, ADJUSTING, SERVICING OR MAINTENANCE OF EQUIPMENT. MARKING SHALL BE SELF ADHESIVE, COMMERCIAL LABEL CONFORMING TO ADOPTED CODES.
- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE OPERABLE PARTS OF THE CONTROLS LOCATED NO HIGHER THAN 48" AND NO LOWER THAN 15" ABOVE THE FLOOR; IF THE REACH IS OVER AN OBSTRUCTION BETWEEN 20" AND 25" IN DEPTH, THE MAXIMUM HEIGHT IS REDUCED TO 44" FOR FORWARD APPROACH OR 46" FOR SIDE APPROACH, PROVIDED THE OBSTRUCTION IS NO MORE THAN 24" IN DEPTH. OBSTRUCTIONS SHALL NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH A CONTROL.
- TERMS:  
SHALL - ACTION THAT IS REQUIRED WITHOUT OPTION OR QUALIFICATION.  
FURNISH - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING.  
INSTALL - CONTRACTOR SHALL BE RESPONSIBLE FOR LABOR AND CONSTRUCTION EQUIPMENT NECESSARY TO SET IN PLACE, CONNECT, CALIBRATE AND/OR TEST EQUIPMENT FURNISHED BY HIM OR OTHERS.  
PROVIDE - CONTRACTOR SHALL FURNISH AND INSTALL.

THIS SHEET IS PART OF THE CONSTRUCTION DOCUMENTS. OTHER SHEETS INCLUDING SPECIFICATIONS APPLY. THAT SHOWN HEREON IS SCHEMATIC IN NATURE AND NOT TO BE USED AS A SHOP DRAWING. THEREFORE, INCLUDE ALL MODIFICATIONS REQUIRED TO CONFORM TO SITE CONDITIONS AND THE EQUIPMENT AND MATERIAL USED. VERIFY LOCATIONS AND DIMENSIONS OF ALL ARCHITECTURAL AND STRUCTURAL ELEMENTS AS SHOWN ON THEIR RESPECTIVE DOCUMENTS. THESE ELEMENTS ARE SHOWN FOR REFERENCE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION AND THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE ELEMENTS. NO DESIGN RESPONSIBILITY IS ASSUMED FOR ANY PORTION OF THE WORK THAT THE PROFESSIONAL ENGINEER HAS NOT SIGNED AND SEALED PER STATE/PROVINCE REQUIREMENTS.

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NEW YORK STATE ENERGY CONSERVATION COMPLIANCE  
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE EECOSYS, AS PER CHAPTER 1 SECTION 101.4.4.



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Date:  
02.18.2020  
03.19.2020  
06.07.2020

Revision/Submission:  
ISSUED FOR BIDDING / PERMIT  
REVISION NO. 1  
REVISION NO. 2

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**DELIVERY STATION - DXY4**  
EXTERIOR IMPROVEMENTS  
400 ORANTANI DRIVE  
ORANGETOWN, NY

Project No. 757184-01  
Scale: AS NOTED  
Drawn: ATF  
Checked: ATF  
Date: 02.18.2020

Drawing Title  
**ONE-LINE, SYMBOLS, SCHEDULES, & GENERAL NOTES**  
Drawing No.  
E0.0







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Revision	03.19.2020
Revision	06.07.2020

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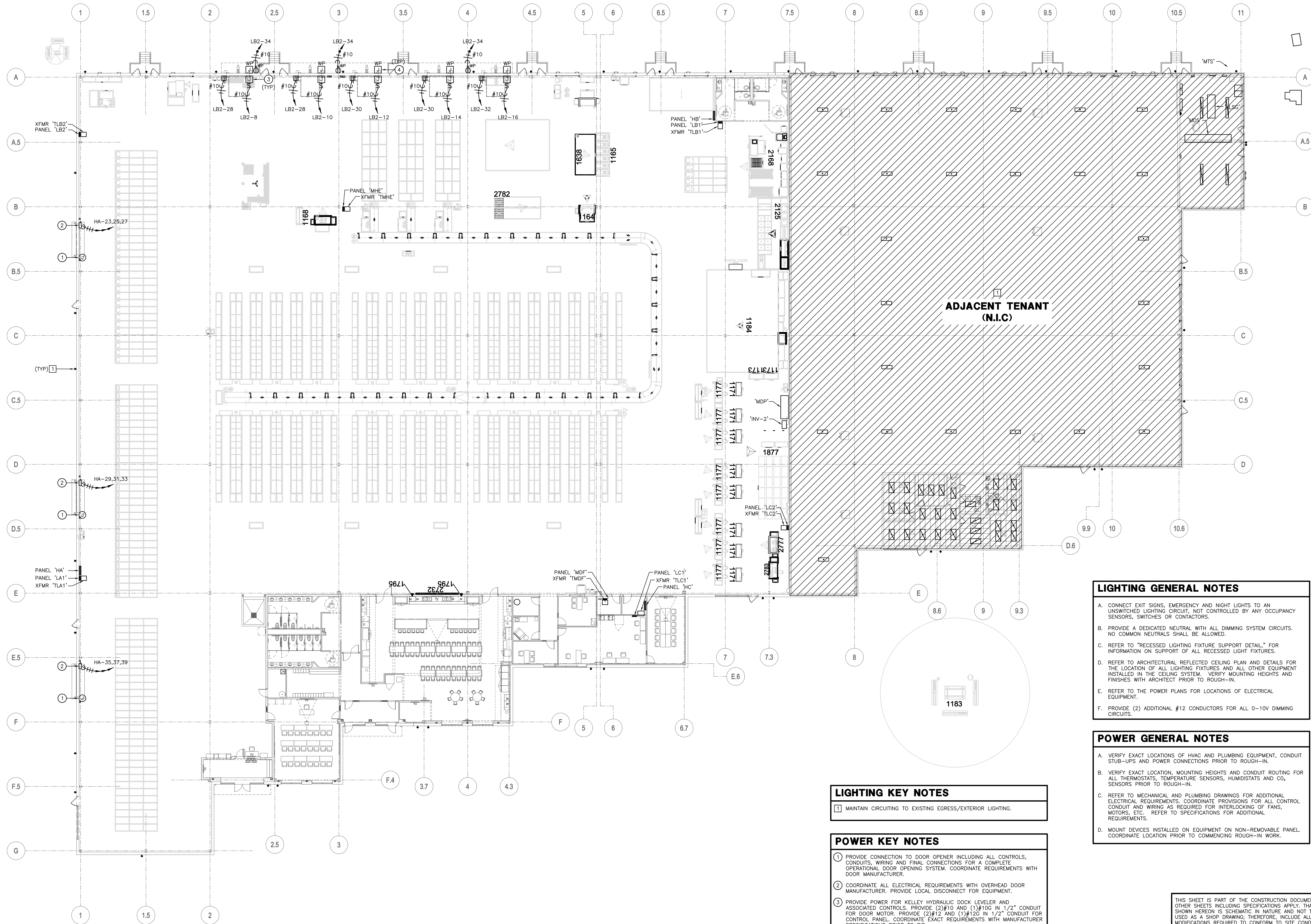
DELIVERY STATION - DXY4  
EXTERIOR IMPROVEMENTS  
400 ORITANI DRIVE  
ORANGETOWN, NY

STATE OF NEW YORK  
JULIUS ROSENBLUTH  
REGISTERED PROFESSIONAL ENGINEER  
No. 097057

Project No. 757184-01  
Scale AS NOTED  
Drawn ATF  
Checked ATF  
Date 02.18.2020

Drawing Title  
LIGHTING & POWER PLAN

Drawing No. E1.1



**LIGHTING GENERAL NOTES**

- CONNECT EXIT SIGNS, EMERGENCY AND NIGHT LIGHTS TO AN UNSWITCHED LIGHTING CIRCUIT, NOT CONTROLLED BY ANY OCCUPANCY SENSORS, SWITCHES OR CONTACTORS.
- PROVIDE A DEDICATED NEUTRAL WITH ALL DIMMING SYSTEM CIRCUITS. NO COMMON NEUTRALS SHALL BE ALLOWED.
- REFER TO "RECESSED LIGHTING FIXTURE SUPPORT DETAIL," FOR INFORMATION ON SUPPORT OF ALL RECESSED LIGHT FIXTURES.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLAN AND DETAILS FOR THE LOCATION OF ALL LIGHTING FIXTURES AND ALL OTHER EQUIPMENT INSTALLED IN THE CEILING SYSTEM. VERIFY MOUNTING HEIGHTS AND FINISHES WITH ARCHITECT PRIOR TO ROUGH-IN.
- REFER TO THE POWER PLANS FOR LOCATIONS OF ELECTRICAL EQUIPMENT.
- PROVIDE (2) ADDITIONAL #12 CONDUCTORS FOR ALL 0-10V DIMMING CIRCUITS.

**POWER GENERAL NOTES**

- VERIFY EXACT LOCATIONS OF HVAC AND PLUMBING EQUIPMENT, CONDUIT STUB-UPS AND POWER CONNECTIONS PRIOR TO ROUGH-IN.
- VERIFY EXACT LOCATION, MOUNTING HEIGHTS AND CONDUIT ROUTING FOR ALL THERMOSTATS, TEMPERATURE SENSORS, HUMIDISTATS AND CO<sub>2</sub> SENSORS PRIOR TO ROUGH-IN.
- REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR ADDITIONAL ELECTRICAL REQUIREMENTS. COORDINATE PROVISIONS FOR ALL CONTROL CONDUIT AND WIRING AS REQUIRED FOR INTERLOCKING OF FANS, MOTORS, ETC. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- MOUNT DEVICES INSTALLED ON EQUIPMENT ON NON-REMOVABLE PANEL. COORDINATE LOCATION PRIOR TO COMMENCING ROUGH-IN WORK.

**LIGHTING KEY NOTES**

- MAINTAIN CIRCUITING TO EXISTING EGRESS/EXTERIOR LIGHTING.

**POWER KEY NOTES**

- PROVIDE CONNECTION TO DOOR OPENER INCLUDING ALL CONTROLS, CONDUITS, WIRING AND FINAL CONNECTIONS FOR A COMPLETE OPERATIONAL DOOR OPENING SYSTEM. COORDINATE REQUIREMENTS WITH DOOR MANUFACTURER.
- COORDINATE ALL ELECTRICAL REQUIREMENTS WITH OVERHEAD DOOR MANUFACTURER. PROVIDE LOCAL DISCONNECT FOR EQUIPMENT.
- PROVIDE POWER FOR KELLEY HYDRAULIC DOCK LEVELER AND ASSOCIATED CONTROLS. PROVIDE (2)#10 AND (1)#10G IN 1/2" CONDUIT FOR DOOR MOTOR. PROVIDE (2)#12 AND (1)#12G IN 1/2" CONDUIT FOR CONTROL PANEL. COORDINATE EXACT REQUIREMENTS WITH MANUFACTURER SPECIFICATIONS PRIOR TO BID.
- PROVIDE JUNCTION BOXES FOR EXTERIOR DOCK DOOR CONNECTIONS. COORDINATE EXACT REQUIREMENTS WITH MANUFACTURER SPECIFICATIONS PRIOR TO BID.

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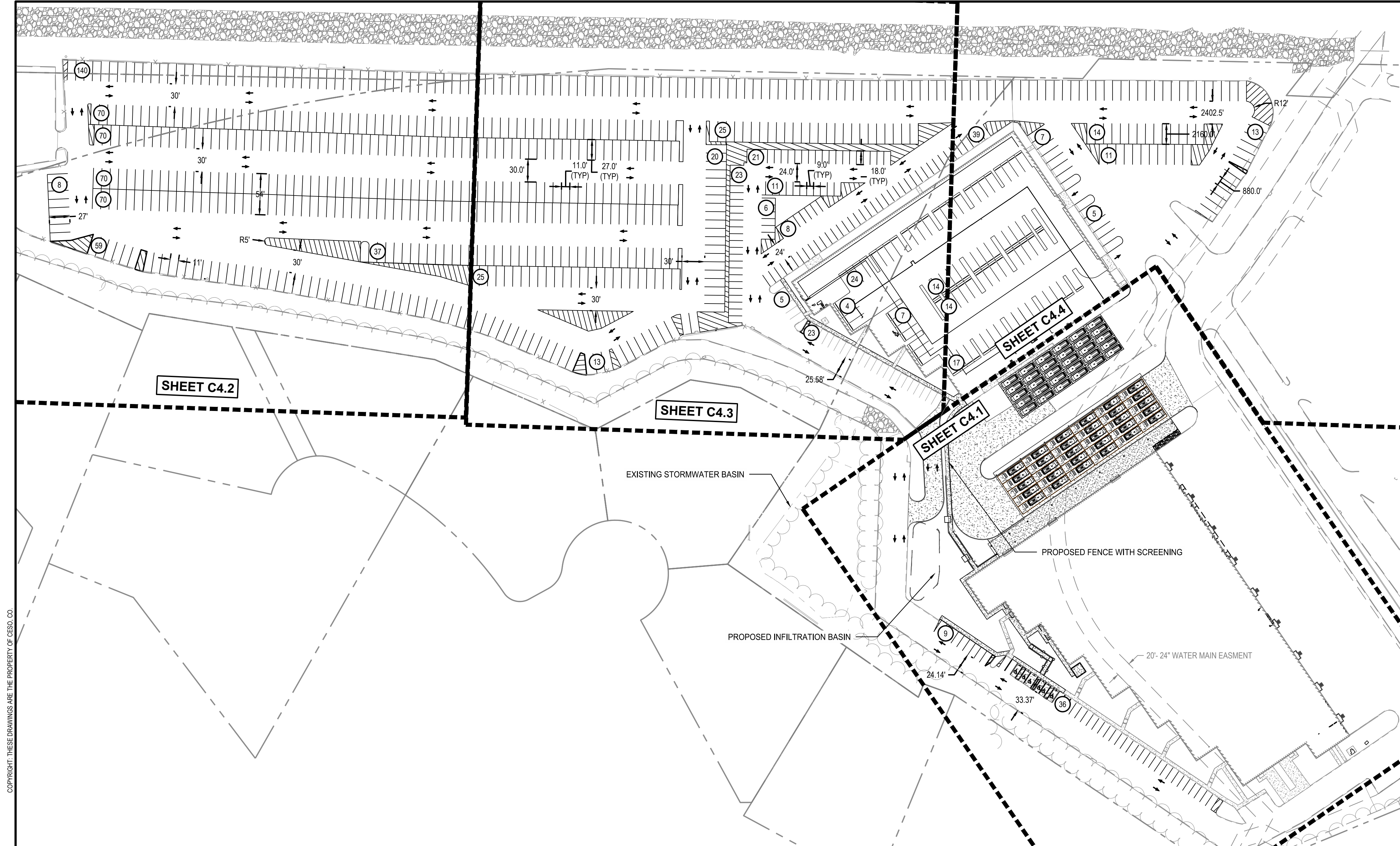
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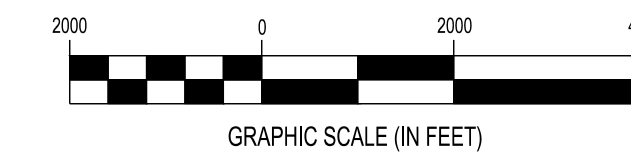
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**01 OVERALL LIGHTING & POWER PLAN - BUILDING 400**  
1/16"=1'-0"





VICINITY MAP  
1" = 2,000'



ZONING INFORMATION			
LOCATION: 200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913			
PARCELS: 65.18-1-1, 65.18-1-22, 70.06-1-1.12			
ZONE: (LO) LABORATORY-OFFICE DISTRICT			
USE: DISTRIBUTION CENTER			
LOT AREA: ± 37.61 ACRES (± 1,638,292 SF)			
ADJACENT ZONING:			
NORTH: LABORATORY-OFFICE (LO), LABORATORY OFFICE (LO)			
SOUTH: LOW DENSITY RESIDENTIAL (R-40), LABORATORY OFFICE (LO)			
EAST: LIGHT INDUSTRIAL OFFICE (LIO), LIGHT INDUSTRIAL (LI)			
WEST: LOW DENSITY RESIDENTIAL (R-40)			
ITEM	REQUIREMENTS	EXISTING	PROPOSED
MINIMUM FRONT BUILDING SETBACK	100 FEET	298.5 FEET	---
MINIMUM SIDE BUILDING SETBACK	100 FEET	70.7 FEET	---
MINIMUM REAR BUILDING SETBACK	100 FEET	133.7 FEET	---
MAXIMUM FLOOR RATIO	0.4	0.1	---
BUILDING SIZE	NOT SPECIFIED	175,193 SF	---
BUILDING HEIGHT	± 17.5 FEET	33 FEET	---
PARKING REQUIREMENTS	AT LEAST 1 SPACE PER 200 SF OF GROSS FLOOR AREA = 876 SPACES	85 SPACES	183 SPACES (ASSOCIATE)
MINIMUM ACCESSIBLE STALLS	6 SPACES FOR 151 - 200 TOTAL PROVIDED SPACES, 1 VAN	2 SPACES	6 SPACES (1 VAN)
MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET	9 FEET X 18 FEET	9 FEET X 19 FEET MIN.
MINIMUM AISLE WIDTH	22 FEET	24 FEET	24 FEET
MINIMUM PARKING SETBACK	25 FEET	± 60 FEET	± 87 FEET

**SITE NOTES**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL NEW YORK ONE CALL AND ALL UTILITY COMPANIES TO SCHEDULE ANY UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. ALL UTILITIES SHALL BE REMOVED AND/OR RELOCATED PER THE SPECIFICATIONS OF THE UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF RAMPS.
- ALL DISTURBED AREAS ARE TO RECEIVE 6" OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF THE CURB OR EDGE OF PAVEMENT, AS APPLICABLE, UNLESS OTHERWISE NOTED.
- PROVIDE STRIPING AS SHOWN. PARKING STALLS SHALL BE PAINTED WITH 4" WHITE, WIDE LINES.
- REFER TO SIGNAGE PLAN FOR PROPOSED SIGNAGE.
- REFER TO MECHANICAL PLANS FOR EQUIPMENT LAYOUT.
- REFER TO ELECTRICAL PLANS FOR ELECTRICAL WORK.
- REFER TO ORIGINAL SURVEY PROVIDED BY BLEW & ASSOCIATES, DATED 10/31/2019.

PARKING	
ADA SPACES	= 6 SPACES (1 VAN)
STANDARD SPACES (9' x 18')	= 175
TOTAL ASSOCIATE SPACES	= 181
VAN SPACES (11' x 27')	= 737 (80 INTERIOR)
LOADING ZONES (12' x 60')	= 5

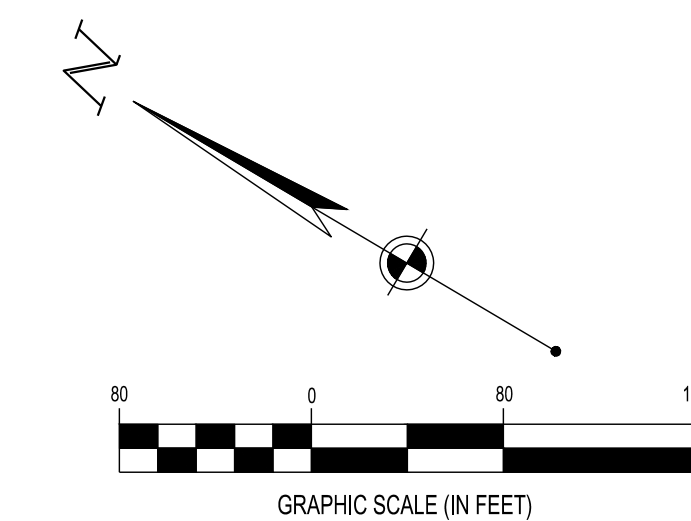
**LEGEND**

- EXISTING**  
REFER TO TOPOGRAPHIC SURVEY
- PROPOSED**
- PROPERTY BOUNDARY
  - LIMIT OF WORK
  - PROPOSED CONCRETE
  - PARKING COUNT

**FLOODPLAIN DESIGNATION:**  
ACCORDING TO F.I.R.M. NO. 36087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	816832.73 N, 641443.82 E
BM 2	5 / 8" REBAR	71.22 FT	818739.46 N, 641528.88 E

**SURVEY (DATED 10/31/2019) BY:**  
BLEW & ASSOCIATES, PA  
3825 N. SHILOH DRIVE  
FAYETTEVILLE, AR 72703  
PHONE: (479) 582-1883  
CONTACT: PAXTON SINGLETON  
  
CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 OR 1 (800) 272-4480 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811.

NO.	DATE	REVISION DESCRIPTION
0	03/12/20	FOR PERMIT

**DELIVERY STATION**

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913



ISSUE: FOR PERMIT  
DATE: 03/12/20  
JOB NO.: 757184  
SCALE: 1" = 80'  
DESIGN: T. LEJA  
DRAWN: S. BAILEY  
CHECKED: J. KOCINSKI  
DRAWING TITLE

**OVERALL SITE PLAN**

SHEET NO.  
C4.0