175 Montrose West Ave, Suite 400 Akron, OH 44321 330.665.0660 www.cesoinc.com



May 7, 2020

RE: Exterior Improvements - 400 Oritani Drive, Orangetown, NY 10913 - Project Narrative

The Exterior Improvements 400 Oritani Drive project documents scope of work includes:

- 1) THE ADDITION OF (2) NEW OVERHEAD DOOR OPENINGS ON THE NORTH ELEVATION;
- 2) DOCK DOOR MODIFICATIONS ON THE EAST ELEVATION;
- 3) NEW/MODIFIED STOREFRONT ENTRANCES; AND
- 4) NEW PAINTING OF EXISTING EXTERIOR FINISHES



OFFICE OF BUILDING, ZONING, PLANNING, ADMINISTRATION AND ENFORCEMENT TOWN OF ORANGETOWN

20 Greenbush Road Orangeburg, N.Y. 10962

Jane Slavin, R.A. Director

12-31-18-CCC

(845)359-8410

Fax: (845) 359-8526

Liz DeCort

Cheryl Coopersmith

ARCHITECTURE AND COMMUNITY APPEARANCE BOARD OF REVIEW REFERRAL LETTER

Amazon.com Services, LLC	Date: May 11, 2020
400 Oritani Drive	
Blauvelt, NY	
70.06-1-1.12 #50003	
	Re:
	Chapter 2, Section 2-4
	Requires A.C.A.B.O.R.
	Approval
at the bottom the reason for denial.	ch, can assist you in the preparation necessary to appear ext 4330 or coopersmith@orangetown.com
Sincerely,	
Jane St.	<u> </u>
Signature of Director	Date
NOTE: PLEASE KEEP FOR YOUR RECORDS	CC: Rosanna Sfraga

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE. TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.

APPLICATION FOR BUILDING / DEMOLITION PERMIT TOWN OF ORANGETOWN

			e: (845) 359-8410 Fax: (845) 359-8526
ZONE:	OF	FICIAL USE ONLY	ACREAGE:
Inspector:	Date App	Received: 5-11-20	Received By: Mall
Permit No	50004	Date Issued:	
CO No		Date Issued:	
Permit Fee: Parmit 4	9986k#_	Paid By	
GIS Fee: \$190	Ck#(0025 Paid By	Batska Censtruction
Stream Maintenance Fee	Ck #	Paid By	
			Paid By
1° 6 mo. Ext.:	Ck #	Exp. Date:	Paid By
2 6 mo. Ext.:	CK #	Exp. Date:	Paid By
		PLICANT COMPL	
Note PAGES 2, 3 and PAGES	: See inside fo	or instructions for comp	leting this application, 3 & 4 must signed by the applicant.
			5 3 & 4 must signed by the applicant.
Property Location: 400 Oritani		1	1 12
Property Owner: AG-OE 400 O	ritani Drive Ow	ner. LLC	Lot: 1.12
), Woodbridge, NJ 07095	
Email: nvasquez@onxyeo			Phone #: 732.850.5689
Lessee (Business Name): Ama		es, LLC	Filotie #
		th, Seattle, Washington 9810	09
Email: wthoamzn@amaz			001.505.5001
Type of Business /Use: Delive			
Contact Person: Chad Haponek			_Relation to Project: Project Manager
Email: haponek@cesoine	c.com		Phone#: 330.396.5687
Architect/Engineer: Benjamin	Bell		NYS Lic #_31977
Address: 1305 NE McCl		Bentonville, AR 72712	Phone#: 479.271.8058
Builder/General Contractor: T	BD		RC Lic #
TDD			
			RC Lic #
Address:			Phone#:
Electrician: TBD			RC Lic #:
Heat/Cooling: TBD			
			RC Lic#:
Existing use of structure or la			i none#
			nings on the North elevation, modification of
			xisting storefront systems and the addition of
storefront entrance on the West ele	vation, and new	painting of existing exterio	r finishes.
Proposed Square Footage: 75	,607 SF	Estimated Constru	uction Value (\$): \$1,377,000
BUI	LDING DEPA	ARTMENT COMPLETE	S BELOW
PLANS REVIEWED:			
PERMIT REFERRED / DENIED	FOR: <u> </u>	2 CHASTER 2, SU 5-11-2	

APPLICATION FOR BUILDING/DEMOLITION PERMIT

APPLICANT MUST COMPLETE OR APPLICATION WILL NOT BE ACCEPTED

	ING BULK REQU	JIREMENTS	se: Warehouse/Distribution
Zone: Lo (Laboratory-Office District)	Group: X Required	Existing	Proposed
Floor area ratio	0.40	0.11	0.11
Lot area	2 acres	3.347 acres	3.347 acres
Lot width	300'	50'	50'
	150'	25'	25'
Street frontage	100'	100' +	100' +
Front yard setback		100' +	102.5'
Side yard setback	100'		
Total side yard setback	200'	302.5'	302.5'
Rear yard setback	100'	1113.0'	113.0'
Maximum building height	3in./ft. from lot line	36' +/-	36' +/-
Number of stories: Co		Occupand	cy Class: S-1
Zoning Chart Information Completed I 1. Sewage: (circle one) Town			
3. Are there any renters, tenants 4. Are there any other building p 5. Is the property in a flood plain FFIDAVIT state of New York)	permits on this property	/? YES I NO	
own / Village of	architect builder or age blicant) is duly authorize are true to the best of h pplication and in the plan all other applicable laws bed in this application v	ent of the owner) in fee of ed to make this applicated his/her knowledge and be his and specifications filed as ordinances and regulations	tion and that the stateme elief, and that the work will I therewith, and in accordal ions of the municipality. I a
entificate of Occupancy of Germodic St. 2	отприансе.	Signatu	re and Mailing Addre
		I- Ru	
		ENE DYM	ne
		6 Judson	AV 2
		ardsley 1	NY
SWORN to before me this	day of		, 20
Vitness: If not witnessed by Building Department pole equired.)	ersonnel, Notary signatu	re is Notary Pul	blic
	OFFICIAL USE (ONLY:	
Checked by:			
Permit Granted for:			
Permit Granted 101:			
5			
Na .			
Cignatura			
Signature:	Dat		

Architectural & Community Appearance Board of Review Section: _____ Block: ____ Lot: ____ Date: Project Name: Project Address Questions to be answered and returned to ACABOR with your completed application. Please state the Brand Name, Type, Style, Model and color numbers, etc. Actual material samples will need to be produced at the hearing. 1. Roof Shingles: 2. Siding Type: 3. Windows/Trim/Rail/etc: 4. Any stone or rock being used on the structure and/or walkway(s): 5. Facade color schemes: 6. Any other specific materials being used in the construction and/or renovation: 7. Do you have a landscape drawing attached? If not, please explain. (An explanation could be that the applicant is not changing the existing landscape.) 8. Where will any exterior air conditioning units be placed? 9. What type of lighting will be used in this project? And where will the lighting be placed on the property? Please provide a description. 10. Other Important Site and/or Architectural Features:

5/8/2020

Name of Municipality: <u>TOWN OF ORANGETOWN</u> Date Submitted:_

2020 LAND USE BOARD APPLICATION

CommercialPlanning BoardZoning Board of Appeals Subdivision Number of Lots Site Plan	Residential Historical Board Architectural Board
Number of Lots	Alcinicotalai boala
Site Frain Conditional Use Special Permit Variance Performance Standards Review Use Variance Other (specify):	Consultation Pre-Preliminary/Sketch Preliminary Final Interpretation PERMIT#:
roject Name:	
treet Address:	
Section: Block:	Lot(s): Lot(s):
Section: Block: _ Section: Block: _ irectional Location: n the side of	Lot(s):, approximately
Section: Block: _ Section: Block: _ Irectional Location: The side of of the intersection of the intersection is section.	Lot(s): , approximately tion of, in th
Section: Block: _ Section: Block: _ irectional Location: n the side of	Lot(s): , approximately tion of, in th

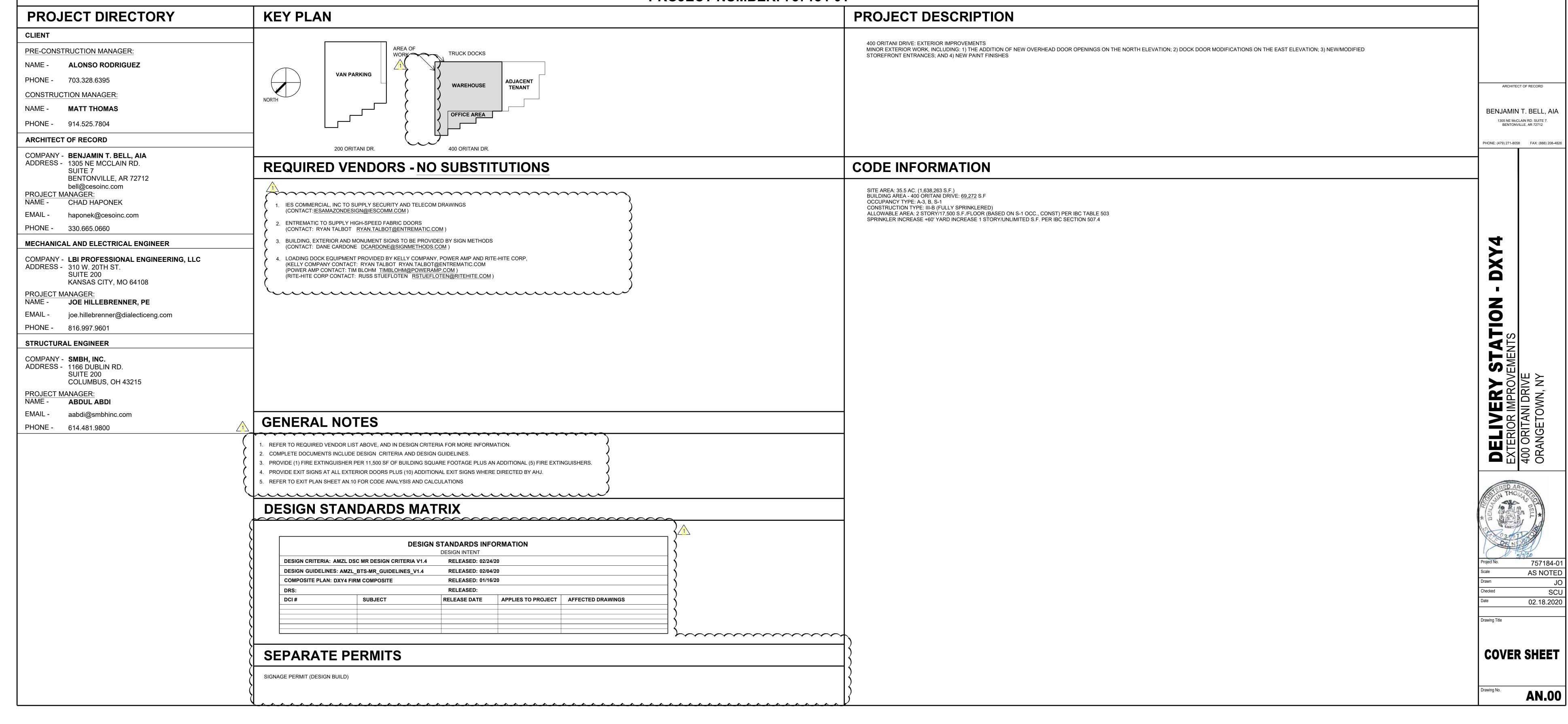
APPLICATION REVIEW FORM

\ddress:	Street Name & Number	(Post Office)	City	State	Zip Code
Property Own	ner:		Phor	ne #	
Address:					
	Street Name & Number	(Post Office)	City	State	Zip Code
ingineer/Arcl	hitect/Surveyor: _			Phone #	
ddress:	Street Name & Number	(Post Office)	City	State	Zip Code
Attorney:			_ Phone #		
\ddress:	Street Name & Number	(Post Office)	City	State	Zip Code
Contact Perso	on:		Phone #		
Address:					
	Street Name & Number	(Post Office)	City	State	Zip Code
	GENE	This property	CIPAL LAW is within 500 fe		
		(Check	(all that apply)		
		EW MUST BE D	ONE BY THE R	OCKLAND COUNTY (
PLANNIN State	G UNDER THE STAT or County Road	EW MUST BE D	OONE BY THE RO		
PLANNIN State Long	or County Road Path	EW MUST BE D	OONE BY THE RO MUNICIPAL LAW Stat	r, SECTIONS 239 L, I se or County Park unty Stream	
PLANNIN State Long	G UNDER THE STAT or County Road	EW MUST BE D	OONE BY THE RO MUNICIPAL LAW Stat	r, Sections 239 L, lee or County Park	
PLANNIN State Long Munic	or County Road Path	EW MUST BE D TE GENERAL N	OONE BY THE RO MUNICIPAL LAW Stat	r, SECTIONS 239 L, I se or County Park unty Stream	
PLANNIN State Long Munic	or County Road Path cipal Boundary f facility checked at	EW MUST BE D TE GENERAL N	OONE BY THE RO MUNICIPAL LAW Stat	r, SECTIONS 239 L, I se or County Park unty Stream	
PLANNIN State Long Munic List name(s) of	or County Road Path cipal Boundary f facility checked at	EW MUST BE D TE GENERAL N	OONE BY THE ROMUNICIPAL LAW State Country Cou	r, SECTIONS 239 L, I se or County Park unty Stream	M, N, AND NN .
PLANNIN State Long Munic List name(s) of Referral Agenc RC Hig RC Dra	e or County Road Path cipal Boundary f facility checked at cies: hway Department ainage Agency	EW MUST BE DITE GENERAL N	PONE BY THE ROMUNICIPAL LAW State Council Council RC Division RC Dept. 0	r, SECTIONS 239 L, it is e or County Park inty Stream inty Facility of of Environmental Ref Health	sources
PLANNIN State Long Munic List name(s) of Referral Agenc RC Hig RC Dra NYS De	e or County Road Path cipal Boundary f facility checked at cies: hway Department ainage Agency ept. of Transportation	EW MUST BE DITE GENERAL N	PONE BY THE ROMUNICIPAL LAW Stat Cou Cou RC Divisior RC Dept. o NYS Dept.	e or County Park inty Stream inty Facility of Environmental Ref Health of Environmental Con	sources
PLANNIN State Long Munic List name(s) of Referral Agenc RC Hig RC Dra NYS De	e or County Road Path cipal Boundary f facility checked at cies: hway Department ainage Agency	EW MUST BE DITE GENERAL N	PONE BY THE ROMUNICIPAL LAW Stat Cou Cou RC Divisior RC Dept. o NYS Dept.	r, SECTIONS 239 L, it is e or County Park inty Stream inty Facility of of Environmental Ref Health	sources



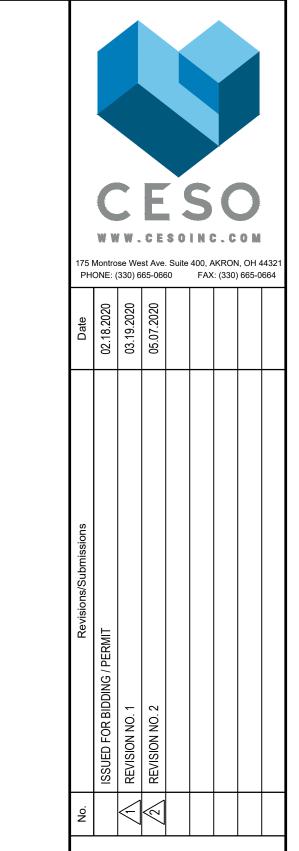
DXY4 DELIVERY STATION EXTERIOR IMPROVEMENTS 400 ORITANI DRIVE ORANGETOWN, NY 10913

PROJECT NUMBER: 757184-01



SHEET INDEX LIST

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00 GENERAL		()	1	•			
AN.00	COVER SHEET		05/07/20	03/19	/20				
AN.01	SHEET INDEX	(05/07/20	03/19	20	05/07/20	/		
AN.20	GENERAL NOTES & ABBREVIATIONS	- 1	05/07/20	03/19	/20		7		
AN.30	ACCESSIBILITY DETAILS	1	05/07/20)					
03 ARCHITEC	TURE	(7					
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A4.10	EXTERIOR ELEVATIONS		05/07/20	03/19	/20 [\]				
A6.10	DOORS & HARDWARE	(05/07/20	03/19	20	05/08/20			
A6.11	STOREFRONT & DOOR DETAILS	-	05/07/20	03/19	/20 [\])		
A6.12	BUILDING SIGNAGE AND GRAPHICS DETAILS	(05/07/20)		05/07/20			
A7.10	SHELL DETAILS	- 1	05/07/20	03/19	20	05/07/20			
05 STRUCTUR	AL	1	`)	- 1				
S0.01	GENERAL NOTES	(05/07/20	03/19	20				
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S2.01	PARTIAL ROOF AND CANOPY FRAMING PLAN		05/07/20	03/19	/20				
S3.01	FOUNDATION SECTIONS AND DETAILS		05/08/20	03/19	20				
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E1.1	LIGHTING & POWER PLAN	-	05/07/20			05/07/20			
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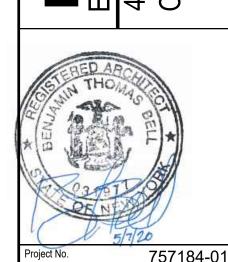


ARCHITECT OF RECORD

BENJAMIN T. BELL, AIA 1305 NE McCLAIN RD. SUITE 7. BENTONVILLE, AR 72712

PHONE: (479) 271-8058 FAX: (888) 208-4826

DXY4 **DELIVERY STATION -**EXTERIOR IMPROVEMENTS
400 ORITANI DRIVE
ORANGETOWN, NY



AS NOTED SCU

02.18.2020

SHEET INDEX

AN.01

GENERAL NOTES

- 1. THE WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODE AND OTHER ORDINANCES, CODES AND REGULATIONS LISTED IN THE SPECIFICATIONS OR ON THE DRAWINGS, AND REQUIRED BY LOCAL BUILDING AUTHORITIES. THE GOVERNING CODES, RULES AND REGULATIONS ARE COLLECTIVELY REFERRED TO AS "THE CODE." THE CONTRACTOR SHALL REPORT ANY INCONSISTENCIES, CONFLICTS OR OMISSIONS DISCOVERED TO THE ARCHITECT FOR INTERPRETATION
- PRIOR TO PERFORMING THE WORK. THE GENERAL CONTRACTOR SHALL CONTACT BUILDING MANAGEMENT TO DETERMINE THE RULES OF THE BUILDING RELATIVE TO CONSTRUCTION; WHEN AND HOW DELIVERIES CAN BE MADE. WHAT PHASES AND TYPES OF CONSTRUCTION MAY BE DONE ON REGULAR OR OVERTIME BASIS, AND IN GENERAL ANY SPECIAL BUILDING REQUIREMENTS WHICH WILL AFFECT THE COST OF ALL WORK BORNE BY THE GENERAL CONTRACTOR. ALL WORK SHALL CONFORM TO ALL BASE BUILDING STANDARD SPECIFICATIONS AND BUILDING REGULATIONS,
- WHICH THE CONTRACTOR SHALL OBTAIN PRIOR TO SUBMISSION OF BID. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUB-CONTRACTORS' RECEIPT OF COMPLETE SETS OF THESE DOCUMENTS, AS WELL AS ALL FUTURE ADDENDA, BULLETINS, FIELD DIRECTIVES AND CHANGE
- 4. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING MANAGEMENT THE STORAGE OF MATERIALS AND SHALL PROVIDE PROTECTION AS NECESSARY TO PREVENT VANDALISM AND LOSS OF MATERIALS BY THEFT OR DAMAGE SUSTAINED DUE TO EXPOSURE TO INAPPROPRIATE ENVIRONMENTAL CONDITIONS AND WILL REPAIR & REPLACE DAMAGE OR LOSSES AT THE CONTRACTOR'S EXPENSE WITHOUT CHARGE TO THE OWNER.
- WHERE ADJACENT AREAS BEYOND THE IMMEDIATE CONSTRUCTION AREA WILL BE OCCUPIED DURING THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL: A. CONFORM TO OWNERS AND TENANT REQUIREMENTS FOR HOURS OF CONSTRUCTION OPERATIONS, ACCESS TO TENANT SPACES AND ALLOWABLE NOISE LEVEL DURING TENANT BUSINESS HOURS B. CONSTRUCTION OPERATIONS SHALL NOT BLOCK HALLWAYS ACCESSIBLE
- ROUTES OR MEANS OF EGRESS FOR TENANTS OF BUILDING. C. CONSTRUCTION OPERATIONS SHALL NOT CAUSE INTERRUPTIONS OF ELECTRICAL SERVICES TO THE TENANTS OF THE BUILDING WITHOUT PRIOR NOTIFICATION AND APPROVALS. PROPERLY PROTECT ALL FLOORS, MAIL CHUTES AND STAIR DOORS IN PUBLIC AREAS SUBJECT TO CONSTRUCTION TRAFFIC. SHOE WIPING MATS WILL BE INSTALLED AT ALL OPENINGS BETWEEN CONSTRUCTION AREAS AND ALL PUBLIC SPACES. ALL ACTIVE AREAS SHALL BE KEPT CLEAN AND FREE FROM DEBRIS.
- D. ERECT AND MAINTAIN TEMPORARY BRACING, LIGHTS, DUSTPROOF PARTITIONS, BARRICADES, FENCES AND WARNING SIGNS AS NECESSARY TO PREVENT INJURY, NOISE, DUST AND INCONVENIENCE TO OTHER TENANTS, THE PUBLIC, AND TO PREVENT DAMAGE TO ADJACENT CONSTRUCTION WHICH IS TO BE LEFT
- E. CONTRACTOR SHALL FOLLOW THE RECOMMENDED CONTROL MEASURES OF THE SHEET METAL AND AIR CONDITIONING NATIONAL CONTRACTORS ASSOCIATION (SMACNA) IAQ GUIDELINES FOR OCCUPIED BUILDINGS UNDER CONSTRUCTION, 2ND EDITION 2007, ANSI/SMACNA 008-2008 (CHAPTER 3). PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE.
- F. IF PERMANENTLY INSTALLED AIR HANDLERS ARE USED DURING CONSTRUCTION, FILTRATION MEDIA WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8 - MUST BEUSED AT EACH RETURN AIR GRILLE G. IN AREAS WHERE NO IMMEDIATE ADJACENT SPACES (I.E. CORRIDORS), PROVIDE A ZIPWALL (OR SIMILAR) BARRIER SEPARATING THE CONSTRUCTION SPACE FROM THE OCCUPIED SPACE. IN AREAS WHERE LARGER SPACE ARE REQUIRED TO BE SEPARATE AND PORTIONS OF ROOMS ARE OCCUPIED, PROVIDE A TEMPORARY FRAMED PARTITION. FINISHED SIDE OF TEMPORARY WALL FACING
- ADJACENT OCCUPIED SPACE SHALL BE PAINTED TO LOOK SIMILAR TO THE ALL CUTTING, CHASING, DRILLING OR DEMOLITION OF WALLS, SLABS, ETC. REQUIRING THE USE OF JACKHAMMERS OR OTHER HEAVY HAND OR POWER TOOLS SHALL BE PERFORMED AFTER REGULAR BUSINESS HOURS ON AN OVERTIME BASIS IF NECESSARY, UNLESS THE BUILDING MANAGEMENT AND ANY AFFECTED TENANTS PROVIDE A WRITTEN WAIVER EXPRESSLY PERMITTING OTHERWISE.
- 7. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION, AS NECESSARY AND REQUIRED BY GOVERNING AGENCIES HAVING JURISDICTION, UNTIL CLIENT ACCEPTANCE OF THE PREMISES.
- THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROVISION AND MAINTENANCE OF ALL BRACING, SHORING, ENCLOSURES, BARRIERS OR SCAFFOLDING REQUIRED TO PROVIDE A SAFE WORKING ENVIRONMENT AS DICTATED BY SITE CONDITIONS AND THE PROGRESS OF WORK. 9. DURING THE ENTIRE CONSTRUCTION PERIOD, ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED IN CONFORMANCE WITH LOCAL BUILDING CODE AND OTHER GOVERNING ENTITY

REQUIREMENTS. UNO, ALL EXISTING, SERVICES AND DEVICES SHALL REMAIN

- 10. THE CONTRACTOR SHALL PROTECT THE PROPERTY OF THE CLIENT AND THE BUILDING OWNER. INCLUDING, BUT IS NOT LIMITED TO, WINDOWS, FLOOR AND CEILING FINISHES, PUBLIC TOILETS, ELEVATORS, DOORS & BUCKS, ELECTRICAL AND AIR-CONDITIONING EQUIPMENT. THE CONTRACTOR SHALL PROTECT ADJOINING PROPERTY. DAMAGE CAUSED BY THE CONTRACTOR'S WORK OR WORKMEN MUST BE MADE GOOD. IN A TIMELY FASHION. PATCHING AND REPLACEMENT OF DAMAGED WORK SHALL BE PERFORMED AT THE COST OF THE CONTRACTOR.THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL SUB-CONTRACTORS. IF THE CONTRACTOR FAILS TO COMPLETE THE REPAIRS IN A TIMELY FASHION, SAID REPAIRS WILL BE MADE BY A CONTRACTOR SELECTED BY
- THE OWNER'S REPRESENTATIVE AND BACK CHARGED ACCORDINGLY. 11. THE CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS THE LANDLORD, THE TENANT, AND ARCHITECT AGAINST ANY AND ALL CLAIMS AND DEMANDS FOR THE DAMAGE TO THE PROPERTY OF ANY PERSON, FIRM OR INDIVIDUAL OR FOR PERSONAL INJURIES (INCLUDING DEATH) ARISING OUT OF, OR SUFFERED WHILE ENGAGED IN, OR CAUSED, IN WHOLE OR IN PART, BY THE EXECUTION OF THE WORK; THE CONTRACTOR SHALL WELL AND TRULY DEFEND THE LANDLORD, TENANT AND ARCHITECT AND SHALL PAY ALL MONIES AWARDED FOR SUCH DAMAGES OR INJURIES (INCLUDING DEATH), ALL COSTS INCLUDING ATTORNEY'S FEES SUSTAINED, AND SHALL OBTAIN A FULL ACQUAINTANCE AND RELEASE IN FAVOR OF THE LANDLORD, TENANT AND ARCHITECT, UNLESS SUCH LIABILITY RESULTS SOLELY FROM THE NEGLIGENCE OF THE LANDLORD, TENANT, ARCHITECT, ITS AGENTS OR EMPLOYEES.
- 12. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE PERFORMANCE OF ANY WORK, NOR FOR THE MEANS AND METHODS OF CONSTRUCTION CHOSEN BY THE CONTRACTOR OR ANY SUB-CONTRACTORS, NOR SHALL THE ARCHITECT GUARANTEE THE PERFORMANCE OF THEIR CONTRACTS.
- 13. THE CONTRACTOR SHALL PERFORM DAILY CLEANING OF THE JOB SITE DURING THE CONSTRUCTION PERIOD AND SHALL PROTECT FINISHED WORK FROM DAMAGE. IMMEDIATELY PRIOR TO TENANT OCCUPANCY, THE CONTRACTOR SHALL PERFORM FINAL CLEANING OF THE WORK AREA INCLUDING, BUT NOT LIMITED TO, WET WIPING OF FURNITURE, AND CASEWORK, WASHING AND WAXING OF VCT FLOORING AND THE VACUUMING OF CARPET. ALL CLEANING SHALL BE IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- 14. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS AND SHALL PERFORM SUCH MISCELLANEOUS WORK AS MAY BE NECESSARY FOR THEM TO COMPLETE THEIR WORK. IT IS EXPECTED THAT THE CONTRACTOR SHALL ALSO CLOSELY COORDINATE THE WORK WITH THAT OF ALL OTHER VENDORS RETAINED BY THE CLIENT TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT WORK PROCEEDS WITHOUT DELAY.
- 15. BIDDERS, BEFORE SUBMITTING PROPOSALS, SHALL VISIT AND CAREFULLY EXAMINE THE AREA AFFECTED BY THE WORK TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND THE DIFFICULTIES THAT WILL AFFECT THE EXECUTION OF THE WORK. SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE, AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT, OR MATERIALS, REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY FORESEEN HAD SUCH AN EXAMINATION BEEN MADE. THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE AND REPORT ANY AND ALL DISCREPANCIES AND/OR UNUSUAL CONDITIONS TO THE ARCHITECT PRIOR TO FINALIZING BIDS OR COMMENCEMENT OF ANY CONSTRUCTION. 16. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ANY AND ALL LIMITATIONS.
- EXCLUSIONS, OR MODIFICATIONS TO THE PROJECT DURING THE BID SELECTIONS PERIOD. ANY AND ALL LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS NOT ITEMIZED IN THE BID PROPOSAL DOCUMENTS ARE PRESUMED "INCLUDED". IN WHICH CASE NO ADDITIONAL MONIES WILL BE ALLOCATED FOR THIS WORK.
- 17. EXISTING CONSTRUCTION AND DIMENSIONS SHOWN ARE PER EXISTING DRAWINGS. ALL EXISTING INFORMATION MUST BE VERIFIED IN THE FIELD. NEITHER THE OWNER NOR THE ARCHITECTS ARE RESPONSIBLE FOR ACCURACY OF EXISTING INFORMATION. EXISTING CONSTRUCTION CONDITIONS IN AREAS WHERE NEW WORK IS NOT PLANNED MAY BE NOT COMPLETELY SHOWN. 18. WITHIN ONE (1) WEEK (5 BUSINESS DAYS), OF THE AWARD OF THIS CONTRACT,
- PRIOR TO MOBILIZATION FOR ANY WORK, THE CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING CHRONOLOGICALLY THE PHASES OF THE WORK, AND ALL RELATED WORK FOR THE COMPLETION OF THE PROJECT. THIS SCHEDULE SHALL INDICATE ALL ORDERING LEAD TIMES, LENGTH OF TIME FOR EACH PHASE, ITS START AND COMPLETION, WITH A PROJECTED COMPLETION DATE. 19. CONTRACTOR AND SUBCONTRACTORS SHALL ATTEND JOB MEETINGS REQUIRED
- 20. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES! SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE. SEPARATE PERMITS, WHEN REQUIRED AND/OR WHEN WORK ITEMS ARE DESIGN/BUILD IN NATURE. SHALL BE OBTAINED BY THE CONTRACTOR FOR MECHANICAL, PLUMBING, FIRE SPRINKLERS, ELECTRICAL AND FIRE ALARM. DESCRIPTIVE, DETAILED DESIGN AND REQUIRED SUBMITTAL DOCUMENTS INFORMATION SHALL BE PROVIDED FOR REVIEW BY THE REGULATING AUTHORITIES AND BY THE OWNER/TENANT/ARCHITECT FOR APPROVAL PRIOR TO ANY WORK BEING PERFORMED. SEE SPECIFICATIONS FOR REQUIREMENT FOR
- DESIGN/BUILD FIRE SPRINKLER SYSTEM. SUBMIT PLAN TO AND OBTAIN PERMIT FROM THE AUTHORITY HAVING JURISDICTION FOR FIRE SPRINKLER SYSTEM INSTALLATION OR MODIFICATION. ALL WORK SHALL COMPLY WITH CURRENT GOVERNING CODES. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH CURRENT GOVERNING CODES, NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED AS TO PERMIT WORK WHICH IS NOT CONFORMING TO CURRENT GOVERNING CODES.
- 21. THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT. THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE 2003 EPA CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
- 22. ALL REQUIRED PERMITS MUST BE OBTAINED FROM THE FIRE DEPARTMENT PRIOR TO START OF CONSTRUCTION. 23. ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF
- THE CONTRACTOR, UON.

- 25. THE CONTRACTOR SHALL PAY THE EXPENSES FOR ALL TRANSPORTATION. HOISTING AND ELEVATOR USE CHARGES ON ALL MATERIALS OR EQUIPMENT TO THE POINT OF USE, AND SHALL BE RESPONSIBLE FOR ALL UNLOADING, CHECKING AND STORAGE OF THE SAME IN CONNECTION WITH THIS CONTRACT. 26. OF THE INEVITABLE WASTE THAT IS GENERATED. AS MANY OF THE WASTE
- MATERIALS AS ECONOMICALLY FEASIBLE SHALL BE REUSED, SALVAGED, OR RECYCLED. WASTE DISPOSAL IN LANDFILLS SHALL BE MINIMIZED. CONTRACTOR SHALL COORDINATE WASTE MATERIALS HANDLING AND SEPARATION FOR ALL TRADES. CONTRACTOR SHALL PROVIDE SEPARATION, HANDLING, TRANSPORTATION, RECYCLING, SALVAGE, AND LANDFILLING FOR ALL DEMOLITION AND WASTE MATERIALS. RECYCLABLE MATERIALS CAN BE COMMINGLED IN DUMPSTERS ON-SITE AS LONG AS PROVISION IS MADE FOR STATION MUST PROVIDE DOCUMENTATION REPORT TYPES OF MATERIALS
- HAULING TO A TRANSFER STATION WHERE SEPARATION WILL OCCUR. TRANSFER SEPARATED BY LOAD AND PERCENTAGE OF EACH LOAD. FINAL DESTINATION OF SORTED MATERIALS MUST ALSO BE REPORTED. DIVERSION GOALS: A MINIMUM 75% OF TOTAL PROJECT WASTE SHALL BE DIVERTED FROM LANDFILL. THE FOLLOWING WASTE CATEGORIES, AT A MINIMUM, SHALL BE DIVERTED FROM
- A. CLEAN DIMENSIONED WOOD, PALLET WOOD B. PLYWOOD, OSB, AND PARTICLE BOARD C. CONCRETE
- D. CARDBOARD, PAPER, PACKAGING E. METALS F. GYPSUM DRYWALL (UNPAINTED) G. ACOUSTIC TILE
- H. PAINT I. GLASS J. PLASTICS
- K. CARPET AND PAD L. BEVERAGE CONTAINERS 27. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS, MAINTAIN AND PAY ALL COSTS FOR TEMPORARY WATER, PLUMBING, POWER, LIGHTING, HEATING OR VENTILATION REQUIRED TO PROPERLY CONDUCT THE WORK.
- 28. DIMENSIONS ARE TO FACE OF STUD, CONCRETE, OR MASONRY UON. DO NOT SCALE THESE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN. SHOULD ANY DIMENSIONAL DISCREPANCIES BE ENCOUNTERED, CLARIFICATIONS SHALL BE OBTAINED FROM THE OFFICE OF THE ARCHITECT. 29. LARGE SCALE DETAILS SHALL GOVERN OVER SMALLER SCALE PLANS AND
- ELEVATIONS. 30. INSTALL ALL EQUIPMENT AND MATERIALS PER MANUFACTURERS' RECOMMENDATIONS. ANY DIFFICULTIES ARE TO BE REPORTED TO THE
- ARCHITECT IMMEDIATELY. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL WARRANTEE ALL WORK PERFORMED BY HIM DIRECTLY FOR A MINIMUM PERIOD OF ONE (1) YEAR AS SPECIFIED IN THE CONSTRUCTION CONTRACT. ALL DEFECTS OCCURRING IN THE GUARANTEED PERIOD SHALL BE CORRECTED AT NO ADDITIONAL COST. 32. THE CLIENT, ARCHITECT, CONSULTANTS AND ALL INSPECTORS FROM PERTINENT
- AGENCIES SHALL BE PERMITTED ACCESS TO THE JOB SITE AT ALL TIMES DURING NORMAL WORKING HOURS. 33. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO EXECUTE ALL WORK, EXCEPT WHERE NOTED AS NOT IN
- CONTRACT (N.I.C.). MINOR DETAILS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK, SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, UNLESS OTHERWISE AGREED UPON. WHERE THE CONTRACT, CONSTRUCTION NOTES OR DRAWINGS CALL FOR ANY WORK OF A MORE STRINGENT NATURE THAN THAT REQUIRED BY THE BUILDING CODE, OR ANY OTHER ENTITY HAVING JURISDICTION OVER THE WORK, THE WORK OF THE MORE STRINGENT NATURE CALLED SHALL BE FURNISHED IN ALL
- FOR ALL MATERIALS PURCHASED THE CONTRACTOR SHALL FURNISH MATERIALS WHICH YIELD THE HIGHEST PERCENT OF PRE-CONSUMER (POST-INDUSTRIAL) AND POST-CONSUMER RECYCLED CONTENT. THE CONTRACTOR SHALL FURNISH THESE MATERIALS WITHIN THE PARAMETERS OF THE BUDGET AND SHALL NOT PURCHASE ANY COST-ADDING MATERIAL OR PAY A PREMIUM (MORE THAN FAIR MARKET VALUE) WITHOUT PROJECT MANAGER AND OWNER ACKNOWLEDGEMENT AND APPROVAL
- FOR ALL MATERIALS PURCHASED THE CONTRACTOR SHALL FURNISH MATERIALS MANUFACTURED WITHIN A 500 MILE RADIUS OF THE PROJECT SITE WHERE AVAILABLE, WITHIN BUDGET, WITHIN FAIR MARKET VALUE AND DO NOT PRESENT RISK TO THE PROJECT SCHEDULE.
- FOR ALL NEW WOOD PRODUCTS INCLUDING BUT NOT LIMITED TO PARTICLE BOARD, MDF, PLYWOOD, OSB AND WOOD DOORS, THE CONTRACTOR SHALL FURNISH MATERIALS THAT CONTAIN NO ADDED UREA-FORMALDEHYDE. 38. DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT FIELD CONDITIONS. REQUIRED
- MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK. 39. ALL WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER BY MECHANICS AND TRADES PERSONS SKILLED IN THEIR RESPECTIVE TRADES AND IN ACCORDANCE WITH THE BEST TRADE PRACTICES. ALL SPECIFIED MATERIALS & EQUIPMENT REQUIRED TO PERFORM THE WORK
- 40. THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY AND DELIVERY TIMES FOR UPON RECEIPT OF THE CONTRACT DOCUMENTS. SHOULD THE AVAILABILITY OF SPECIFIED ITEMS POSE A DELAY TO THE ON-TIME COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND PROPOSE AN EQUIVALENT SUBSTITUTION TO BE REVIEWED BY THE ARCHITECT IF SUCH A DELAY IS NOT ACCEPTABLE.
- 41. SUBSTITUTION OF ALL EQUALS SHALL BE ONLY AS APPROVED BY THE ARCHITECT. WHERE THE TERM "OR EQUAL" IS USED THE ARCHITECT SHALL BE THE SOLE JUDGE OF EQUALITY BASED UPON THE INFORMATION FURNISHED BY THE CONTRACTOR. SUBSTITUTIONS MUST BE ACCEPTED IN WRITING BEFORE THEY MAY BE USED. 42. THE CONTRACTOR SHALL PREPARE SUBMITTALS FOR REVIEW BY THE
- ARCHITECT, FOR ALL MATERIALS AND EQUIPMENT SPECIFIED. IF THE CONTRACTOR, THE OWNER, OR THE OWNER'S REPRESENTATIVE SUBSTITUTES A MATERIAL, METHOD OF ATTACHMENT, REVISES A CONSTRUCTION DETAIL, OR IN ANY WAY ALTERS THE WORK SUCH THAT IT NO LONGER CONFORMS TO THESE DOCUMENTS, WITHOUT THE WRITTEN ACCEPTANCE OF THE ARCHITECT, SUCH ACTION WILL RELIEVE THE ARCHITECT OF ANY RESPONSIBILITY OR LIABILITY INCLUDING, BUT NOT LIMITED TO, AESTHETIC CONSEQUENCES, SUBSEQUENT FAILURE(S) AND PERSONAL OR PROPERTY DAMAGE ATTRIBUTABLE TO THIS
- 43. REVIEW OF A SPECIFIC ITEM SHALL NOT INCLUDE REVIEW OF AN ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. 44. SUBMITTALS THAT CONTAIN EXCESSIVE ERRORS OR ARE INCOMPLETE OR INADEQUATE MAY BE RETURNED WITHOUT ACTION. COSTS INCURRED FOR THE RESULTANT DELAYS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 45. REVIEW OF SUBMITTALS SHALL NOT RELIEVE THE CONTRACTOR OF OBLIGATIONS OR RESPONSIBILITIES FOR DEVIATIONS FROM THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS, UNLESS THE ARCHITECT IS NOTIFIED AND SPECIFICALLY APPROVES OF, THE DEVIATIONS AT THE TIME OF SUBMISSION.
- 46. REVIEW OF SUBMITTALS SHALL NOT RELIEVE THE CONTRACTOR'S OBLIGATION FOR COORDINATION NOR WAIVE RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SUBMITTALS, INCLUDING "FIELD MEASURE." 47. CHANGES IN THE SCOPE OF WORK OR IN CONSTRUCTION DETAILS, WHETHER
- DUE TO FIELD CONDITIONS OR OMISSIONS BY THE CONTRACTOR, ARCHITECT OR OWNER, SHALL BE DOCUMENTED BY THE ARCHITECT AND APPROVED, PRIOR TO EXECUTION. 48. THE PRESENCE OF A REPRESENTATIVE OF THE ARCHITECT ON THE JOB SITE DOES NOT IMPLY CONCURRENCE WITH OR THE APPROVAL OF ANY WORK. THE
- CONTRACTOR SHALL CALL TO THE ATTENTION OF THE ARCHITECT, IN WRITING, ALL SPECIFIC ITEMS FOR WHICH ARCHITECT'S REVIEW IS REQUIRED. 49. UPON SUBSTANTIAL COMPLETION OF WORK THE CONTRACTOR SHALL PREPARE A "PUNCHLIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK FOR REVIEW BY THE ARCHITECT. 50. THE CONTRACTOR SHALL MAINTAIN AT THE SITE, ONE RECORD COPY OF ALL

DRAWINGS, PERMITS, SUBMITTALS AND SAMPLES ON WHICH TO RECORD ALL

CHANGES DURING CONSTRUCTION. ACCESS TO THESE SHALL BE PROVIDED FOR

- THE USE OF ALL TRADES, CLIENT REPRESENTATIVES AND THE ARCHITECT. DURING ALL PHASES OF CONSTRUCTION. 51. DURING THE COURSE OF CONSTRUCTION, ACTUAL LOCATIONS SHALL BE INDICATED TO SCALE IN RED INK ON THE OWNERS RECORD DRAWINGS FOR ALL RUNS OF MECHANICAL AND ELECTRICAL WORK INCLUDING CONCEALED WORK WHICH DEVIATES FROM THE DRAWINGS. UPON COMPLETION OF THE PROJECT INCLUDING ALL PUNCHLIST ITEMS, THIS INFORMATION SHALL BE NEATLY
- TRANSFERRED BY THE CONTRACTOR TO A SET OF DRAWINGS, WHICH SHALL BE MARKED "AS BUILT SET" AND COPIES SHALL BE PROVIDED TO BOTH THE OWNER AND THE ARCHITECT. WITHIN THREE (3) WEEKS (15 BUSINESS DAYS) OF THE RECEIPT OF THE "AS BUILT SET." APPROVAL FOR FINAL PAYMENT TO THE CONTRACTOR SHALL BE GRANTED OR REASONABLE CAUSE SHOWN WHY SUCH APPROVAL HAS BEEN DENIED. 52. PRIOR TO THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL ASSEMBLE
- AND FURNISH THE CLIENT A COMPLETE SET OF MANUFACTURERS 'CATALOG, OPERATING INSTRUCTIONS, START-UP CHECK LISTS, MAINTENANCE INSTRUCTIONS AND SIMILAR DATA, AS WELL AS ALL GUARANTEE(S) FOR ALL EQUIPMENT AND OPERABLE DEVICES FURNISHED OR INSTALLED BY THE CONTRACTOR UNDER THIS CONTRACT, AND SHALL ORIENT AND INSTRUCT THE PERSONNEL DESIGNATED BY THE CLIENT IN THE OPERATION OF ALL SUCH EQUIPMENT. 53. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER IN THE EVENT THAT
- MOLD OR ASBESTOS IS UNCOVERED. THE OWNER SHALL RETAIN A QUALIFIED CONSULTANT WHO SHALL ARRANGE FOR THE PROMPT IDENTIFICATION. TESTING. TREATMENT, REMEDIATION AND STORAGE OF THE MOLD OR ASBESTOS AS REQUIRED BY LAW AND GOOD CONSTRUCTION PRACTICES. THE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR WORK RELATED TO THESE MATERIALS. 54. THE CONTRACTOR IS ADVISED THAT THE PREMISE HAS NOT BEEN TESTED FOR
- LEAD PAINT OR OTHER POTENTIALLY HAZARDOUS MATERIALS. THE CONTRACTOR SHALL USE ALL APPROPRIATE PRECAUTIONS IN THE CARRYING OUT OF ALL CONSTRUCTION OPERATIONS WHICH MIGHT DISTURB SUCH MATERIALS. ALL CONTRACTORS SHALL CARRY PROPERTY DAMAGE AND PUBLIC LIABILITY INSURANCE AS REQUIRED BY ANY GOVERNING AGENCIES HAVING JURISDICTION AND COMPLYING WITH STATUTORY REQUIREMENTS FOR DISABILITY AND

WORKMEN'S COMPENSATION.

ABBREVIATIONS

BUILDING SECTION TAG SHEET NUMBER DESIGNATION SHEET NUMBER - SHEET NUMBER SHEET GROUP

DISCIPLINE CODE DESIGNATION **NORTH ARROW GRAPHIC SCALE** — PLAN NORTH DESIGNATION

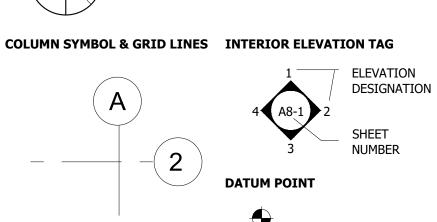
LEADER

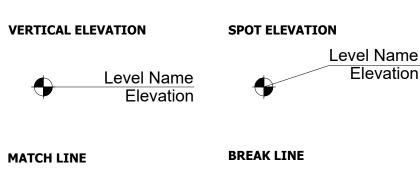
WINDOW TYPE TAG

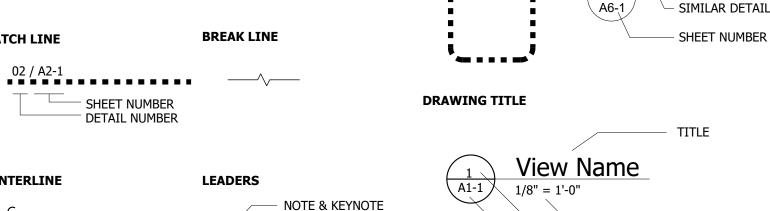
DRAWING REVISIONS

REVISION DELTA

AREA & EQUIPMENT







WALL TYPE LEGEND

TAG LEADER ROOM NAME AND NUMBER TAG PARTITION TAG

XX99 EQUIPMENT TAG

TAG NUMBER

(E) EXISTING TO REMAIN

(X) EXISTING TO BE REMOVED

EXISTING DOOR TO REMAIN

NEW / RELOCATED / MODIFIED DOOR

EXISTING DOOR TO BE REMOVED

OBJECT STATE

- SHEET NUMBER

DETAIL NUMBER

CENTERLINE

1i FURNITURE TAG



- SHEET NUMBER

DESIGNATION

SHEET NUMBER

PLAN OR DETAIL

DETAIL NUMBER

SHEET NUMBER

DESIGNATION

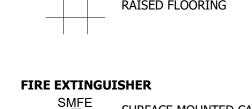
EXTERIOR ELEVATION TAG

PARTIAL PLAN & DETAIL TAG

= = EXISTING CONSTRUCTION TO BE REMOVED — — — OVERHEAD SOFFIT/UPPER CABINET

DEMOUNTABLE PARTITION (BY CONTRACTOR) DEMOUNTABLE PARTITION (BY VENDOR) GLAZING





SURFACE MOUNTED CABINET RECESSED CABINET

WALL MOUNTED W/O CABINET **PLUMBING FIXTURES**

MOUNTED

_____ SINK -COUNTER MOUNTED BI-LEVEL SINK - WALL MOUNTED WATER

UTILITY SINK

CORNER GUARD CHBD CHALK BOARD CAST IRON CONTROL JOINT CHAIN LINK FENCE CEILING CONSTRUCTION JOINT CAULKING CLOSET CLR CLEAR CONCRETE MASONRY UNIT CNTR COUNTER CI FANOUT CO COLUMN CONC CONCRETE CONSTR CONSTRUCTION CONT CONTINUOUS CORR CORRIDOR CPT CARPET KIT CERAMIC TILE CTR CENTER CY CUBIC YARD DOUBLE DEPT DEPARTMENT DRINKING FOUNTAIN(W/O COOLER) DIAMETER DIAG DIAGONAL DIMENSION DISP DISPENSER LKR DOOR OR DRAIN DRAWER DOWNSPOUT DISHWASHER DWG DRAWING MF77 EACH EXPANSION BOLT EXPANSION JOINT ELEVATION ELEC ELECTRIC MRGWB ELEV ELEVATOR MTD EM ENTRY MAT EMER EMERGENCY ENCL ENCLOSURE OR ENCLOSED ELECTRICAL PANEL ELECTRIC WATER COOLER NIC NO/# FQUAL EQ NOM EQUIP EQUIPMENT NTS ESTIMATE EXPANSION EXIST EXISTING EXT EXTERIOR

FIRE ALARM

FLOOR DRAIN

FOUNDATION

FLOOR

FLASHING

FLG

FIRE EXTINGUISHER

FACTORY FINISH

FCTY FACTORY

FURNISHED BY OTHERS

FURNISHED BY CONTRACTOR

INSTALLED BY CONTRACTOR

FIRE EXTINGUISHER CABINET

ABBREVIATIONS

ANGLE

PENNY

PLATE

ACT

CENTER LINE

DIAMETER OR ROUND

NUMBER OR POUND

PERPENDICULAR

ANCHOR BOLT

AIR CONDITIONING

ACOUSTICAL TILE

ACCESS FLOOR

AT/ABOVE FINISH FLOOR

APC ACOUSTICAL PANEL CEILING

ACOUSTICAL CEILING PANEL

ACOUSTICAL

ADHESIVE

ADJACENT

ALUMINUM

ALTERNATE

APPROX APPROXIMATE

ASPH ASPHALT

BETW BETWEEN

BLDG BUILDING

BSMT BASEMENT

BLK BLOCK

BRG

BOT

CBU

ARCH ARCHITECTURA

BOARD

BEAM

BEARING

BOTTON

BUR BUILT UP ROOF

CABINET

CEMENT

CERAMIC

CATCH BASIN

CEMENTITIOUS BACKER UNIT

CUBIC FEET PER MINUTE

CONDUCTIVE FLOOR TILE

ACCESS PANEL

FLUOR FLUORESCENT FACTORY MUTUAL FACE OF CONCRETE FACE OF FINISH FURNISHED BY OWNER INSTALLED BY CONTRACTOR FURNISHED BY OWNER **INSTALLED BY OWNER** FACE OF STUD FS FULL SIZE FTG FOOTING FURNISHED BY TENANT INSTALLED BY CONTRACTOR FURNISHED BY TENANT **INSTALLED BY OWNER** FURRING AUTHORITY HAVING JURISDICTION FUTURE FUTURE ROUGH IN ONLY GALV GALVANIZED GRAB BAR **GENERAL CONTRACTOR** GLASS OR GLAZING GLB GLU-LAM BEAM GROUND GRADE GYPSUM WALL BOARD HOSE BIB HOLLOW CORE OR HANDICAP HDR HEADER HARDWOOD HDWE HARDWARE HOLLOW METAL HORIZ HORIZONTAL HEIGHT HEATING HEATING/VENTILATION/ AIR CONDITIONING HOT WATER HEATER INTERNATIONAL BUILDING CODE INSIDE DIAMETER/ DIMENSION INTERNATIONAL ELECTRIC CODE COUNCIL INTERNATIONAL FIRE CODE INSULATED GLAZING INSULATED HOLLOW METAL

INCLUDE INSULATION INTERIOR

SPEC SPECIFICATION SQUARE STAINLESS STEEL SERVICE SINK STONE/STONE TILE STATION INTERNATIONAL PLUMBING CODE STC SOUND TRANSMISSION STD STANDARD STI STEFI STOR STORAGE KITCHEN STRL STRUCTURAL KNOCK OUT SUSP SUSPENDED KNEE SPACE SHEET VINYL SYM SYMMETRICAL LAMINATE LAVATORY TOWEL BAR LAG BOLT LINEAL FOO LENGTH I FFT HAND LINOLEUM

MULLION

NUMBER

NOMINAL

OVERALL

OFFICE

ON CENTER

DIMENSION

OVERHEAD

OPENING

OPPOSITE

PLYWOOD

PLAM

PLYWD

OPPOSITE HAND

PERPENDICULAR

PLASTIC LAMINATE

PLATE OR PROPERTY LINE

PREFINISHED

OUTSIDE DIAMETER/

T&B TOP & BOTTOM TG TEMPERED GLASS THK THICK TEMPERED INSULATED LOCKER GLAZING TOP OF LIGHT TOC TOP OF CONCRETE TOP TOP OF PAVEMENT MACHINE TOS TOP OF STEEL MATERIAL TOSL TOP OF SLAB MAXIMUM TOW TOP OF WALL MECHANICA TPD TOILET PAPER DISPENSER MF77ANINE TPH TOILET PAPER HOLDER MANUFACTURE TPTN TOILET PARTITION MANHOLE MINIMUM TS TUBULAR STEEL TV TELEVISION MIRROR TYP TYPICAL MISCELLANEOUS MOLDING MOISTURE RESISTANT GWB MOUNTED

UL UNDERWRITERS LABORATORY UNF UNFINISHED UON UNLESS OTHERWISE NOTED UR URINAL VAR VARIES NOT IN CONTRACT VCT VINYL COMPOSITION TILE VERT VERTICAL VEST VESTIBULE NOT TO SCALE VIN VINYL VWC VINYL WALL COVERING

WEST W/O WITHOUT WATER CLOSET WOOD WF WIDE FLANGE

PAINT SYSTEM

PSF POUNDS PER SQUARE FOOT

PRESSURE TREATED

PTD PAPER TOWEL DISPENSER

PTD/R PAPER TOWEL DISPENSER

PTN PARTITION

PVMT PAVEMENT

RAD RADIUS

R&S ROD & SHELF

REF REFERENCE

REFR REFRIGERATOR

REINF REINFORCED

REQ'D REQUIRED

RESIL RESILIENT

RUBBER

RAIN WATER

SOLID CORE

SCHD SCHEDULE

SHTG SHEATHING

SINK

SLR SEALER

SIMILAR

SECT SECTION

SNK

SCD SEAT COVER DISPENSER

SOAP DISPENSER

SQUARE FEET

SND SANITARY NAPKIN

DISPENSER

SANITARY NAPKIN

RECEPTACLE

REV REVISION

QUARRY TILE

RETURN AIR

ROOF DRAIN

REBAR REINFORCING BAR

RESILIENT BASE

RCP REFLECTED CEILING PLAN

RD/O ROOF DRAIN OVERELOW

ROUGH OPENING

RESILIENT TILE

RWL RAIN WATER LEADER

RIGHT HAND OR ROBE HOOK

AND RECEPTACLE

PTR PAPER TOWEL RECEPTACLE

POUNDS PER SQUARE INCH

WIRE GLASS WHSE WAREHOUSE WP WATER PROOF WR WATER RESISTANT WSCT WAINSCOT WT WEIGHT XFMR TRANSFORMER

YD YARD

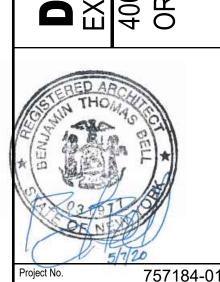
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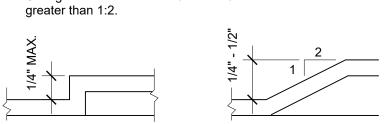
SCU 02.18.2020 **GENERAL**

AS NOTED

ABBREVIATION:

NOTES &

AN.20



ANSI/ICC A117.1 302.2 - CARPET

A. Carpet provided on a floor surface shall be securely attached; have a firm pad or backing, or no pad; and have a level loop, textured loop, level cut pile, or level cut/uncut pile texture. Maximum pile thickness shall be 1/2". Exposed edges of carpet shall be fastened to floor surfaces and have trim along the exposed edges.

ANSI/ICC A117.1 302.3 - GRATINGS A. If gratings are located in walking surfaces or along accessible routes, then they

shall have spaces no greater than 1/2" wide in one direction. B. If gratings have elongated openings, then they shall be placed so that the long dimension is perpendicular to the dominant direction of travel.

305 CLEAR FLOOR SPACE

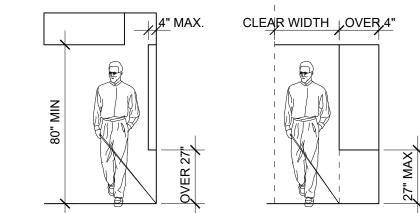
ANSI/ICC A117.1 305.2 - SIZE AND APPROACH

A. Minimum clear floor space for a wheelchair and occupant shall be 30" wide x 48" long. Clear floor space shall be centered on the element it serves.

307 PROTRUDING OBJECTS

ANSI/ICC A117.1 307 - GENERAL

A. Objects projecting from walls (for example, telephones) with their leading edges between 27"-80" above the finished floor shall protrude no more than 4" into walks, halls, corridors, passageways, or aisles. Freestanding objects mounted on posts or pylons may overhang 12" maximum from 27"-80" above the ground or finished floor. Protruding objects shall not reduce the clear width of an accessible route or maneuvering space.



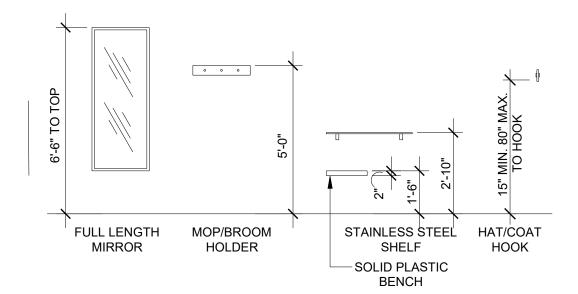
308 & 309 REACH RANGES AND OPERABLE PARTS

ANSI/ICC A117.1 308 - HEIGHT (REFERENCE DETAIL) A. Unobstructed front approach - 48" max. to 15" min. A.F.F. Controls located in

an alcove >24" deep must have 36" clear floor width. B. Unobstructed side approach - 48" max, to 15" min. A.F.F. Controls located in an alcove >15" deep must have 60" clear floor width. C. Electrical & communication system receptacles shall be mounted no less than 15" above the floor.

ANSI/ICC A117.1 309 - OPERABLE PARTS

Operable parts shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. The force required to activate operable parts shall be 5.0lbs maximum.



403 ACCESSIBLE ROUTE - WALKING SURFACES

IBC 1104 - LOCATION

A. At least one accessible route within the site shall be provided from public transportation stops, accessible parking and accessible passenger loading zones, and public streets or sidewalks to the accessible building entrance served.

ANSI/ICC A117.1 403.5 - CLEAR WIDTH A. The minimum clear width shall be 32" at a point for a max. length of 24" and 36"

continuously, per Table below.

ANSI/ICC A117.1 403.5.2 - PASSING SPACE A. If an accessible route is less than 60" in width, then passing spaces of at least 60"x60" shall be provided at 200' max. spacing. B. The minimum clear width for two wheelchairs to pass is 60"

ANSI/ICC A117.1 307.2 A. Accessible routes shall have 80" min. clear head room.

ANSI/ICC A117.1 403.3 - SLOPE A. Running slope shall not exceed 1:20.

B. Cross slope shall not exceed 1:48 **404 DOORS**

ANSI/ICC A117.1 404.2.1 - DOUBLE - LEAF DOORWAYS A. Doorways with two independently operated leaves shall have at least one active leaf that meets the requirements in 404.2.2 and 404.2.3

ANSI/ICC A117.1 404.2.2 - CLEAR WIDTH

A. Doorways shall provide a clear opening of 32" minimum, with the door open 90°. B. Clear opening shall be measured between the face of the door and opposite stop. C. Openings more than 24" in depth shall provide a clear opening of 36" minimum.

ANSI/ICC A117.1 404.2.3 - MANEUVERING CLEARANCES AT DOORS

Provide level (1:48 max. slope) and clear maneuvering area at doors as follows:

A. Front approach pull side - 60" min. width & 18" min. beside strike edge Front approach push side - 48" min width & 0" beside strike edge (12" @ strike if door has both a closer and a latch) B. Hinge side approach pull side - 60" min. width; 36" min. beside strike edge or -

54" min. width; 42" min. beside strike edge Hinge side approach push side - 42" min. width & 22" min. beside hinge edge(48"min. width if door has both a closer C. Latch side approach pull side - 48" min. width and 24" min. beside strike edge (54"min, width if door has a closer)Latch side approach push side - 42" min.

width and 24" min. beside strike edge(48"min. width if door has a closer) ANSI/ICC A117.1 404.2.4 - THRESHOLDS AT DOORWAYS

A. Maximum threshold height: 1/2". Raised thresholds and floor level changes shall be beveled with a slope no greater than 1:2

ANSI/ICC A117.1 404.2.6 - DOOR HARDWARE A. Handles, pulls, latches, locks, and other operating devices shall have a shape that

> is easy to grasp with one hand and does not require tight grasping, tight pinching, or twisting of the wrist to operate.

> 1. Lever-operated mechanisms, push-type mechanisms, and U-shaped handles are acceptable designs. 2. When sliding doors are fully open, operating hardware shall be exposed and

> usable from both sides. 3. Hardware required for accessible door passage shall be mounted between

34" and 48" above finished floor. ANSI/ICC A117.1 404.2.7.1 - DOOR CLOSERS

A. Door closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to an open position of 12 degrees shall be 5

the door shall move to the closed position in 1.5 seconds minimum.

seconds minimum.

ANSI/ICC A117.1 404.2.7.2 - SPRING HINGES A. Door spring hinges shall be adjusted so that from the open position of 70 degrees.

404 DOORS continued

ANSI/ICC A117.1 404.2.8 - DOOR OPENING FORCE A. The maximum force for pushing or pulling open doors shall be as follows:

1. Fire doors shall have the minimum opening force allowable by the appropriate administrative authority. Other doors

a. Exterior hinged, sliding or folding door: 10.0 lb. max. b. Interior hinged doors: 5.0 lb. max

c. Interior sliding or folding doors: 5.0 lb. max. These forces do not apply to the force required to retract latch bolts or disengage other devices that may hold the door in a closed position. Exception: Interior or exterior automatic doors complying with Section 404.3 of

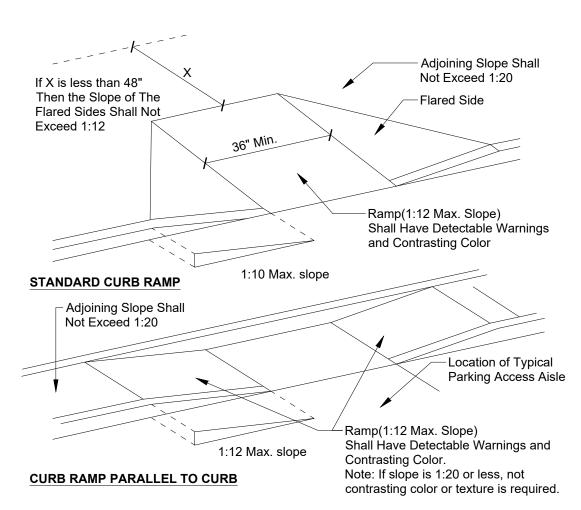
406 CURB RAMPS

ANSI/ICC A117.1 406 - SLOPE (REFERENCE DETAIL)

A. Slopes of curb ramps shall comply with 406 B. Maximum slopes of adjoining gutters, road surface immediately adjacent to the curb ramp, or accessible route shall not exceed 1:20.

ANSI/ICC A117.1 406.4 - WIDTH (REFERENCE DETAIL) A. The minimum width of a curb ramp shall be 36", exclusive of flared sides.

ANSI/ICC A117.1 406.3 - SIDES OF CURB RAMPS (REFERENCE DETAIL) A. If a curb ramp is located where pedestrians must walk across the ramp or where it is not protected by handrails or guardrails, it shall have flared sides; the maximum slope of the flare shall be 1:10



ANSI/ICC A117.1 406.10 - DIAGONAL CURB RAMPS

A. If diagonal curb ramps have returned curbs or other well-defined edges, such edges shall be parallel to the direction of pedestrian flow. The bottom of diagonal curb ramps shall have 48" minimum clear space outside active traffic lanes of the roadway. If diagonal curb ramps are provided at marked crossings, the 48" clear space shall be within the markings. If diagonal curb ramps have flared sides, they shall also have at least a 24" long segment of straight curb located on each side of the curb ramp and within the marked crossing

between the curb ramps in the part of the island intersected by the crossings.

ANSI/ICC A117.1 406.11 - ISLANDS A. Any raised islands in crossings shall be cut through level with the street or curb ramps at both sides and a level area at least 48" long and 36" minimum wide

410 PLATFORM LIFTS

ANSI/ICC A117.1 410.1 - GENERAL A. Platform lifts shall comply with Section 410 and ASME A18.1 listed in Section 105.2.6. Platform lifts shall not be attendant operated and shall provide unassisted entry and exit from the lift.

ANSI/ICC A117.1 410.2 - LIFT ENTRY A. Lifts with doors or gates shall comply with Section 410.2.1. Lifts with ramps shall comply with Section 410.2.2.

ANSI/ICC A117.1 410.2.1 - DOORS AND GATES

A. Doors and gates shall be low energy power operated doors or gates complying with Section 404.3. Doors shall remain open for 20 seconds minimum. End door clear opening width shall be 32 inches minimum. Side door clear opening width shall be 42 inches minimum.

Lifts serving two landings maximum and having doors or gates on opposite sides shall be permitted to have self closing manual doors or gates.

ANSI/ICC A117.1 410.2.2 - RAMPS A. End ramps shall be 32 inches minimum in width. Side ramps shall be 42 inches

be 1 1/4 inch maximum

ANSI/ICC A117.1 410.3 - FLOOR SURFACES A. Floor surfaces of platform lifts shall comply with Section 302

ANSI/ICC A117.1 410.4 - PLATFORM TO RUNWAY CLEARANCE A. The clearance between the platform sill and the edge of any runway landing shall

ANSI/ICC A117.1 410.5 - CLEAR FLOOR SPACE A. Clear floor space of platform lifts shall comply with Section 305.

ANSI/ICC A117.1 410.6 - OPERABLE PARTS

502/503 PARKING AND PASSENGER LOADING ZONES

A. Controls for platform lifts shall comply with Section 309.

ANSI/ICC A117.1 502 - PARKING SPACES A. Accessible car parking spaces shall be 96" minimum in width. Van parking spaces

shall be 132" minimum in width. EXCEPTION: Van parking spaces shall be permitted to be 96" minimum in width where the adjacent access aisle is 96" minimum in width. B. Parking access aisles shall be 60" wide. Van accessible access aisles shall be

C. Surface slope shall not exceed 1:48 in all directions (Note: no built up curb ramp may be located in an accessible parking access

ANSI/ICC A117.1 502.7 - SIGNAGE (REFERENCE DETAIL)

A. Each accessible parking space must have individual vertically mounted or suspended sign. Required van accessible spaces must be designated.

B. Characters and symbols on such signs shall be located 60" minimum above the

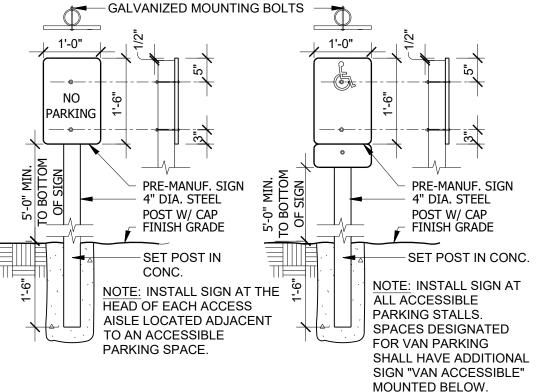
ANSI/ICC A117.1 503.5 - VERTICAL CLEARANCE A. Provide minimum vertical clearance of 114" at accessible passenger loading zones and along at least one vehicle access route from site entrances and exits.

with surface slopes not exceeding 1:48 in all directions.

ANSI/ICC A117.1 503 - PASSENGER LOADING ZONE A. Passenger loading zones shall provide an access aisle at least 60" wide and 20 ft long adjacent and parallel to the vehicle pull-up space. If there are curbs between the access aisle and the vehicle pull-up space, then a curb ramp complying with

4.7 shall be provided. Vehicle standing spaces and access aisles shall be level

502/503 PARKING AND PASSENGER LOADING ZONES continued



MOUNT ON WALL OF **505 HANDRAILS** BLDG WHEN POSSIBLE. Handrail to extend Bottom rail to provide edge horizontally at top extension protection Handrail to extend with slope at bottom extension (1) TREAD DEPTH Handrail at Stair Handrail at Ramp 1-1/2" \(\tau_1-1/4\)" to 2" Handrail Section

602 DRINKING FOUNTAINS

ANSI/ICC A117.1 602.1 - GENERAL A. Accessible drinking fountains shall comply with Sections 602 and 307.

ANSI/ICC A117.1 602.2 - CLEAR FLOOR SPACE

A. A clear floor space complying w/ Section 305, positioned for a forward approach to the drinking fountain, shall be provided. Knee & toe space complying with Section 306 shall be provided. The clear floor space shall be centered on the drinking fountain. EXCEPTIONS:

1. Drinking fountains for standing persons. Drinking fountains primarily for children's use.

3. In existing building, existing drinking fountains providing a parallel approach complying w/ Section 305, centered on the drinking fountain shall be 4. Where specifically permitted by the administrative authority, a parallel approach shall be permitted that replace existing parallel approach drinking

ANSI/ICC A117.1 602.3 - OPERABLE PARTS A. Operable parts shall comply with Section 309.

front face of the drinking fountain.

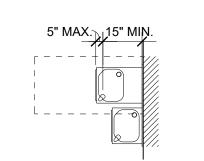
ANSI/ICC A117.1 602.4 - SPOUT OUTLET HEIGHT

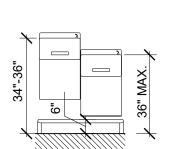
A. Wheelchair accessible spout outlets shall be 36 inches max. aff. Standing person spout outlets shall be 38 inches min. & 43 inches max. aff.

ANSI/ICC A117.1 602.5 - SPOUT LOCATION A. Spout shall be located 15 inches min. from the vertical support and 5 inches max. from the front edge of the drinking fountain, including bumpers.

ANSI/ICC A117.1 602.6 - WATER FLOW A. Spout shall provide a flow of water 4 inches min. in height. The angle of the water stream from spouts within 3 inches of the front of the drinking fountain shall be 30 degrees max. and from spouts between 3 inches & 5 inches from the front of the

drinking fountain shall be 15 degrees max., measured horizontally relative to the





603 TOILET ROOMS

ANSI/ICC A117.1 603.2.2 - DOORS A. Doors shall not swing into the clear floor space or clearance for any fixture.

ANSI/ICC A117.1 603.2 - CLEARANCES

A. The accessible fixtures and controls required shall be on an accessible route. An unobstructed turning space complying with 304 shall be provided within an accessible toilet room. The clear floor space at fixtures and controls, the accessible route, and the turning space may overlap, however; the only turning

space provided shall not be located within a stall. ANSI/ICC A117.1 603.3 & 606 - LAVATORIES AND MIRRORS A. If lavatories and mirrors are provided, then at least one of each shall comply with

603.3 & 606. Accessible lavatories and mirrors shall not be located within toilet stalls unless other accessible lavatories and mirrors are provided in the toilet ANSI/ICC A117.1 603.3 - MIRRORS (REFERENCE DETAIL)

A. Mirrors shall be mounted with the bottom edge of the reflecting surface 40" maximum A.F.F. Mirrors not located above lavatoreis, sinks or counters shall be mounted with the bottom edge of the reflecting surface 35" maximum above the

ANSI/ICC A117.1 603.6 - OPERABLE PARTS A. Operable parts on towel dispensers and hand dryers shall comply with Table

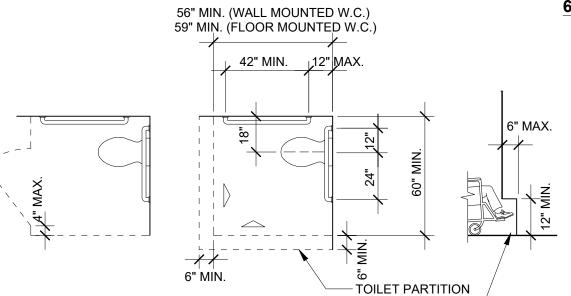
MAX. REACH | 48" | 46" | 42" | 40" | 36" | 34"

MAX. REACH |0.5" | 2" | 5" | 6" | 9" |11" |

604 WATER CLOSETS & TOILET COMPARTMENTS

ANSI/ICC A117.1 604.3 - CLEARANCES A. Clear floor space for water closets not in stalls shall be provided as follows: Clearance around a water closet shall be 60" minimum in width, measured perpendicular from the sidewall. Clearance around the water closet shall be 56" minimum in depth, measured perpendicular from the rear wall. (Reference

B. No door swings are allowed in clear floor area.



CLEARANCE -ANSI/ICC A117.1 604.4 - HEIGHT (REFERENCE DETAIL) A. The height to the top of the toilet seat shall be 17" - 19" above floor. 1. Seats shall not be sprung to return to a lifted position.

604 WATER CLOSETS & TOILET COMPARTMENTS continued

ANSI/ICC A117.1 604.5 - GRAB BARS (REFERENCE DETAILS)

A. For water closets not located in toilet stalls, the following grab bars shall be provided, 33" - 36" above the finish floor:

1. Side wall horizontal: 42" in length minimum, 12" max from rear wall, extending 54" min. from rear wall 2. Side wall vertical: 18" in length minimum, bottom of bar located 39" min/41"

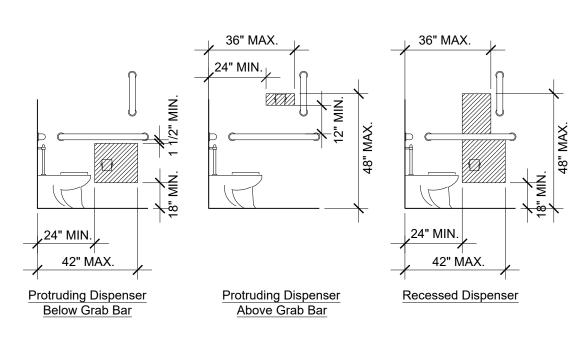
max. above the floor, centerline 39" min/41" max from rear wall 3. Back wall: 36" in length minimum, extend from centerline of water closet 12" min. on side closest to the wall, 24" min. on transfer side.

ANSI/ICC A117.1 604.6 - FLUSH CONTROLS A. Flush controls shall be hand operated or automatic, and located on the open side of the water closet. Hand operated flush controls shall comply with Section 309.

ANSI/ICC A117.1 604.7 - DISPENSERS (REFERENCE DETAIL) A. Toilet paper dispensers shall comply with Section 309.4 and 609.3. Where the dispenser is located above the grab bar, the outlet of the dispenser shall be located 24" min-36" max from the rear wall. Where the dispenser is located below the grab bar, the outlet of the dispenser shall be located 24" min-42" max from the rear wall. The outlet of the dispenser shall comply with Table 603.6. Dispensers that control delivery or do not permit continuous paper flow shall

ANSI/ICC A117.1 604.9 - WHEELCHAIR ACCESSIBLE COMPARTMENTS A. Wheelchair accessible compartments shall comply with Section 604.9. Toilet compartments shall comply with Section 604.9.2.1 or 604.9.2.2 as applicable.

not be used.



605 - URINALS

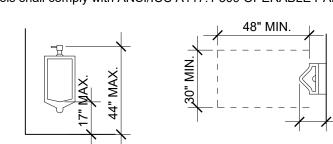
ANSI/ICC A117.1 605 - URINALS A. Accessible urinals shall comply with Section 605.

ANSI/ICC A117.1 605.2 - HEIGHT & DEPTH (REFERENCE DETAIL) A. Urinals shall be stall-type or wall hung with a tapered, elongated rim at 17" maximum above the finished floor. The rim shall extend a minimum of 131/2" from

ANSI/ICC A117.1-605.3 - CLEAR FLOOR SPACE (REFERENCE DETAIL) A. A clear floor space 30" wide by 48" deep minimum shall be provided in front of urinal to allow forward approach. 1. This space shall adjoin or overlap an accessible route.

2. Urinal shields that do not extend beyond the front edge of the urinal rim may 610 SEATS be provided with 29" clearance between them. 3. Urinals installed in alcoves deeper than 24" require a maneuvering area of at least 36" minimum wide, centered on fixture.

ANSI/ICC A117.1 605.4 - FLUSH CONTROLS (REFERENCE DETAIL) Controls shall comply with ANSI/ICC A117.1 309 OPERABLE PARTS



606 LAVATORIES

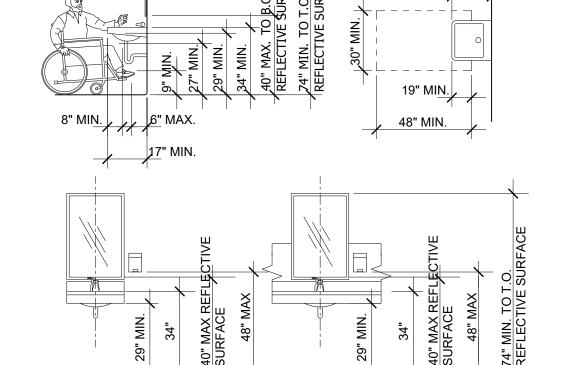
ANSI/ICC A117.1 606.3 & 606.2 - HEIGHT & CLEARANCES (REFERENCE DETAILS) A. Lavatories shall be mounted with the rim or counter surface no higher than 34"

> above the finished floor. . Lavatories shall extend 17" minimum from the wall.

2. Clearance of 27" minimum shall be provided from the finished floor to bottom 3. Knee clearance of 27" high minimum shall extend 8" minimum under the edge of the lavatory, 30" wide minimum, and 19" deep minimum.

4. Toe clearance of 9" minimum shall be provided for the full depth of the

ANSI/ICC A117.1 606 - DEPTH A. Each sink shall be a maximum of 6-1/2" deep.



ANSI/ICC A117.1 606.6 - EXPOSED PIPES AND SURFACES A. Hot / cold water and drain pipes under lavatories shall be insulated or otherwise configured to protect against contact. B. There shall be no sharp or abrasive surfaces under lavatories.

ANSI/ICC A117.1 606.4 - FAUCETS A. Controls shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist.

R-PAPER TOWEL

COVER DISPENSER DISPENSER/ WASTE DRYER

RECEPTACLE

B. The force required to activate controls shall be no greater than 5 lb. C. Lever-operated, push-type, and electronically controlled mechanisms are examples of acceptable designs. D. If self-closing valves are used the faucet shall remain open for 10 seconds

minimum. 609 GRAB BARS

R-TOILET SEAT

ANSI/ICC A117.1 609.3.2 - SIZE AND SPACING A. Diameter or width of gripping surface shall be 1-1/4" to 2", or the shape shall

provide an equivalent gripping surface. B. The space between grab bars and adjacent walls shall be 1-1/2"

ANSI/ICC A117.1 604.7 - DISPENSERS - REFERENCE DETAIL. THE OUTLET OF THE DISPENSER SHALL COMPLY

S-ELECTRIC HAND R-SANITARY

NAPKIN DISPENSER RECEPTACLE

609 GRAB BARS continued

39"-41"

42" MIN.

12" MAX.

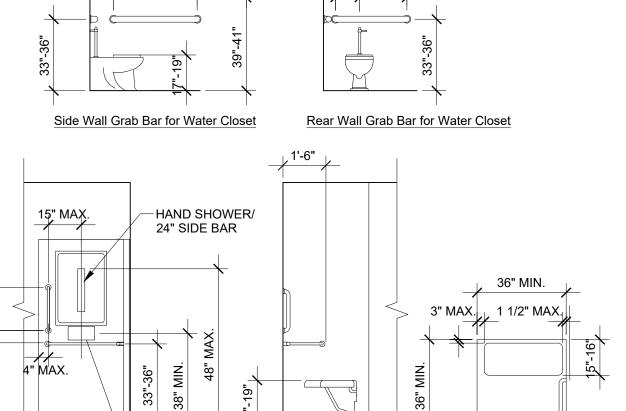
ANSI/ICC A117.1 609.8 - STRUCTURAL STRENGTH A. Grab bars and mounting devices shall meet the following requirements:

> vertical or horizontal force of 250 lbs. is applied at any point on the grab bar, fastener mounting device, or supporting structure. 1. Shear stress induced by application of 250 lb. shall be less than allowable shear stress for material used. If connection between grab bar and mounting bracket is considered to be fully restrained, then direct and torsional shear stresses shall be totaled for the combined shear stress, which shall not exceed the allowable shear stress.

609.8 Allowable stresses shall not be exceeded for materials used where a

2. Shear force induced in a fastener or mounting device from application of 250 lb. shall be less than allowable lateral load of either the fastener or mounting device or the supporting structure, whichever is the smaller allowable load. 3. Tensile force induced in a fastener by a direct tension force of 250 lb. plus the maximum moment from the application of 250 lb. shall be less than the allowable withdrawal load between the fastener and the supporting structure. 609.6 Grab bars shall not rotate within their fittings.

ANSI/ICC A117.1 609.5 - ELIMINATING HAZARDS A. Grab bars and adjacent wall surfaces shall be free of sharp or abrasive surfaces. Edges shall be rounded.



608.3.1 Side Wall Grab Bar for Shower

ANSI/ICC A117.1 610.2 - SHOWER COMPARTMENT SEATS A. The height of the shower compartment seats shall be 17" minimum and 19" maximum above the bathroom floor measured to the top of the seat. B. Allowable stresses shall not be exceeded for materials used where a vertical or

-CONTROL AREA

mounting device or support structure.

702 ALARMS ANSI/ICC A117.1 702.1 - GENERAL A. When required, visual alarms shall be provided in each of the following areas, as

horizontal force of 250 pounds is applied at any point in the seat, fastener

hallways, lobbies, and any other area for common use. Accessible audible and visible alarms and notification appliances shall be installed in accordance with NFPA 72.

a minimum: rest rooms and any other general usage areas (e.g., meeting rooms),

608.3.1 Rear Wall Grab Bar

NFPA 72 - AUDIBLE ALARMS A. If provided, audible alarms shall produce a sound that exceeds the prevailing equivalent sound level in the room or space by at least 15 dba or exceeds any

maximum sound level with a duration of 60 seconds by 5 dba, whichever is B. Sound levels for alarm signals shall not exceed 120 dba. NFPA 72 - VISUAL ALARMS

> system. If single station audible alarms are provided then single station visual alarm signals shall be provided. Visual Alarm appliances shall have the following features: 1. The lamp shall be a xenon strobe type or equivalent. 2. The color shall be clear or nominal white (i.e. unfiltered or clear filtered white

A. Visual alarm signal appliances shall be integrated into the building or facility alarm

3. The maximum pulse duration shall be two-tenths of one second with a maximum duty cycle of 40%. (The pulse duration is defined as the time interval between initial and final points of 10% of max signal) 4. The intensity shall be a minimum of 75 candela.

space or 6" below the ceiling, whichever is lower a. In large rooms and spaces exceeding 100' across, without obstructions 6' above the finished floor, such as auditoriums, devices may be place around the perimeter, spaced a maximum 100' apart, in lieu of suspending appliances from

7. In general, no place in any room or space shall be more than 50' from the

8. No place in common corridors or hallways shall be more than 50' from the

6. The appliance shall be placed 80" above the highest floor level within the

5. The flash rate shall be a minimum of 1 Hz and a maximum of 3 Hz

703 SIGNAGE A. Signs which designate permanent rooms and spaces shall comply with the requirements listed below for: 1. Raised and Braille Characters, and Pictograms

signal (measured in a horizontal plane).

2. Finish and Contrast

are not required to comply.

Exception: Employee name signs are not required to comply. WHERE APPLICABLE A. Signs which provide direction to, or information about, functional spaces of the building shall comply with the requirements listed below for:

1. Character Proportion 2. Character Height 3. Finish and Contrast Exception: Building directories, menus, and all other signs which are temporary

WHERE APPLICABLE (REFERENCE DETAIL) A. Element and spaces of accessible facilities which shall be identified by the International Symbol of Accessibility are: . Parking spaces designated as reserved for persons with disabilities.

 Accessible passenger loading zones. 3. Accessible entrances when not all are accessible (inaccessible entrances shall have directional signage to indicate route to nearest accessible 4. Accessible toilet and bathing facilities when not all are accessible.

ANSI/ICC A117.1 703.2.4 - CHARACTER HEIGHT (REFERENCE DETAIL) Height: The uppecase letter "I" shall be used to determine the allowable height of all characters of a font and shall be a minimum of 5/8" and 2" maximum.

EXCEPTION: Where separate tactile and visual characters with the same information

are provided, the height of the tactile upper case letter "I" shall be permitted to be 1/2"

minimum. ANSI/ICC A117.1 703.2.5 - CHARACTER WIDTH A. Width: The uppercase letter "O" shall be used to determine the allowable width of all characters of a font, and shall be 55% min. and 110% max. of the height of the

703 SIGNAGE continued **OVERHEAD SIGNS**

(REFERENCE DETAIL)

A. CHARACTERS AND NUMBERS ON OVERHEAD SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE

1. FOR SIGNS HIGHER THAN 70" A.F.F., CHARACTER SIZE SHALL BE 2" MINIMUM PLUS 1/8" PER FOOT OF VIEWING DISTANCE ABOVE 15 FEET. THE MINIMUM HEIGHT IS MEASURED USING AN UPPER CASE LETTER "I". 2. LOWER CASE LETTERS ARE PERMITTED.

ANSI/ICC A117.1 703.3-703.5 - RAISED CHARACTERS, BRAILLE, & PICTOGRAMS A. Raised characters shall comply with section 703.3 and shall be duplicated in

braille complying with section 703.4. B. Letter and numerals shall be raised 1/32", upper case, sans serif and shall be accompanied by grade 2 Braille. 1. Raised character height: 5/8" minimum to 3" plus 1/8" per foot of viewing distance above 21 feet. 2. Braille shall be contracted (grade 2); shall be located below title

corresponding text. 3. Pictograms shall be accompanied by the equivalent verbal description placed directly below the pictogram.

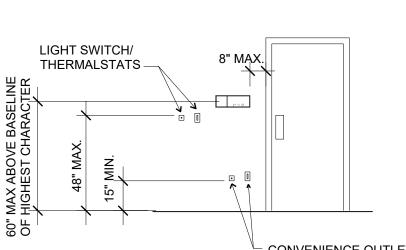
The border dimension of the pictogram shall be 6" min. in height. ANSI/ICC A117.1 703.3.12 - FINISH AND CONTRAST A. Characters and their background shall have a nonglare finish. Characters shall

contrast with their background, with either light characters on a dark background, or dark characters on a light background. ANSI/ICC A117.1 703.3.10 & 703.3.11 - MOUNTING LOCATION AND HEIGHT

A. Characters and their background shall have a nonglare finish. Characters shall contrast with their background, with either light characters on a dark background, or dark characters on a light background. B. Where a tactile sign is mounted next to a door, it shall be placed to the latch side of the door wherever possible. Where a tactile sign is placed adjacent a double door, the sign shall be to the right hand door. If there is no wall space to the right, signs shall be placed on the nearest adjacent wall. Exception: Door mounted

signs shall be permitted on the push side on the doors with closers and without hold open devices. Raised characters shall be 48" minimum above the floor, measured to the

baseline of the lowest raised character and 60" maximum above the floor, measured to the baseline of the highest raised character. Mounting location for such signage shall be so that a person may approach within 3" of signage without encountering protruding objects or standing within the swing



Shower Floor Plan / Seat

ANSI/ICC A117.1 804.5.6 - REFRIGERATOR/FREEZER

Combination refrigerators and freezers shall have at least 50% of the freezer compartment shelves, including the bottom of the freezer 54 inches (1370mm) maximum above the floor when the shelves are installed at the maximum heights possible in the compartment. A clear floor space, positioned for a parallel approach to the space dedicated to a refrigerator/freezer, shall be provided. The centerline of the clear floor space shall be offset 24 inches (610 mm) maximum from the centerline of the dedicated space.

902 DINING SURFACES & WORK SURFACES

maximum, above the finished floor.

ANSI/ICC A117.1 902.2 - CLEAR FLOOR SPACE A. A clear floor space complying with Section 305, positioned for a forward approach shall be provided. Knee and toe clearance complying with Section 306 shall be

ANSI/ICC A117.1 902.4- HEIGHT A. The tops of accessible tables and counters shall be 28" minimum, and 34"

903 BENCHES

905 STORAGE

ANSI/ICC A117.1 903.3- SIZE

ANSI/ICC A117.1 903.2 - CLEAR FLOOR SPACE A. a clear floor space complying with section 305, positioned for parallel approach to the bench seat shall be provided.

A. Benches shall have seats 42" minimum in length and 20" minimum and 24" maximum in depth. ANSI/ICC A117.1 903.4 - BACK SUPPORT

A. The bench shall provide for back support or shall be fixed to a wall. Back support shall be 42" minimum in length and shall extend from a point 2" maximum above the seat surface to a point 18" above the seat surface.

A. A. clear floor space complying with Section 305 shall be provided. Accessible storage elements shall comply with at least one of the reach ranges

ANSI/ICC A117.1 905.2 - CLEAR FLOOR SPACE

Operable parts of storage facilities shall comply with Section 309.

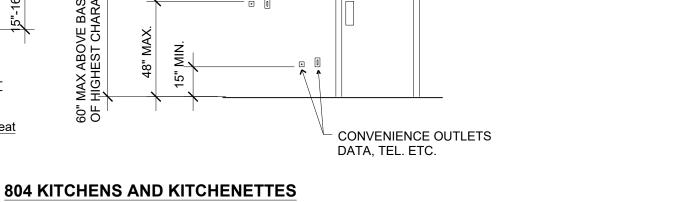
ANSI/ICC A117.1 905.4 - OPERABLE PARTS

specified in Section 308.

AUTOMATIC TELLER MACHINES ANSI/ICC A117.1 305 - CLEAR FLOOR SPACE

A. Floor space shall comply with Section 305 to allow a forward, parallel approach or

ANSI/ICC A117.1 308 - HEIGHT A. Operable parts shall be placed within one or more of the reach ranges specified in Section 308, summarized earlier in this sheet.



ARCHITECT OF RECORD

WWW.CESOINC.COM

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BENJAMIN T. BELL, AIA 1305 NE McCLAIN RD. SUITE 7 BENTONVILLE, AR 72712

PHONE: (479) 271-8058 FAX: (888) 208-4826

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757184-01 AS NOTED

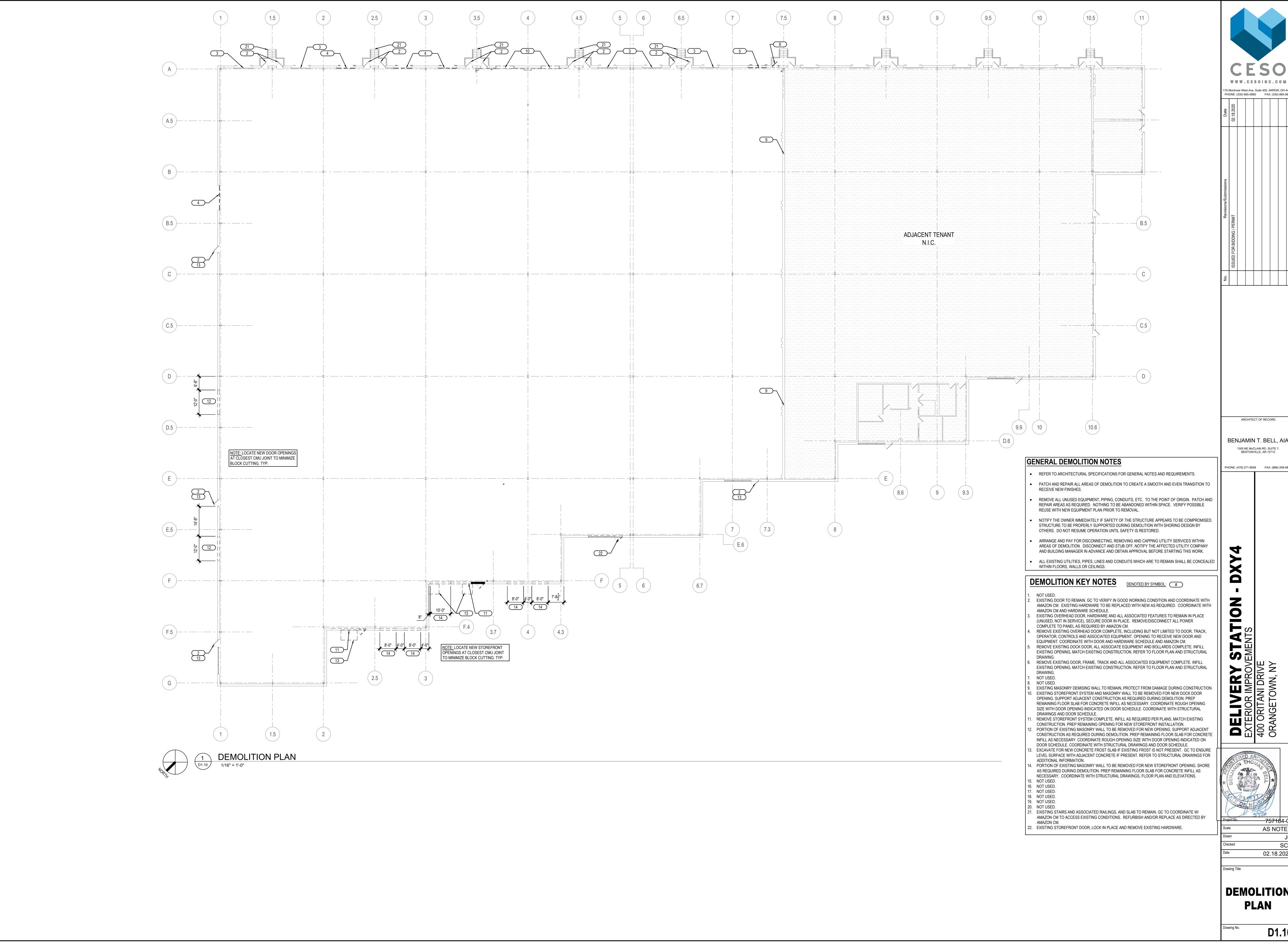
ACCESSIBILITY

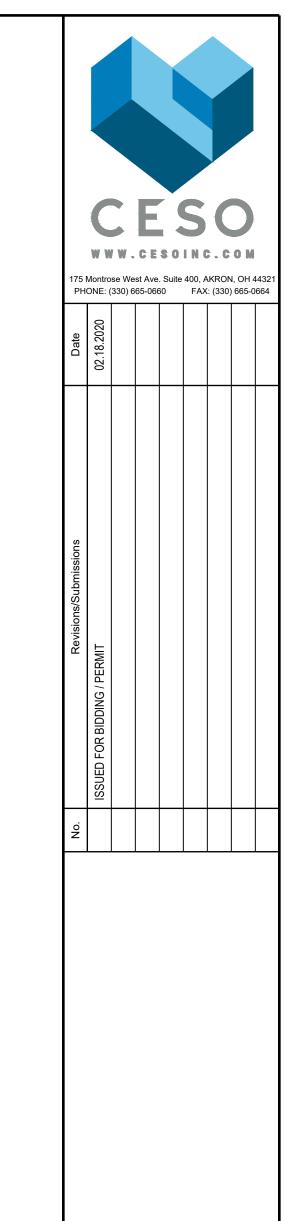
DETAILS

SCU

02.18.2020

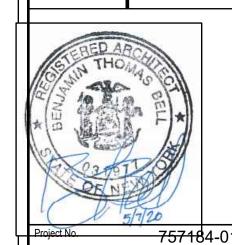
AN.30





1305 NE McCLAIN RD. SUITE 7. BENTONVILLE, AR 72712

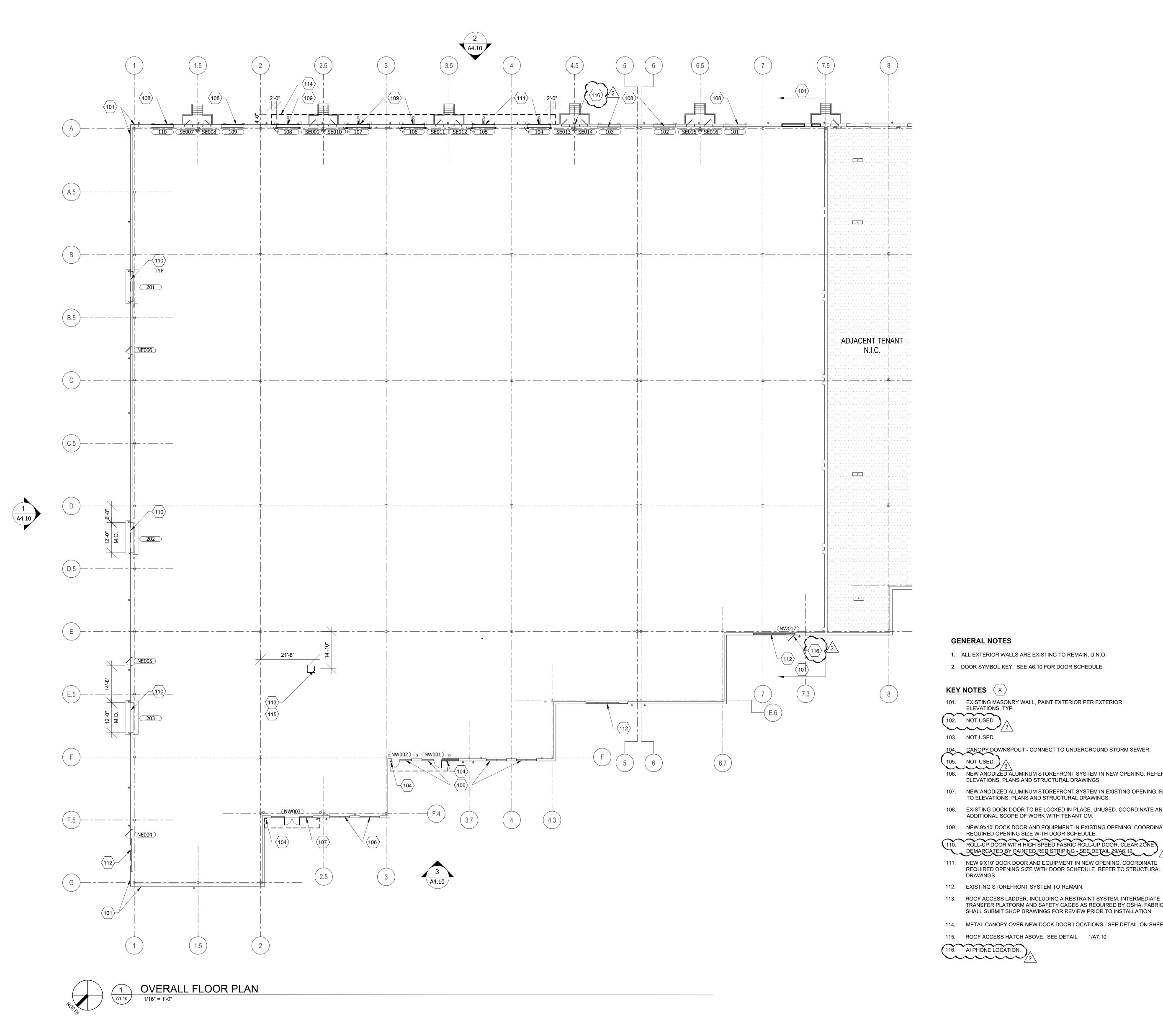
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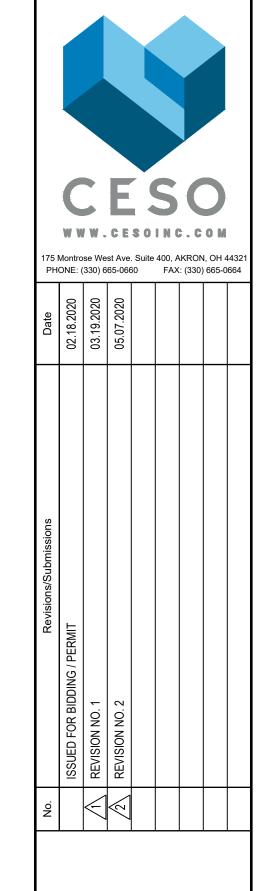


AS NOTED SCU 02.18.2020

DEMOLITION PLAN

D1.10





ARCHITECT OF RECORD

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1. ALL EXTERIOR WALLS ARE EXISTING TO REMAIN, U.N.O. 2. DOOR SYMBOL KEY: SEE A6.10 FOR DOOR SCHEDULE

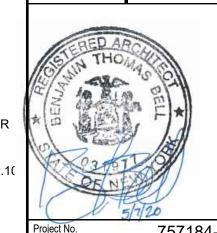
101. EXISTING MASONRY WALL, PAINT EXTERIOR PER EXTERIOR ELEVATIONS, TYP.

102. NOT USED

103. NOT USED 104. CANOPY DOWNSPOUT - CONNECT TO UNDERGROUND STORM SEWER.

106. NEW ANODIZED ALUMINUM STOREFRONT SYSTEM IN NEW OPENING. REFER TO ELEVATIONS, PLANS AND STRUCTURAL DRAWINGS.

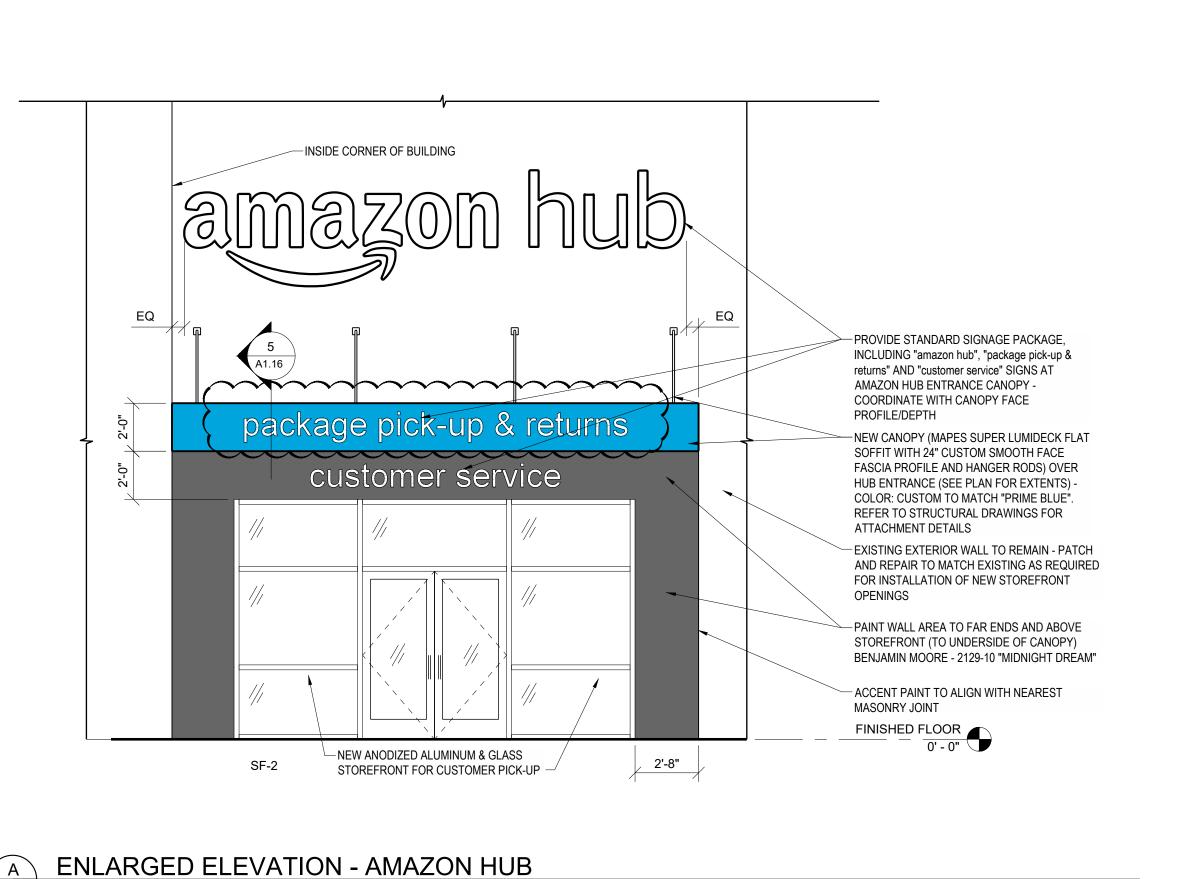
- 107. NEW ANODIZED ALUMINUM STOREFRONT SYSTEM IN EXISTING OPENING. REFER TO ELEVATIONS, PLANS AND STRUCTURAL DRAWINGS.
- 108. EXISTING DOCK DOOR TO BE LOCKED IN PLACE, UNUSED. COORDINATE ANY ADDITIONAL SCOPE OF WORK WITH TENANT CM.
- 109. NEW 9'x10' DOCK DOOR AND EQUIPMENT IN EXISTING OPENING. COORDINATE REQUIRED OPENING SIZE WITH DOOR SCHEDULE.
- 111. NEW 9'X10' DOCK DOOR AND EQUIPMENT IN NEW OPENING. COORDINATE
- 113. ROOF ACCESS LADDER. INCLUDING A RESTRAINT SYSTEM, INTERMEDIATE TRANSFER PLATFORM AND SAFETY CAGES AS REQUIRED BY OSHA. FABRICATOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALLATION.
- 114. METAL CANOPY OVER NEW DOCK DOOR LOCATIONS SEE DETAIL ON SHEET A7.10
- 115. ROOF ACCESS HATCH ABOVE, SEE DETAIL 1/A7.10

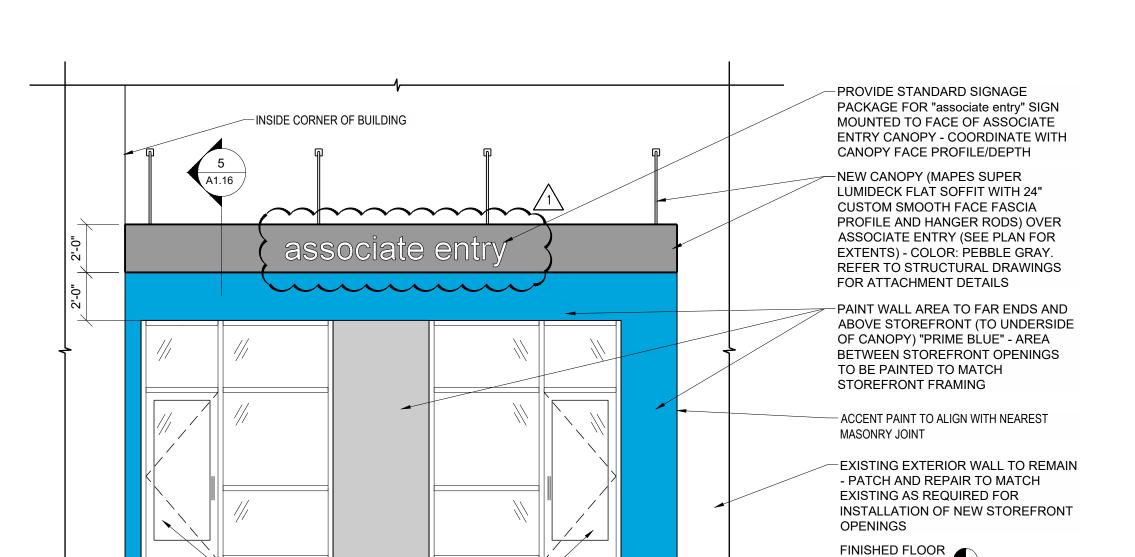


AS NOTED 02.18.2020

OVERALL FLOOR PLAN

A1.10

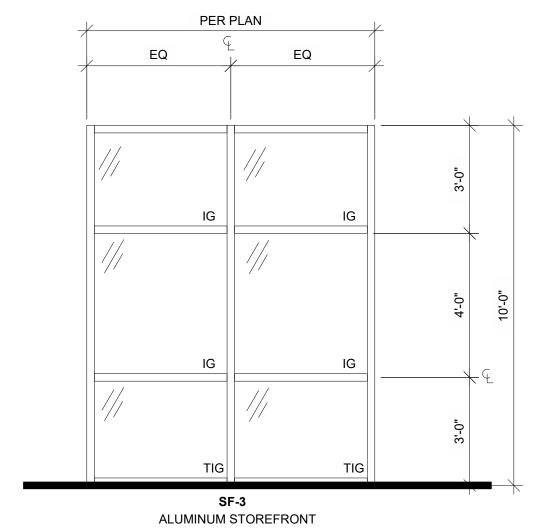


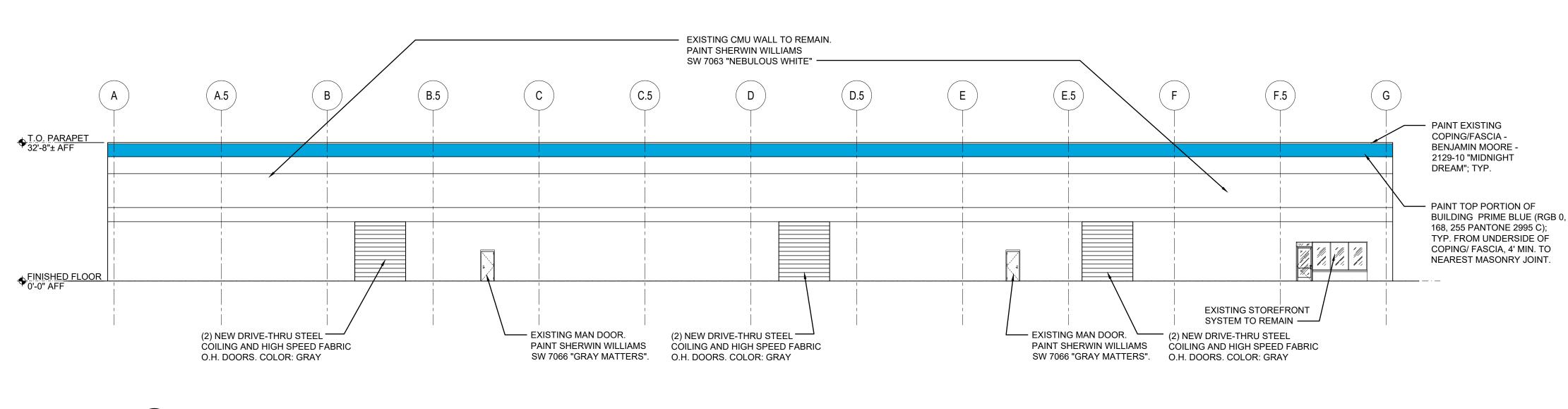


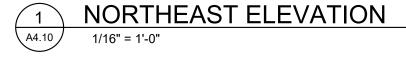
SF-1

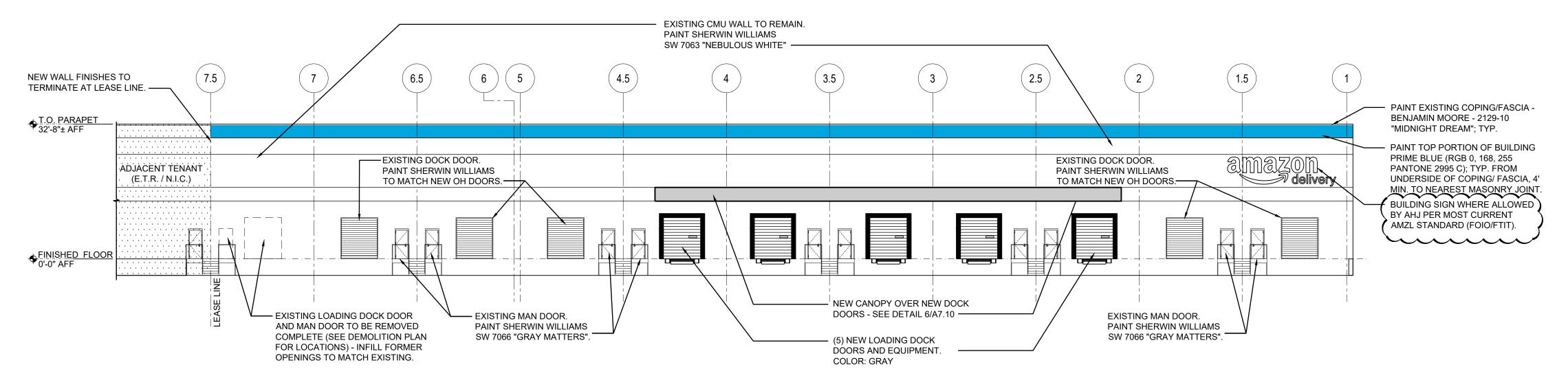


- NEW ANODIZED ALUMINUM & GLASS STOREFRONT FOR ASSOCIATES ENTRY —

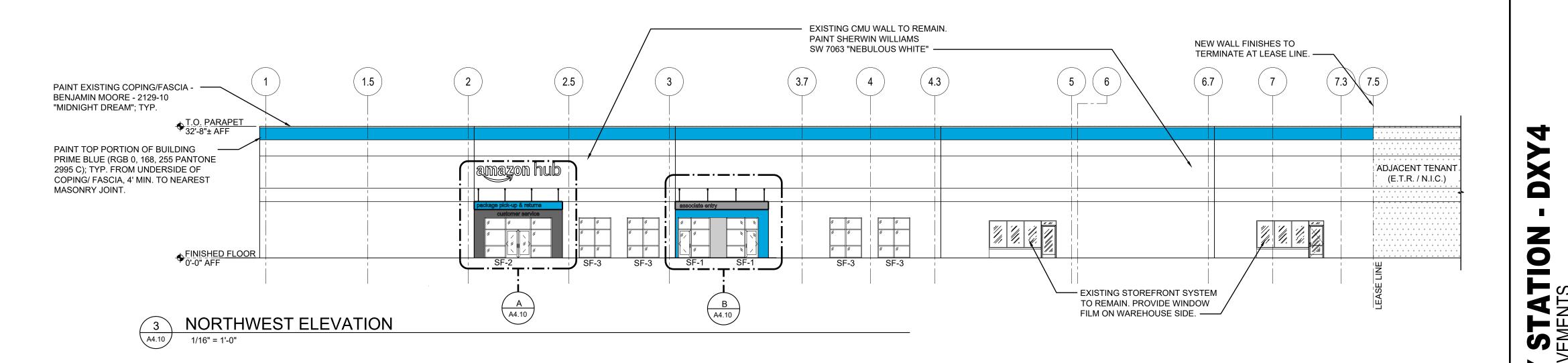








SOUTHEAST ELEVATION 1/16" = 1'-0"



GENERAL NOTES 1. IG INDICATES INSULATED GLAZING. ALL STOREFRONT GLAZING TO BE IG TYPE,

- 2. TG INDICATES TEMPERED GLAZING, TYP.
- 3. TIG INDICATES TEMPERED, INSULATED GLAZING, TYP.; VERIFY WITH AHJ FOR SITE REQUIREMENT FOR TIG. BEFORE IMPLEMENTING. 4. ALL FIXED INSULATED GLAZING SHALL BE CERTIFIED & LABELED WITH ITS MAX. U-FACTOR OF & SOLAR HEAT GAIN COEFFICIENT BY AN INDEPENDENT AGENCY LICENSED BY THE NFRC, IN COMPLIANCE WITH THE VALUES LISTED ON SHEET CS.
 - 5. PROVIDE AND COORDINATE "KNOXBOX: LOCATION WITH FIRE DEPARTMENT AND ARCHITECT PRIOR TO INSTALL.
 - 6. ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR, U.N.O.
 - 7. NEW ANODIZED ALUMINUM STOREFRONT FINISH TO MATCH EXISTING STOREFRONT FINISH.
- 8. FINISHES INDICATED HEREIN FOR 400 ORITANI DR. BUILDING SHALL ALSO BE PROVIDED AT 200 ORITANI DR. BUILDING, UNLESS OTHERWISE DIRECTED BY

EXTERIOR ELEVATIONS

A4.10

757184-01 AS NOTED

02.18.2020

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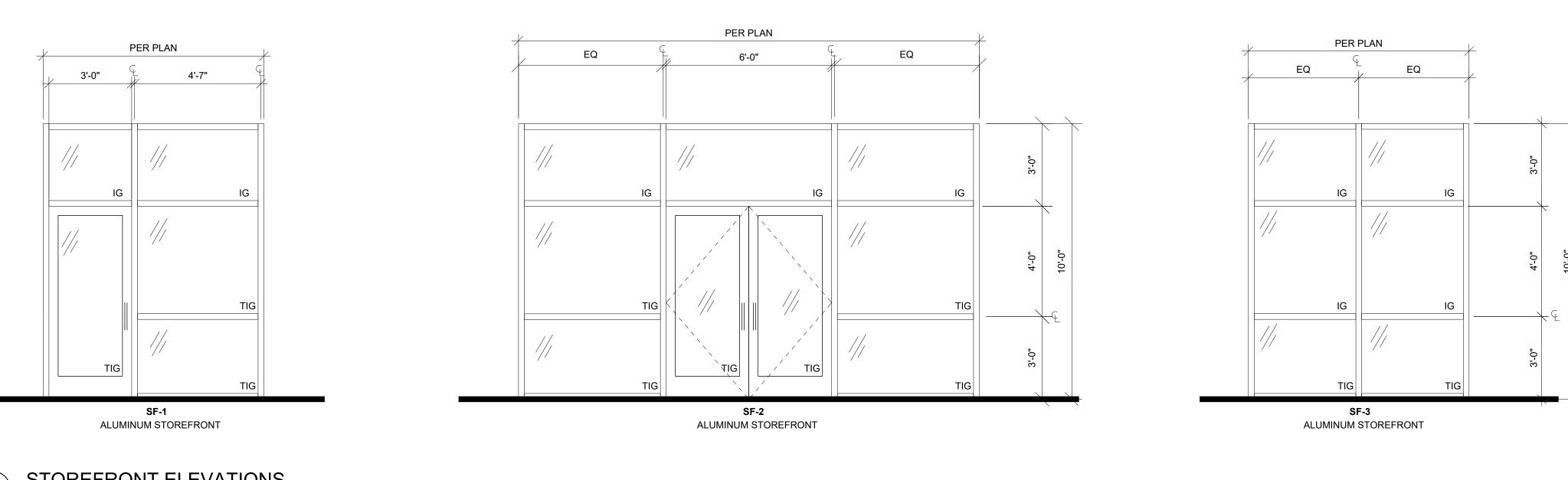
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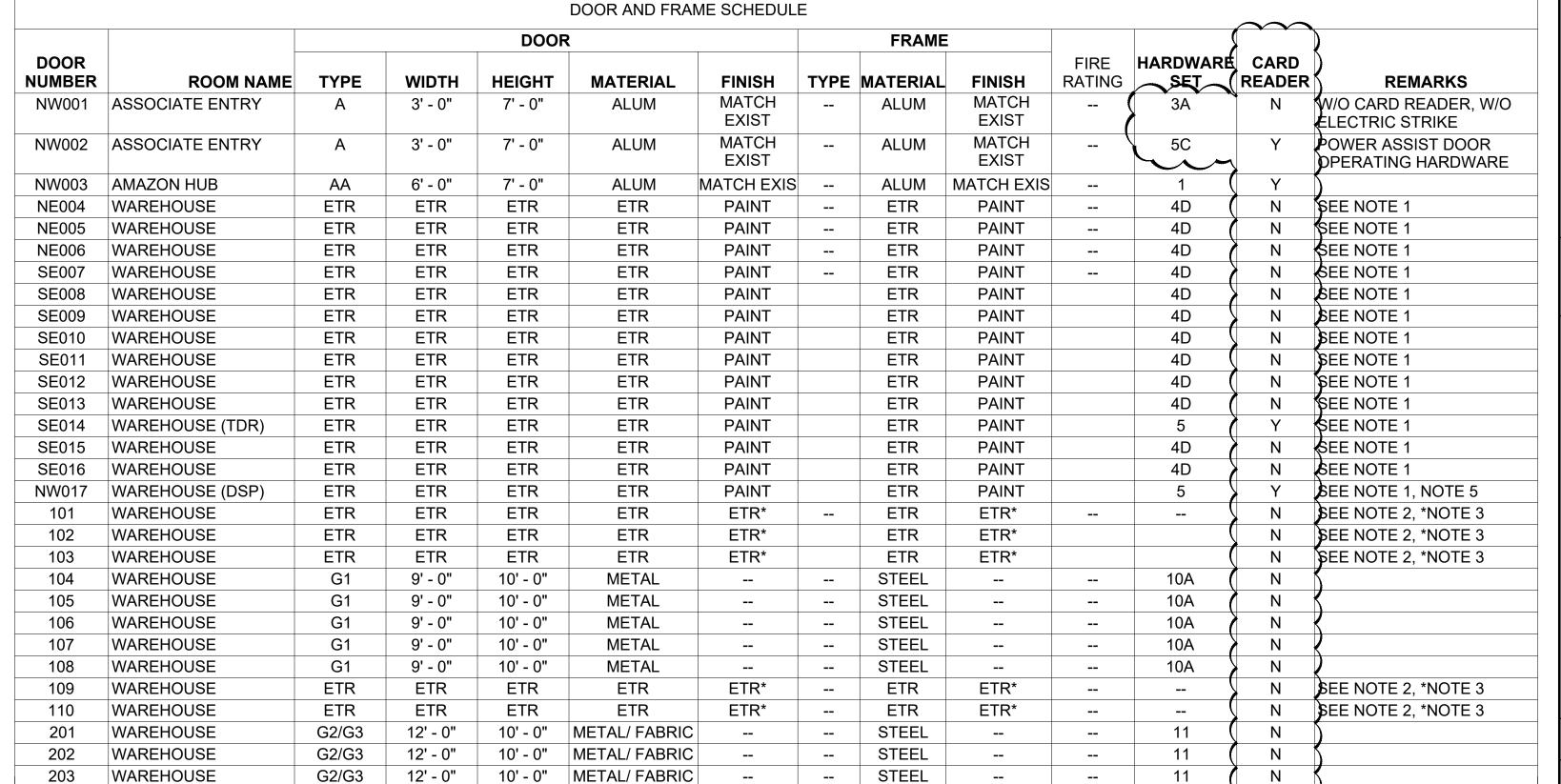


STOREFRONT ELEVATIONS

~~			~~	· · · · ·	~~		~~~~	· · · · ·	~~~	~~	· · · · · · · · · · · · · · · · · · ·	~~~~~		~~
HARDWA	RE SET #1				HARDWA	ARE SET #3A				HARDW	ARE SET #7A			
DESCRIP	MAIN EMPLOYEE ENTRY AND F TION: ALUMINUM STOREFRON N: ELECTRIC LATCH RETRACT	Т			DESCRIF	EMERGENCY EXIT WITH KEY E PTION: ALUMINUM STOREFRON IN: EXTERIOR PULL, STORERO	T .			(AMZL) (I	EMERGENCY EXIT ONLY/SUPE PAIR OF DOORS) PTION: SHELL EXTERIOR DOOF	₹		•
QTY.	DESCRIPTION	NUMBER	FINISH	MFR.	QTY.	DESCRIPTION	NUMBER	FINISH	MFR.	FUNCTION QTY.	ON: EXTERIOR PULL, STORERO DESCRIPTION	NUMBER	FINISH	MFR.
2	PIVOT SET CONCEALED VERT. ROD	BY DOOR MFR. 55 56 70 AD8610 106X862	VERIFY VERIFY	SA	1	PIVOT SET	BY DOOR MFR.	VERIFY	CA.	6	HINGE (HEAVY WEIGHT)	T4B3386 NRP 4-1/2" X 4-1/2"	US32D	MK
	EXIT	PULL			1	MORTISE EXIT DEVICE	70 8904 PTB	VERIFY	SA	1	EXIT DEVICE WITH TRIM	70 8804 PSB	US32D	SA
1	CONCEALED VERT. ROD EXIT	55 56 AD8610 862 PULL	VERIFY	SA	1 1	DOOR CLOSER BLADE STOP SPACER	UNI7500 X 7788 6891	VERIFY VERIFY	NO NO	2	EXIT DEVICE DOOR CLOSER	8810 CPS7500	US32D 689	SA NO
2	EPT CYLINDER	EL-CEPT-10 70 41	US26D VERIFY	SU SA	1 1	THRESHOLD SET WEATHERSTRIP	BY DOOR MFR. BY DOOR MFR.			1 1	THRESHOLD GASKETING	171A 303APK		PE ∢ PE
1	OPERATOR DOOR SWITCH VESTIBULE SWITCH	502 503		NO NO	1	SWEEP POSITION SWITCH	BY DOOR MFR. DPS BY SECURITY CONT.		SU	1 2	RAIN GUARD SWEEP	346C 315CN		PE PE
	DOOR CLOSER	UNI7500 X 7788	VERIFY	NO	1	SIGN BY STOREFRONT SUPPLIER	"EMERGENCY EXIT ONLY"		30	1	KEYED REMOVABLE MULLION	70 L980	Al	SA
1 1	BLADE STOP SPACER DOOR OPERATOR	6891 6060	VERIFY VERIFY	NO NO	NOTES:	KEYED ENTRY FROM EXTERIO	D VEDIEV EINIGH ON HADDW	ADE ADOVE	TO	HARDWA	ARE SET #10A			
1 1 2	THRESHOLD SET WEATHERSTRIP SWEEP	BY DOOR MFR. BY DOOR MFR. BY DOOR MFR.				MATCH ALUMINUM DOOR AND		ANE ABOVE		OVERHE	AD DOOR DOCK EQUIPMENT			*
1 2	ASTRAGAL SET ELECTROLYNX HARNESS	BY DOOR MFR. QC-C1500/QC-C1500P		MK		ARE SET #5				QTY.	DESCRIPTION	NUMBER	FINISH	MFR.
2	ELECTROLYNX HARNESS	QC-CXX/CXXP (SIZE FOR DOOR WIDTH AND HARDWARE)		MK	DESCRIF FUNCTION	TRUCK DOCK RELEASE DOOR PTION: SHELL EXTERIOR DOOR IN: ELECTRIFIED TRIM EXIT DE ITED REQUEST TO EXIT, STORI	VICE WITH EXTERIOR LEVER,	1	EDGE OF DOCK LEVELER	REFER TO CRITERIA DOCUMENT FOR SPECIFICATION	613E 613E US010BE	RF RF SA		
1 1	POSITION SWITCH KEYSWITCH	DPS BY SECURITY CONT. MKA (FOR AUTO		SU	QTY.	DESCRIPTION	NUMBER	FINISH	MFR.	1	DOOR TRACK	PROVIDE 48" HIGH TRACK	US010BE	SA <
1	SWITCH POST	OPERATOR) 500		NO	3	HINGE (HEAVY WEIGHT)	T4B3386 NRP 4-1/2" X 4-1/2"	US32D	MK	1	PROTECTION DOCK SEALS	GUARDS 6' X 10' WITH FULL ARMOR	690 690	NO NO
1 1	POWER SUPPLY CARD READER	BPS-24-2 CARD READER TO BE PROV	IDED BY	SU SU	1 1	ELECTRIC EXIT DEVICE DOOR LOOP	70 55 8876-12V ETP TSB-C	US32D US26D	SU	•		HYPALON PLEATS AND ADJUSTABLE CURTAIN		PE <
·		SECURITY CONTRACTOR			1 1	DOOR CLOSER ARMOR PLATE	CPS7500 K1050 B4E 30" X 2" LDW	689 US32D	NO RO	1	DOCK CONTROL SYSTEM	PROVIDE INTEGRATED DOCK LEVEL AND FAN/		•
READER	ACCESS BY AUTHORIZED CAR AND DOOR POSITION SWITCH	TO BE PROVIDED BY SECUR	ITY CONTRA	ACTOR.	1	THRESHOLD GASKETING	171A 303APK					LIGHT CONTROLLER BOX		•
STOREF	TILES AND TOP RAIL REQUIREI RONT MANUFACTURER. VERII	FY FINISH ON HARDWARE ABO	OVE TO MAT	CH	1	RAIN GUARD	346C			2	DOCK BUMPER	18" VERTICAL X 11" LONG, LAMINATED RUBBER FOR		•
HARDWA	JM DOOR AND FRAME FINISH. ARE INSTALLER SHALL INSTAL	L POWER SUPPLY IN CONCEA	LED LOCAT	-	1 1	SWEEP ELECTROLYNX HARNESS	315CN QC-C1500/QC-C1500P		MK			EACH DOCK DOOR AND TRAILER SPACE AGAINST		•
	HE DOOR IN ACCORDANCE WI	TH MANUFACTURER SPECIFIC	CATIONS.		1	ELECTROLYNX HARNESS	QC-CXX/CXXP (SIZE FOR DOOR WIDTH AND		MK	1	DOCK LIGHT/FAN	BUILDING WALL AEROTECT MODEL 750		<
HARDWA	RE SET #2D				1	LATCH PROTECTOR	HARDWARE) 320/321		RO	•	BOOK EIGHT/I / IIV	WITH AEROTEC VERSA LIGHT SERIES 450		<
	MAIN EMPLOYEE ENTRY TION: ALUMINUM STOREFRON	IΤ			2	CARD READER	CARD READERS TO BE PROVIDED BY SECURITY			1	DOCK CANOPY	RITE-HITE RAINGUARD		<
	N: EXTERIOR PULL, CLASSRO		FINISH	MFR.	1	POSITION SWITCH	CONTRACTOR DPS BY SECURITY		SU	1	TRAILER RESTRAINT	RC-3000 OR EQUAL ENTREMATIC SL-60		<
QTY.	DESCRIPTION PIVOT SET	NUMBER BY DOOR MFR.	VERIFY	WFR.			CONTRACTOR					GROUND MOUNT		<
-					READER	ACCESS BY AUTHORIZED CAR AND DOOR POSITION SWITCH CARD OUT TO SHUNT EGRESS	TO BE PROVIDED BY SECURIT	TY CONTRAC	CTOR.	NOTES:	SEE ELECTRICAL DRAWINGS F	 FOR CONTROLS DESIGN		<
1	CONCEALED VERT. ROD EXIT	70 AD8610 106 x 862 PULL	VERIFY	SA		SHALL BE PROVIDED BY THE S		ACTON. LO		HARDWA	RE SET #11			
, 1	CONCEALED VERT. ROD EXIT	AD8610 862 PULL	VERIFY	SA	HARDWA	RE SET #5C					EED VERTICAL FABRIC ROLL-U	ID DOOR		
2	DOOR CLOSER	UNI7500 X 7788	VERIFY	NO		BUILDING ENTRY - SINGLE DOC TION: ALUMINUM STOREFRON		RANCE		nigh sp	EED VERTICAL FABRIC ROLL-C	JP DOOR		
2	BLADE STOP SPACER THRESHOLD	6891 BY DOOR MFR.	VERIFY	NO	FUNCTIO	N: ELECTRIC LATCH RETRACTI	ON, FAIL SECURE, INTEGRATE	D REQUES		QTY.	DESCRIPTION	NUMBER	FINISH	MFR.
1 2	SET WEATHERSTRIP SWEEP	BY DOOR MFR. BY DOOR MFR.			QTY.	DESCRIPTION PIVOT SET	NUMBER BY DOOR MANUFACTURER	FINISH VERIFY	MFR.	1	DOOR PANEL	ALL WEATHER M2/M3	GRAY	DY/EN
1	ASTRAGAL SET	BY DOOR MFR.			1	CONCEALED VERT ROD	55 56 70 8910 PTB US23D	VERIFY	SA					Ì
					1	EXIT EPT	EL-CEPT-10	US26D	SU					
	CLASSROOM FUNCTION EXIT I LUMINUM DOOR AND FRAME I		RDWARE A	BOVE TO	1 1	CYLINDER OPERATOR DOOR SWITCH	70 41 502	VERIFY	SA NO	NOTES:	SEE ELECTRICAL DRAWINGS F	FOR CONTROLS DESIGN		
HARDWA	RE SET #3				1 1	VESTIBULE SWITCH DOOR CLOSER	503 UNI7500 X 7788	VERIFY	NO NO					
DESCRIP	EMERGENCY EXIT ONLY - SING	IT			1 1 1	BLADE STOP SPACER DOOR OPERATOR THRESHOLD	6891 6060 BY DOOR MANUFACTURER	VERIFY VERIFY	NO NO					<
QTY.	N: NO EXTERIOR TRIM OR OUT DESCRIPTION	NUMBER	FINISH	MFR.	1 1	SET WEATHERSTRIP SWEEP	BY DOOR MANUFACTURER BY DOOR MANUFACTURER							
1 1	PIVOT SET MORTISE EXIT DEVICE,	BY DOOR MFR. 8910	VERIFY VERIFY	SA	1	KEYSWITCH	MKA (FOR AUTO OPERATOR)		SU					· ·
1	EXIT ONLY DOOR CLOSER	UNI7500 X 7788	VERIFY	NO	1	SWITCH POST POWER SUPPLY	500 BPS-24-1		NO SU					<
1 1	BLADE STOP SPACER THRESHOLD	6891 BY DOOR MFR.	VERIFY	NO	2	CARD READER	CARD READER TO BE		30					<
1 1	SET WEATHERSTRIP SWEEP	BY DOOR MFR. BY DOOR MFR.					PROVIDED BY SECURITY CONTRACTOR							*
1 1	POSITION SWITCH SIGN BY STOREFRONT SUPPLIER	DPS BY SECURITY CONT. "EMERGENCY EXIT ONLY"		SU	POSITION	ACCESS BY AUTHORIZED CARD	SECURITY CONTRACTOR. WIL	DE STILES A	ND		NOTE: NOT AL	LL HARDWARE SETS ARE		*
	EXIT ONLY. VERIFY FINISH ON ME FINISH	HARDWARE ABOVE TO MATCI	L H ALUMINUN	l 1 DOOR	MANUFAO AND FRA	REQUIRED. EPT PREP TO BE (CTURER. VERIFY FINISH ON HA ME FINISH. LOCAL POWER SUF R SHALL ISNTALL POWER SUF	RDWARE ABOVE TO MATCH A PPLY IS REQUIRED. DOOR HAF	LUMINUM D RDWARE	OOR			DINATE WITH SCHEDULE.		<
					DOOR IN	ACCORDANCE WITH MANUFAC QUIREMENT.								<
•	RE SET #4D	EVTEDIOD TOIM												
DESCRIP	EMERGENCY EXIT (INCLUDES TION: SHELL EXTERIOR DOOR	,												
QTY.	N: EXTERIOR PULL, STORERO DESCRIPTION	OM FUNCTION NUMBER	FINISH	MFR.	I									
3	HINGE (HEAVY WEIGHT)	T4B3386 NRP 4-1/2" X 4-1/2"	US32D	MK	-									
1 1	EXIT DEVICE DOOR CLOSER	70 8804 PSB UNI7500	US32D 689	SA NO										~
1 1	THRESHOLD RAIN GUARD	171A 346C		PE PE										· · · · · · · · · · · · · · · · · · ·
. 1	SET WEATHERSTRIP	303APK	1	l PF										•

1 SET WEATHERSTRIP

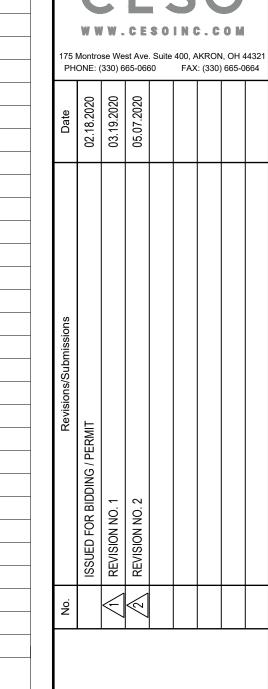
303APK 315CN



EXISTING DOOR AND FRAME TO REMAIN. RETROFIT AS REQUIRED WITH NEW DOOR HARDWARE AS INDICATED. GC TO EVALUATE EXISTING CONDITION AND COORDINATE WITH AMAZON CM

2. EXISTING OVERHEAD DOOR TO BE LOCKED IN PLACE AND SEALED SHUT. COORDINATE WITH AMAZON CM AND AMAZON SECURITY FOR ANY ADDITIONAL SCOPE OF WORK REQUIRED.

4. NEW DRIVE-THRU DOORS IN EXISTING OPENING. VERIFY EXISTING OPENING SIZE AND PREP FOR RECEIPT OF NEW DOORS, HOODS AND FEATURES PRIOR TO ORDERING NEW DOORS.



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4. G.C. TO VERIFY ALL HARDWARE FUNCTION, KEYING AND SECURITY REQUIREMENTS

757184-01 AS NOTED SCU 02.18.2020

DOOR & **HARDWARE**

A6.10

WITH OWNER PRIOR TO PURCHASE. ALL EXISTING DOORS TO BE REUSED TO GET NEW CORES. COORDINATE KEYING WITH OWNER. 5. UNDERCUT DOORS 1" AT TOILET ROOMS, JANITOR CLOSETS AND A/V CLOSET FOR AIR INTAKE (SEE MECHANICAL DRAWINGS). NO DOOR LOUVERS WILL BE ACCEPTED. 6. VERIFY ROUGH OPENING SIZES AND REQUIREMENTS WITH DOOR/FRAME MANUFACTURER. 7. MAXIMUM PULL FORCES FOR EXTERIOR DOORS TO BE 15 LBS. 8. PAINT INTERIOR SIDE OF ALL WAREHOUSE EXTERIOR HOLLOW METAL DOORS AND

FRAMES "SEMI-GLOSS" SAFETY RED (PT-10)/ 1\
9. PROVIDE RUST INHIBITOR COATING AND STAINLESS STEEL SCREWS/FASTENERS ON ALL HARDWARE ITEMS AT EXTERIOR DOORS PER MANUFACTURER SPECIFICATIONS.

10. ALL ELECTRONIC HARDWARE SHALL BE COORDINATED WITH ELECTRICAL AND SECURITY CONTRACTORS. 11. ALL HM DOORS TO BE 1 3/4" THICK. EXTERIOR HM DOORS TO BE INSULATED WITH A U-VALUE OF 0.50.

 NOT ALL DOOR AND FRAME TYPES ARE USED. COORDINATE WITH SCHEDULE. 2. DOOR NUMBERING MUST BE FOLLOWED EXACTLY PER PLANS. ANY CONFLICTS SHOULD BE BROUGHT TO ARCHITECTS OR TENANT CM'S ATTENTION.

3. ALL WOOD BLOCKING REQUIRED AT EXTERIOR WALL/WINDOW DETAILS TO BE

ALUMINUM CHAIN LINK FENCE GYPSUM WALL BOARD HOLLOW METAL PREFINISHED

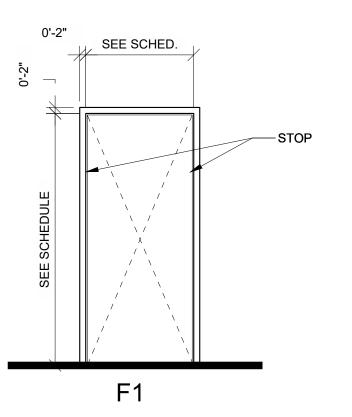
12. ABBREVIATIONS: ALUM CLF GWB HM PREFIN SOLID CORE WOOD DOOR SCWD

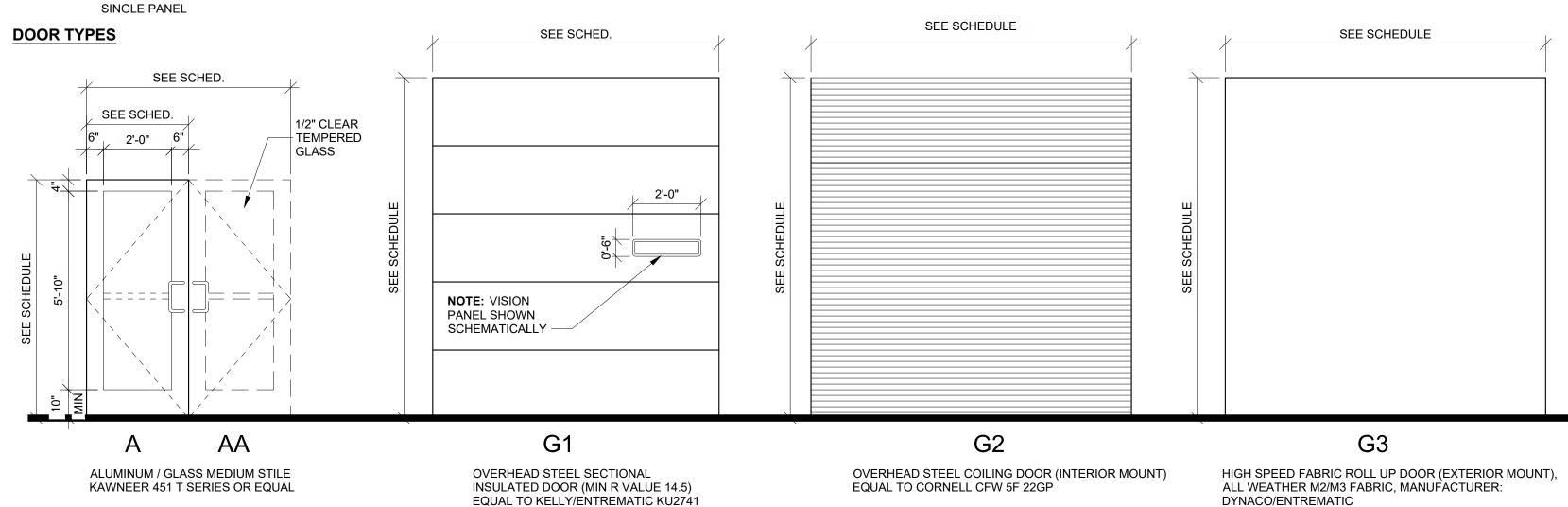
CLR ANOD. CLEAR ANODIZED

GENERAL DOOR NOTES

PRESSURE TREATED.

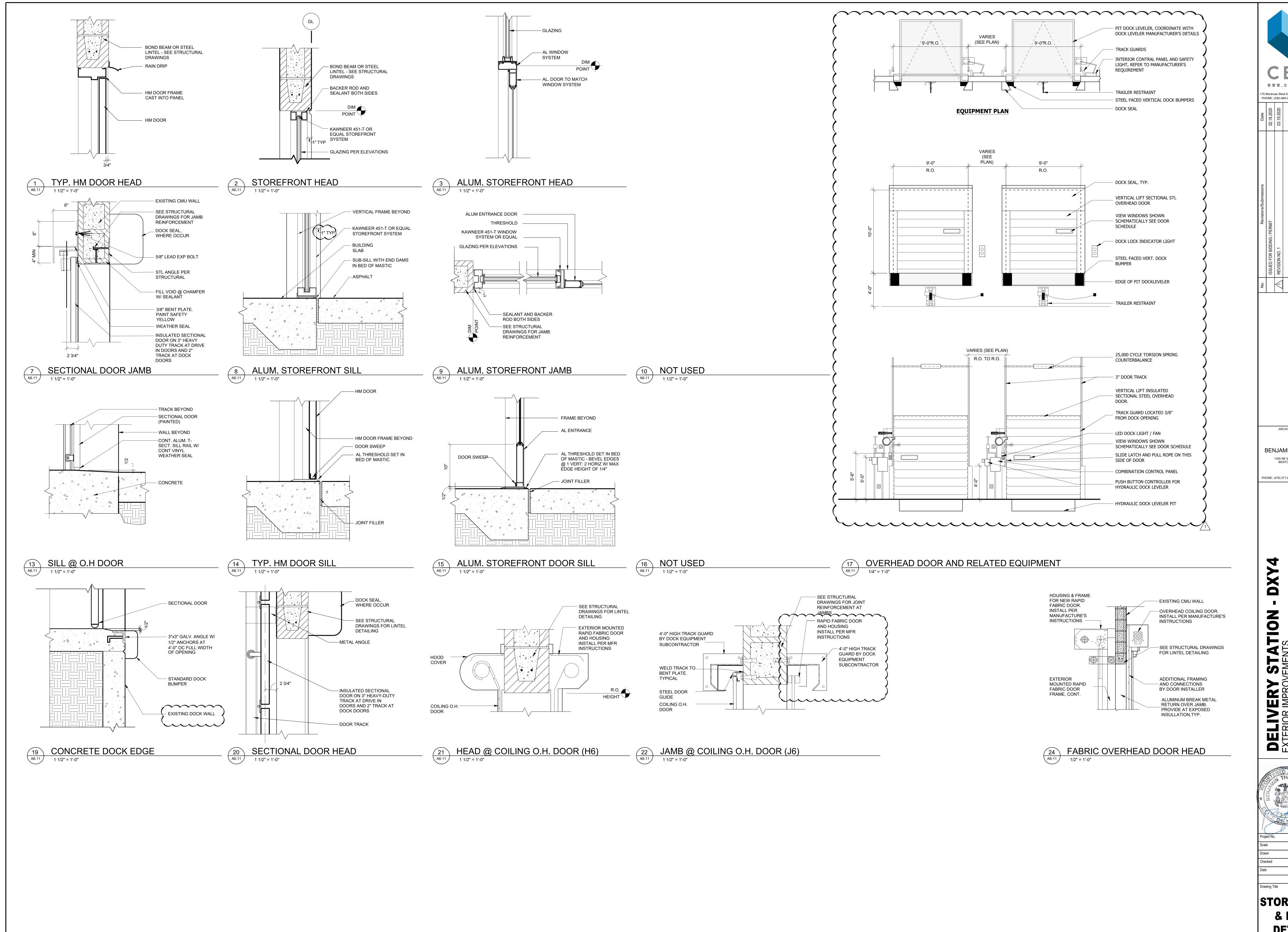
FRAME TYPES





AND AMAZON SECURITY FOR ANY MODIFICATIONS/UPGRADES REQUIRED.

3. SEE EXTERIOR ELEVATIONS FOR ANY FINISH REQUIREMENTS.



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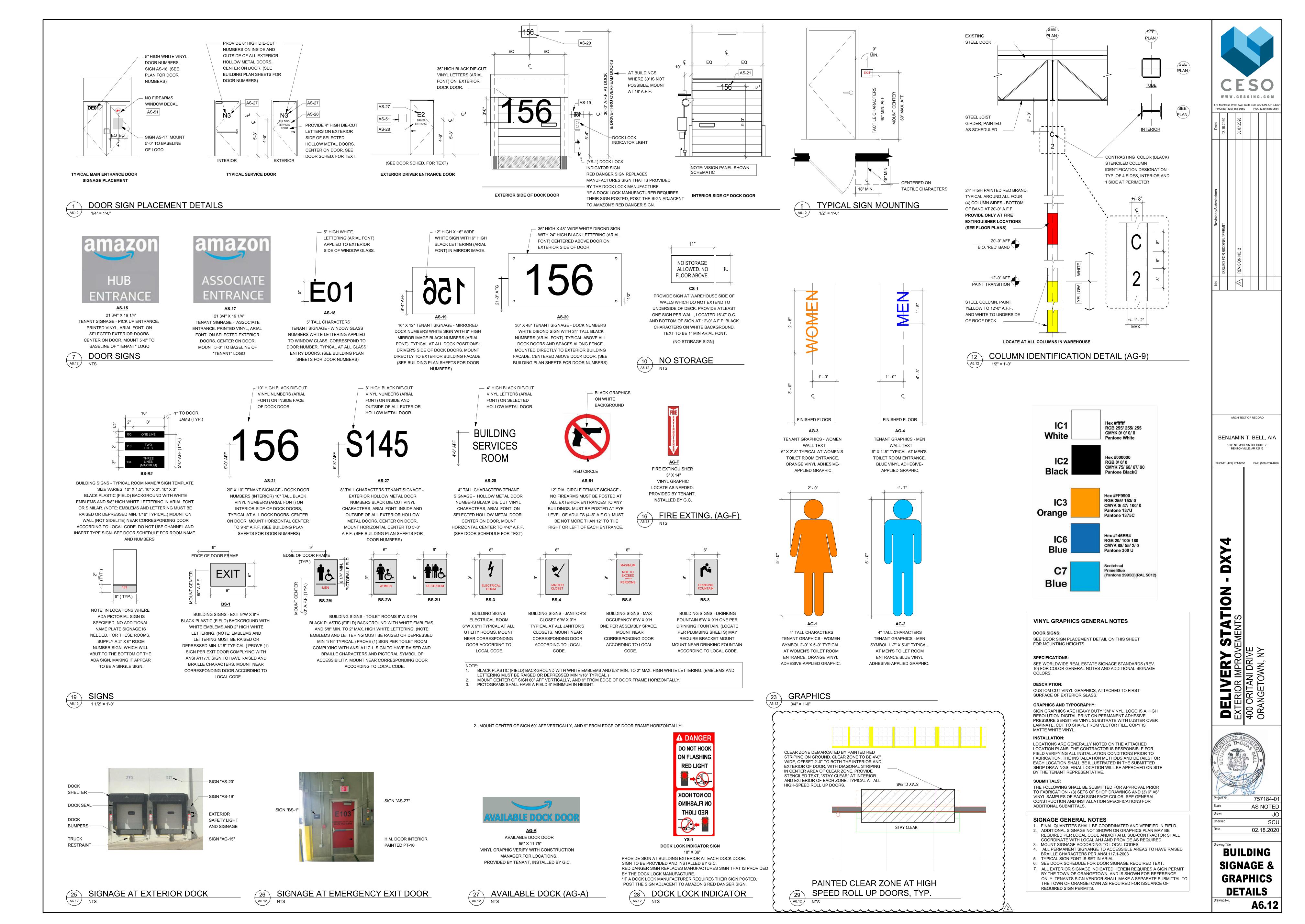
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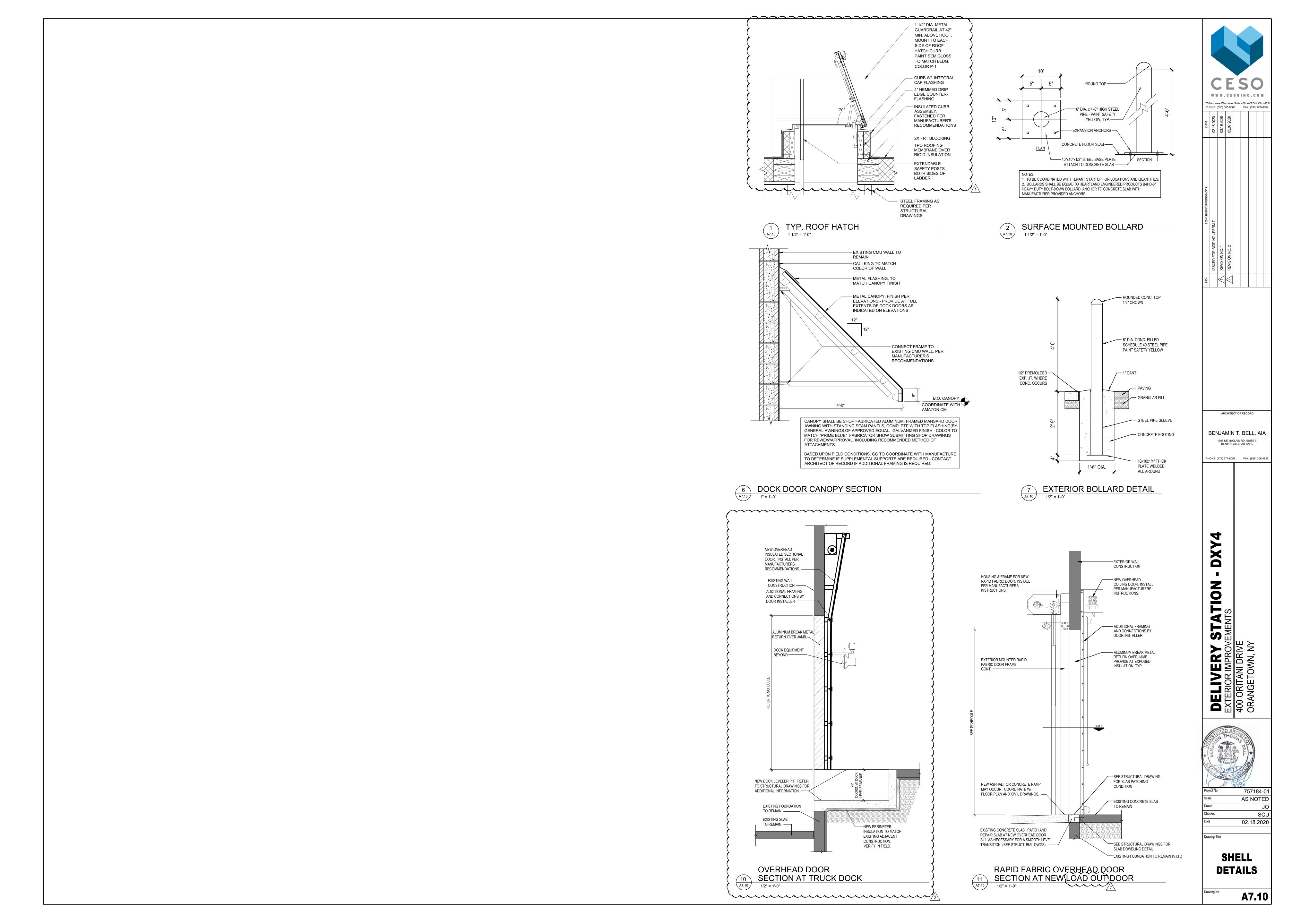
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AS NOTED 02.18.2020

STOREFRONT & DOOR **DETAILS**

A6.11





GROUND SNOW LOAD (Pg) SNOW EXPOSURE FACTOR (Ce) IMPORTANCE FACTOR (Is) THERMAL FACTOR (Ct) 1.0 (MAIN BUILDING) FLAT ROOF SNOW LOAD (Pf) - 21 PSF (MAIN BUILDING WIND LOAD: ULTIMATE DESIGN WIND SPEED (Vult) NOMINAL WIND SPEED (Vasd) RISK CATEGORY **EXPOSURE CATEGORY** EXPOSURE B

INTERNAL PRESSURE COEFFICIENT (G Cpi) 6. SEISMIC LOAD: RISK CATEGORY IMPORTANCE FACTOR (Ie) MAPPED SPECTRAL RESPONSE ACCELERATION AT SHORT PERIOD (Ss) - 0.273

MAPPED SPECTRAL RESPONSE ACCELERATION AT ONE-SECOND PERIOD (S1) - 0.072 - 0.287 SPECTRAL RESPONSE PARAMETER AT SHORT PERIOD (SDs) SPECTRAL RESPONSE PARAMETER AT ONE-SECOND PERIOD (SD1) SEISMIC-DESIGN CATEGORY -B SEISMIC RESPONSE COEFFICIENT (Cs) - 0.096 BASIC SEISMIC FORCE RESISTING SYSTEM:

G2 STEEL ORDINARY CANTILEVER COLUMN SYSTEMS (R=1.25, Ω =1.25, Cd=1.25) DESIGN BY EQUIVALENT LATERAL FORCE PROCEDURE MECHANICAL FRAMING LOADS, OPENINGS, AND STRUCTURE IN ANY WAY RELATED TO MECHANICAL REQUIREMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL OBTAIN APPROVAL OF MECHANICAL AND OTHER TRADES BEFORE PROCEEDING WITH SUCH PORTION OF THE WORK. EXCESS COST RELATED TO VARIATION IN MECHANICAL REQUIREMENTS TO BE BORNE BY

MECHANICAL CONTRACTOR. COORDINATE SIZE AND LOCATION OF ALL OPENINGS WITH THE MECHANICAL DRAWINGS. 8. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE [DEMOLITION PROCEDURES,] ERECTION PROCEDURES AND SEQUENCES AND TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS, OR TIE-DOWNS WHICH MIGHT BE NECESSARY. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT.

9. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL

10. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS RELATING TO EXISTING CONSTRUCTION AND EXISTING SERVICE ON THE SITE. 11. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF COLUMNS, WALLS, OPENINGS ETC. WITH THE ARCHITECTURAL DRAWINGS PRIOR TO PROCEEDING WITH THE WORK. DO NOT SCALE THESE DRAWINGS. USE DIMENSIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN STRUCTURAL DRAWINGS AND DRAWINGS OF ANY OTHER

12. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION DEAD LOAD APPLIED TO THE STRUCTURAL FRAMING. 13. THE ERECTION AND CONSTRUCTION SEQUENCES SHALL BE DEVELOPED BY THE CONTRACTOR TO ACCOUNT FOR THE EFFECTS OF

THERMAL MOVEMENTS TO THE STRUCTURE. DETAILED EXPANSION JOINTS ON THESE DRAWINGS ARE DESIGNED FOR MOVEMENT OF A COMPLETED STRUCTURE 14. IF EQUIPMENT SHIPPING OR OPERATING WEIGHT EXCEEDS VALUE SHOWN ON THESE DRAWINGS, DO NOT PLACE EQUIPMENT. NOTIFY

STRUCTURAL ENGINEER AND ARCHITECT. 15. DO NOT MODIFY, ALTER OR REPAIR ANY STRUCTURAL MEMBER WITHOUT PRIOR WRITTEN APPROVAL OF THE STRUCTURAL

16. SHOP DRAWINGS SHALL BE REVIEWED AND STAMPED BY CONTRACTOR PRIOR TO SUBMISSION TO STRUCTURAL ENGINEER. 17. DEFERRED SUBMITTALS: THE FOLLOWING COMPONENTS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER HIRED BY THE CONTRACTOR, LICENSED IN THE STATE OF THE PROJECT. DESIGN INFORMATION SHALL BE SIGNED AND SEALED BY THE PROFESSIONAL ENGINEER. SEE CONTRACT DOCUMENTS FOR DESIGN LOADS AND OTHER DESIGN CRITERIA. A. STEEL CONNECTIONS NOT SPECIFICALLY AND FULLY DETAILED ON THE STRUCTURAL DRAWINGS. B. SECONDARY, NON-STRUCTURAL STEEL ITEMS

 SPECIFICATIONS AND STANDARDS: CONCRETE WORK, DETAILING, FABRICATION AND PLACING OF BARS AND CONCRETE SHALL BE GOVERNED BY THE APPLICABLE VERSION OF:

033000 - CAST-IN-PLACE CONCRETE

A. ACI 301, ACI 315, AND ACI 318. B. CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS. C. ACI 306 AND ACI 305 FOR COLD AND HOT WEATHER CONCRETING, RESPECTIVELY.

THE CONTRACTOR SHALL AT ALL TIMES HAVE A COPY OF THE RELEVANT SPECIFICATIONS QUOTED ABOVE ON THE SITE AND THE SUPERVISORY PERSONNEL SHALL BE THOROUGHLY FAMILIAR WITH THE CONTENTS THEREOF.

A. LEAN CONCRETE UNDER FOUNDATIONS FOR EARTH FILL DUE TO ACCIDENTAL OVER-EXCAVATION OR SOFT SPOTS. 3. CONCRETE REQUIREMENTS AND LOCATION IN JOB: SPECIAL REQUIREMENTS

85 PSI

3000 PSI FOOTINGS PIERS, WALLS, 0.55 3000 PSI **EQUIPMENT PADS** 4500 PSI EXTERIOR CONCRETE 6% +/- 1.5% AIR CONTENT 1500 PSI NO TESTS, SOFT SOIL REPLACE FARTH FILL

SECTION 26.12 4. REINFORCING REQUIREMENTS: A. BARS: ASTM A615 - GRADE 60

LEAN FILL

POST INSTALLED SCREW ANCHORS A. THE ANCHOR SHALL COMPLY WITH THE APPLICABLE VERSION OF IBC AND BE CERTIFIED BY AN ICC-ES EVALUATION REPORT. THE ANCHOR SHALL BE SUITABLE FOR USE IN CRACKED CONCRETE.

SUBMIT CONCRETE MIXES FOR APPROVAL IN ACCORDANCE WITH ACI 301 BEFORE PLACING ANY CONCRETE. ALL MIXES SHALL

INCLUDE ASTM C150 PORTLAND CEMENT AND ALL AGGREGATE SHALL CONFORM TO ASTM C33. CONCRETE TESTING PER ACI 318

NO TESTS, UTILITY BACKFILL UNDER FTGS

B. INTERIOR USE ONLY. THE ENTIRE ANCHOR SHALL BE CARBON STEEL WITH ZINC PLATING EQUIVALENT TO DIN EN 4042 (8µm MIN). C. PRE-DRILL HOLES WITH STANDARD AISI DRILL BIT PER THE MANUFACTURER'S INSTALLATION GUIDELINES. INSTALL THE ANCHOR WITH AN IMPACT WRENCH. D. PROVIDE ANCHORS WITH A DIAMETER AND LENGTH MARKING ON THE HEAD AS INDICATED ON THE DRAWINGS. 6. POST INSTALLED ADHESIVE ANCHORS AND DOWELS:

A. THE ENTIRE ANCHOR SYSTEM SHALL BE EVALUATED TO COMPLY WITH THE APPLICABLE VERSION OF IBC AND BE CERTIFIED BY AN ICC-ES EVALUATION REPORT. THE ANCHOR SYSTEM SHALL MEET THE REQUIREMENTS OF ACI 355.4, EVALUATED FOR USE IN CRACKED CONCRETE B. SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE THE PRODUCT INDICATED ON DRAWINGS OR COMPARABLE PRODUCT CAPABLE OF RESISTING LOADS EQUIVALENT TO THE BASIS OF DESIGN PRODUCT WHEN USED WITH THE SAME EMBEDMENT,

ORIENTATION, EDGE DISTANCE, AND SPACING. BASIS OF DESIGN: HILTI HIT-RE 500-SD WITH ASTM F1554 Gr. 36; ASTM A307; ASTM A193 B7; ASTM F593 SS. ANCHORS SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL IF EXPOSED TO EXTERIOR CONDITIONS. SUBMIT PROPOSED SUBSTITUTION FOR APPROVAL WITH ACCOMPANYING ICC-ES REPORT. C. THE FOLLOWING PARAMETERS HAVE BEEN USED IN THE DESIGN: 1) MINIMUM AGE OF CONCRETE: 21 DAYS

2) CONCRETE TEMPERATURE RANGE: VERIFY ALLOWABLE BASE TEMPERATURE WITH MANUFACTURER. 3) MOISTURE CONDITION AT TIME OF INSTALLATION: DRY (IF WATER SATURATED, PRODUCT DATA SHALL BE PROVIDED THAT INDICATES ANCHOR DOES NOT HAVE REDUCED CAPACITY COMPARED TO A DRY HOLE) 4) TYPE OF LIGHTWEIGHT CONCRETE (IF APPLICABLE): LIGHTWEIGHT AGGREGATE OR SAND.

5) HOLE DRILLING AND PREP: ROTARY HAMMER DRILL WITH HOLE CLEANING PER MANUFACTURER INSTRUCTIONS. D. INSTALLATION OF ADHESIVE ANCHORS HORIZONTALLY OR UPWARDLY INCLINED SHALL BE PERFORMED BY PERSONNEL CERTIFIED BY AN APPLICABLE CERTIFICATION PROGRAM. CERTIFICATION SHALL INCLUDE WRITTEN AND PERFORMANCE TESTS IN ACCORDANCE WITH ACI/CRSI ADHESIVE ANCHOR INSTALLER CERTIFICATION PROGRAM, OR EQUIVALENT.

FOOTINGS: A. DOWELS IN FOOTINGS TO MATCH VERTICAL REINFORCING IN CONCRETE WALLS, COLUMNS AND PIERS.

B. BEND ALL BARS 24 DIAMETERS AROUND CORNERS OF FOOTINGS. BARS AT THE INSIDE FACE OF THE CORNER SHALL BE CONTINUED ACROSS TO THE OUTSIDE AND THEN BENT.

A. WHERE ANCHOR RODS ARE PLACED IN THE TOP OF COLUMNS OR PEDESTALS, PLACE 3 SETS OF COLUMN TIES EQUALLY SPACED WITHIN THE TOP 5" OF THE COLUMN OR PEDESTAL.

A. OPENINGS SHOWN ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL COORDINATE SIZES AND LOCATIONS WITH ARCHITECTURAL, MECHANICAL AND OTHER REQUIREMENTS BEFORE PROCEEDING WITH THE WORK. B. IF ANY OPENING NOT SHOWN ON THE PLAN IS REQUIRED, APPROVAL MUST BE SECURED FROM THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE WORK.

10. COVER A. MINIMUM CONCRETE COVER, UNLESS NOTED OTHERWISE: 1) UNFORMED SURFACE IN CONTACT WITH THE GROUND: 3"

> 2) FORMED SURFACES EXPOSED TO EARTH OR WEATHER: 1 1/2" FOR #5 OR SMALLER, 2" FOR #6 OR LARGER. 3) FORMED SURFACES NOT EXPOSED TO EARTH OR WEATHER: WALLS & SLABS: 3/4", BEAMS & COLUMNS (TO TIES OR STIRRUPS): 1 1/2".

11. MISCELLANEOUS: A. CONSTRUCTION JOINTS PERMITTED ONLY WHERE SHOWN OR AS APPROVED BY THE STRUCTURAL ENGINEER. B. PROVIDE EQUIPMENT PADS, INERTIA BASES AND CURBS AS NOTED ELSEWHERE IN THE CONTRACT DOCUMENTS. UNLESS NOTED, DOWEL PADS WITH HOOKED #4x0'-6" PROJECTING 3" FROM CONCRETE BELOW AT 18" c/c EACH WAY. REINFORCE PADS WITH #4 @ 18" c/c EACH WAY AT MID-DEPTH (FOR PADS <8" THICK) UNLESS REQUIRED OTHERWISE BY EQUIPMENT SUPPLIER. C. SUBMIT STEEL REINFORCING SHOP DRAWINGS THAT DETAIL FABRICATION, BENDING AND PLACEMENT PRIOR TO FABRICATION.

COMPRESSIVE STRENGTH OF MASONRY (f'm) 2,500 PSI, DETERMINED BY UNIT STRENGTH OR PRISM METHOD.

A. HOLLOW AND SOLID LOAD BEARING CONCRETE MASONRY UNITS - ASTM C90 - NORMAL WEIGHT. NET COMPRESSIVE STRENGTH OF CMU = 3,250 PSI.

042000 CONCRETE MASONRY

B. MORTAR: 1) CONCRETE UNIT MASONRY WALLS - ASTM C270 TYPE S. D. COARSE MASONRY GROUT: COMPLY WITH ASTM C476.

A. THE ENTIRE ANCHOR SHALL BE THREADED ROD ASTM A193 B7.

1) 28-DAY COMPRESSIVE STRENGTH TO MATCH F'M GIVEN IN ITEM 1. 2) PROVIDE GROUT WITH A SLUMP OF 8-11 INCHES AS MEASURED ACCORDING TO ASTM C143. E. MASONRY REINFORCEMENT:

1) HORIZONTAL JOINT REINFORCEMENT: 9 GA DEFORMED WIRE, LADDER TYPE REINFORCEMENT a. IN EVERY SECOND BLOCK COURSE, FULL HEIGHT, AND WHERE SHOWN ON DRAWINGS. b. IN FIRST BED JOINT ABOVE AND BELOW OPENINGS EXTENDING 24" BEYOND OPENING. c. LAP REINFORCEMENT A FULL WIDTH AT CORNERS AND INTERSECTIONS.

2) VERTICAL REINFORCING: ASTM A615 - GRADE 60 BEARING POINTS: A. LINTELS: 2 COURSES x 16" WIDE SOLID OR GROUTED SOLID MASONRY. 4. POST-INSTALLED ADHESIVE ANCHORS: (FOR USE IN HOLLOW OR GROUT-FILLED CONCRETE MASONRY)

B. THE ADHESIVE ANCHOR SYSTEM SHALL COMPLY WITH THE APPLICABLE VERSION OF IBC AND BE CERTIFIED BY AN ICC-ES EVALUATION REPORT SHOWING SUITABILITY WITH HOLLOW AND GROUT-FILLED CONCRETE MASONRY. C. PLASTIC MESH SCREEN TUBES SHALL BE PROVIDED AT ALL HOLLOW MASONRY APPLICATIONS. D. SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE THE BASIS OF DESIGN PRODUCT OR COMPARABLE PRODUCT CAPABLE OF RESISTING LOADS EQUIVALENT TO THE BASIS OF DESIGN PRODUCT WHEN USED WITH THE SAME EMBEDMENT DEPTH,

ADHESIVE. INSTALL PER MANUFACTURER'S LITERATURE AND INSTALLATION GUIDELINES. COORDINATE BLOCK-OUTS, REVEALS, OPENINGS AND OTHER BUILT IN ITEMS WITH ALL CONTRACT DOCUMENTS AND TRADES.

051200 - STRUCTURAL STEEL FRAMING

ORIENTATION, EDGE DISTANCE, SPACING & PLACEMENT RELATING TO JOINTS IN MASONRY. BASIS OF DESIGN: HILTI HIT-HY 270

A. ANSI/AISC 360 - SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS. ASD B. AISC 303 - CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES. C. AWS STANDARD WELDING SYMBOLS. D. AWS D1.1 STRUCTURAL WELDING CODE - STEEL

WELDING SHALL BE PERFORMED ONLY BY OPERATORS QUALIFIED, BY THE AWS STANDARD QUALIFICATION PROCEDURE, TO PERFORM THE PARTICULAR TYPE OF WORK REQUIRED. E. RCSC SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.

A. WELDS: VISUAL TESTING SHALL BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY ON ALL WELDS. INADEQUATE WELDS SHALL BE STRENGTHENED OR CUT OUT AND REPLACED AS DIRECTED. B. STRUCTURAL STEEL: PROVIDE MILL REPORTS FOR PROPERLY IDENTIFIED MATERIALS ON REQUEST. C. A325 AND A490 BOLTS: PROVIDE BOLT INSPECTION AS DETAILED IN SECTION 9 OF SPECIFICATIONS FOR STRUCTURAL JOINTS

USING A325 OR A490 BOLTS. MATERIALS: A. "W" SHAPES: ASTM A992 Fy = 50 KSI, ASTM A572 Fy = 50 KSI

B. ANGLES, PLATES AND BARS: ASTM A36. C. RECTANGULAR HOLLOW STRUCTURAL SECTIONS: ASTM A500 GR C, Fy = 50 KSI, ASTM A1085, Fy = 50 KSI D. WELDING ELECTRODES: AWS A5.1 OR A5.5 SERIES E70. E. BOLTS: ASTM A325.

UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY

F. ANCHOR RODS: ASTM F1554 GR.36. G. PAINT AND PROTECTION - NONE EXCEPT AS NOTED BELOW:

1. SPECIFICATIONS AND STANDARDS:

1) INTERIOR MEMBERS EXPOSED TO VIEW IN THE FINISHED STRUCTURE - PRIME COAT, TOUCH UP AFTER ERECTION. 2) MEMBERS EXPOSED TO WEATHER IN FINISHED STRUCTURE, SHELF ANGLES AND LINTELS IN EXTERIOR WALLS - GALVANIZED PER ASTM A123 AFTER FABRICATION. H. SHRINKAGE-RESISTANT GROUT: ASTM C1107, NON-METALLIC AGGREGATE, NON-CORROSIVE, NON-STAINING. F'C=5,000 PSI MIN.

4. LINTELS: A. LINTELS FOR EXTERIOR WALL OPENINGS - HOT DIPPED GALVANIZED.

B. 8" BEARING EACH SIDE OF OPENINGS UNLESS NOTED. C. UNLESS SHOWN OTHERWISE, PROVIDE 1 ANGLE FOR EACH 4" WALL THICKNESS AS FOLLOWS: MASONRY OPENING

3'-6" OR LESS L 3 1/2x3 1/2x1/4 3'-7" TO 5'-0" L 4x3 1/2x1/4 LLV 5'-1" TO 8'-0" L 5x3 1/2x5/16 LLV 8'-1" TO 10'-0" L 6x3 1/2x5/16 LLV

5. CONNECTION REQUIREMENTS: A. DESIGN CONNECTIONS FOR VERTICAL REACTIONS SHOWN ON DRAWINGS OR FOR FULL CAPACITY OF MEMBER WHERE NO

B. DESIGN MOMENT BEAM CONNECTIONS FOR VALUES SHOWN OR FOR FULL MOMENT CAPACITY OF MEMBER. C. CONNECTIONS SHOWN AND DETAILED ON THE DRAWINGS MAY BE REDESIGNED BY THE STRUCTURAL STEEL CONTRACTOR FOR EQUAL FORCES PROVIDED THE SAME ARRANGEMENT OF MEMBERS IS USED AND THE OVERALL SIZE OF THE CONNECTION DOES NOT EXCEED THAT OF THE CONNECTION DETAILED.

D. OBTAIN APPROVAL FROM STRUCTURAL ENGINEER FOR TYPES OF CONNECTIONS BEFORE FABRICATION. E. ALL BOLTED CONNECTIONS TO BE SHEAR/BEARING TYPE WITH BOLTS IN THE SNUG TIGHT CONDITION UNLESS NOTED

6. MISCELLANEOUS REQUIREMENTS: A. ROUND PENETRATIONS ARE PERMITTED IN THE WEB OF WIDE-FLANGE MEMBERS THAT MEET ALL OF THE FOLLOWING CRITERIA. CONTACT SMBH FOR PENETRATIONS THAT DO NOT MEET THESE CRITERIA. 1) OPENING DIAMETER IS LESS THAN OR EQUAL TO 0.15 TIMES THE DEPTH OF THE BEAM. 2) EDGE OF OPENING IS A MINIMUM OF 0.15 TIMES THE DEPTH OF THE BEAM FROM THE TOP AND BOTTOM OF THE BEAM.

3) OPENINGS ARE NOT PERMITTED WITHIN 1.0 TIMES THE DEPTH OF THE BEAM AWAY FROM THE ENDS. 4) OPENINGS ARE NOT PERMITTED WITHIN 0.5 TIMES THE DEPTH OF THE BEAM FROM A LOCATION WHERE ANOTHER BEAM FRAMES INTO THE REFERENCE BEAM. 5) EDGES OF ADJACENT OPENINGS ARE AT LEAST 2X THE LARGEST OPENING DIAMETER APART. B. STEEL FRAMING FOR OPENINGS FOR, SUPPORTING OR CONNECTING TO MECHANICAL OR OTHER EQUIPMENT IS SHOWN FOR

BIDDING PURPOSES ONLY. CONTRACTOR SHALL COORDINATE SIZES AND LOCATIONS WITH MECHANICAL AND OTHER REQUIREMENTS BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL COORDINATE SIZES AND LOCATIONS OF STEEL ANGLE FRAMES FOR OPENINGS THAT ARE SHOWN ON THE MECHANICAL AND ARCHITECTURAL DRAWINGS. C. STEEL BELOW GRADE TO BE PROTECTED BY A MINIMUM OF 3" OF CONCRETE OR 4" OF MASONRY. D. 1/4" THICK SETTING PLATES FOR ALL BEAMS BEARING ON MASONRY OR CONCRETE WHICH DO NOT REQUIRE A BEARING PLATE. ANCHOR THE SETTING PLATE TO THE WALL W/ TWO -1/2"Øx6" HEADED STUDS.

E. ANGLE SUPPORTS FOR METAL DECK RIBS AT COLUMNS WHEN THE COLUMN SIZE PREVENTS THE RIBS FROM CONTINUING TO THE BEAMS THAT ARE SUPPORTING THE DECK AT COLUMN LINES. F. UNLESS NOTED OTHERWISE, FIREPROOFING IS NOT SHOWN ON THE STRUCTURAL DRAWINGS. REFER TO ARCHITECTURAL

DRAWINGS FOR FIRE-RATING REQUIREMENTS, METHODS AND MATERIALS. G. SUBMIT SHOP DRAWINGS TO STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. JOIST BEARING ELEVATION JOINT

ABOVE FINISHED FLOOR ANCHOR KSF APPROX APPROXIMATELY LAT LATERAL LBS, # ARCHITECT (URAL) POUNDS BOTTOM LIVE LOAD BEARING BUILDING BLOCK LNTL LOC BLOCKING LOCATION BEAM **BOTH SIDES** BASE PLATE LVL LONG WAY LW

PSL

QTY

REINF

REQ REQ'D

SCHED

SPEC

SSR

STIFF

STD

TEMP

THK

T&B

TOS

BETWEEN CONCRETE BEAM CENTER-TO-CENTER CONTINUOUS END COLD FORMED, METAL FORMED MECH CONTROL JOINT MEZZ CENTERLINE MIN MPH MISC CONCRETE MASONRY UNITS MTL

CLR CMU COL CONC CONCRETE CONNECT (ION) CONST CONSTRUCT (ION) CONT CONTINUOUS (ATION) CONTR CONTRACTOR CTR CENTER CURTAIN WALL

ANCHOR BOLT

ADDITIONAL

ADJACENT

ADJ

AFF

ANC

B, BOT

BRG

BLK'G

BTWN

CFMF

BM

CUBIC YARDS DOUBLE DISCONTINUOUS END DET DETAIL DIA,Ø DIAMETER DIAG DIAGONAL DIMENSION DIM DEAD LOAD DISTRIBUTION RIB DWG DRAWING DWL **DOWEL** EACH EACH END EACH FACE

EXPANSION JOIN ELEVATION ELEV ELEVATOR EMBEDDED (MENT) **EMBED** EOS EDGE OF SLAB EQUAL E-, EXTG EXISTING EACH SIDE EACH WAY EXP EXPANSION **EXTERIOR** FROM ADJACENT BEAM FABR FABRICATE (OR) FFE FINISHED FLOOR ELEVATION

FIN

FLR

FND

FOS

FOW

FINISHED FULL LENGTH FLOOR FOUNDATION FACE OF MASONRY FACE OF STUD FACE OF VENEER FACE OF WALL FAR SIDE FEET, FOOT FOOTING GAGE GALVANIZED GALV GENERAL CONTRACTOR GRADE GRTG GRATING GENERAL

H, HORIZ HORIZONTAL HEADED HOOK HIGH-STRENGTH INSIDE DIAMETER INSIDE FACE INTERIOR, INTERMEDIATE

JOIST KIP (1000 POUNDS) KIPS PER SQUARE FOOT

LONG LEG HORIZONTAL LONG LEG VERTICAL LONG SIDE HORIZONTAL LONG SLOTTED HOLES LONG SIDE VERTICAL LAMINATED VENEER LUMBER

MASONRY MAXIMUM MECHANICAL MEZZANINE MINIMUM MILES PER HOUR MISCELLANEOUS METAL N/A NOT APPLICABLE NOT IN CONTRACT NEAR SIDE NTS NOT TO SCALE

OPENING OPPOSITE (HAND) ON CENTER **OUTSIDE DIAMETER** OUTSIDE FACE OUT-TO-OUT ORIENTED STRAND BOARD **OUTSTANDING LEG** OVERSIZE ROUND HOLES

PRECAST CONCRETE POWDER ACTUATED FASTENER(S) POUNDS PER LINEAR FOOT POUNDS PER SQUARE INCH POUNDS PER SQUARE FOOT PARALLEL STRAND LUMBER QUANTITY ROOF DRAIN REINFORCE (ING) (ED) REQUIRE (MENTS) REQUIRED SLIP-CRITICAL SCHEDULE SHEET SIMILAR SPECIFICATION(S) SLOPE(D)

SPACE(S) (ED) SQUARE STAINLESS STEEL SHORT SLOTTED HOLES SHEAR STUD RAIL STIFFENER STANDARD STEEL STRUCTURE (AL) STRUCT SHORT WAY TOP TOP OF TEMPERATURE, TEMPORARY THREADED THICK (NESS) TOP AND BOTTOM TOP OF STEEL **UNLESS NOTED**

UNLESS NOTED OTHERWISE V, VERT VERTICAL WITH WIND LOAD WELDED WIRE REINFORCING WORK(ING) POINT EXTRA STRONG DOUBLE EXTRA STRONG

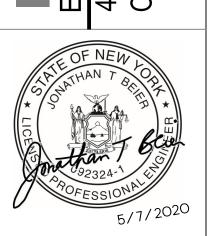
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BENJAMIN T. BELL, AIA

ARCHITECT OF RECORD

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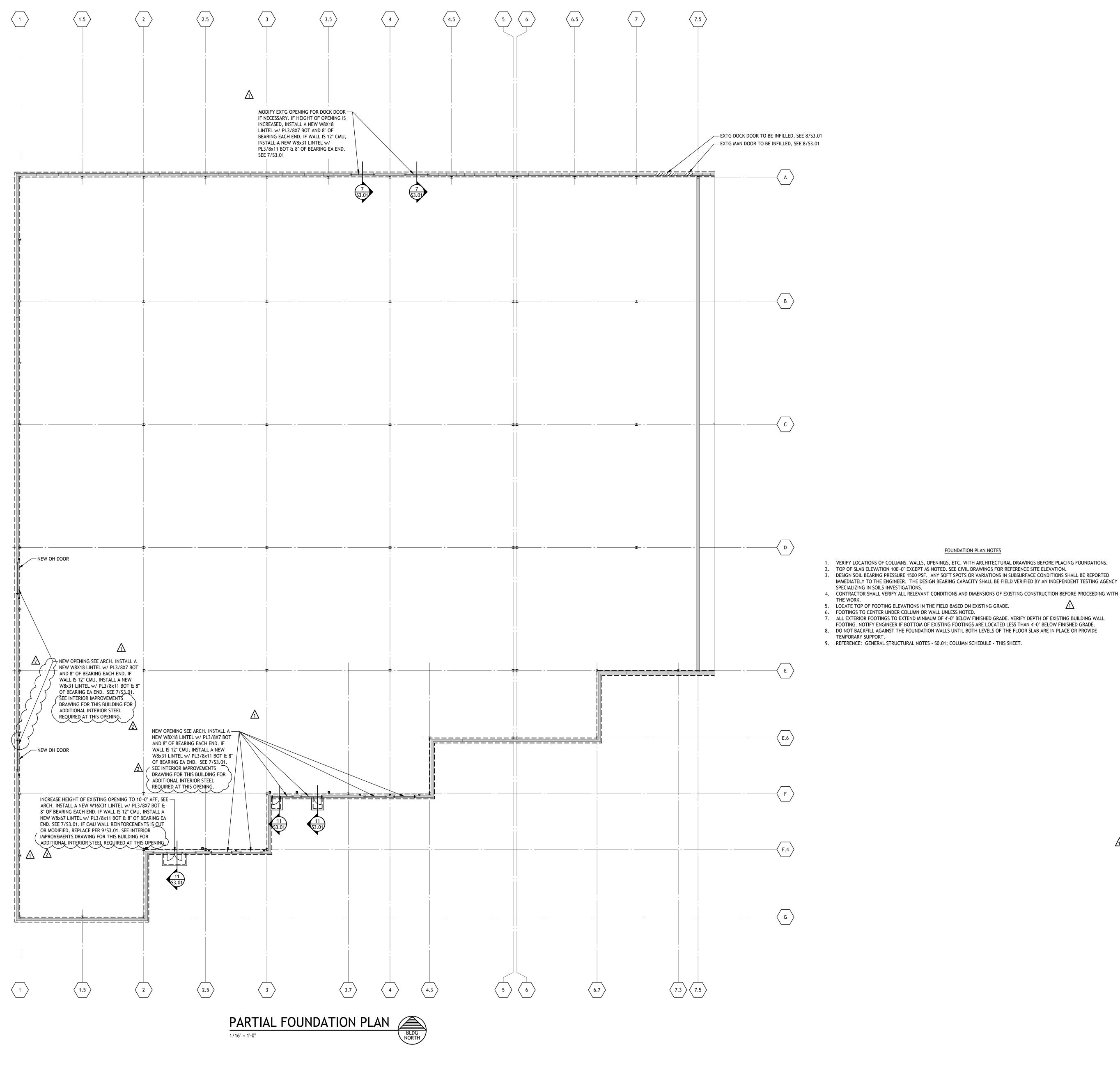
1305 NE McCLAIN RD. SUITE 7. BENTONVILLE, AR 72712



757184-01 **AS NOTED** JS/JB 02.18.2020

GENERAL NOTES

S0.01



FOUNDATION PLAN NOTES

- VERIFY LOCATIONS OF COLUMNS, WALLS, OPENINGS, ETC. WITH ARCHITECTURAL DRAWINGS BEFORE PLACING FOUNDATIONS. TOP OF SLAB ELEVATION 100'-0" EXCEPT AS NOTED. SEE CIVIL DRAWINGS FOR REFERENCE SITE ELEVATION. DESIGN SOIL BEARING PRESSURE 1500 PSF. ANY SOFT SPOTS OR VARIATIONS IN SUBSURFACE CONDITIONS SHALL BE REPORTED
- SPECIALIZING IN SOILS INVESTIGATIONS. 4. CONTRACTOR SHALL VERIFY ALL RELEVANT CONDITIONS AND DIMENSIONS OF EXISTING CONSTRUCTION BEFORE PROCEEDING WITH
- 5. LOCATE TOP OF FOOTING ELEVATIONS IN THE FIELD BASED ON EXISTING GRADE. 6. FOOTINGS TO CENTER UNDER COLUMN OR WALL UNLESS NOTED.
- 7. ALL EXTERIOR FOOTINGS TO EXTEND MINIMUM OF 4'-0" BELOW FINISHED GRADE. VERIFY DEPTH OF EXISTING BUILDING WALL FOOTING. NOTIFY ENGINEER IF BOTTOM OF EXISTING FOOTINGS ARE LOCATED LESS THAN 4'-0" BELOW FINISHED GRADE.
- 8. DO NOT BACKFILL AGAINST THE FOUNDATION WALLS UNTIL BOTH LEVELS OF THE FLOOR SLAB ARE IN PLACE OR PROVIDE
- 9. REFERENCE: GENERAL STRUCTURAL NOTES S0.01; COLUMN SCHEDULE THIS SHEET.

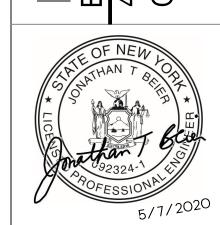
ARCHITECT OF RECORD

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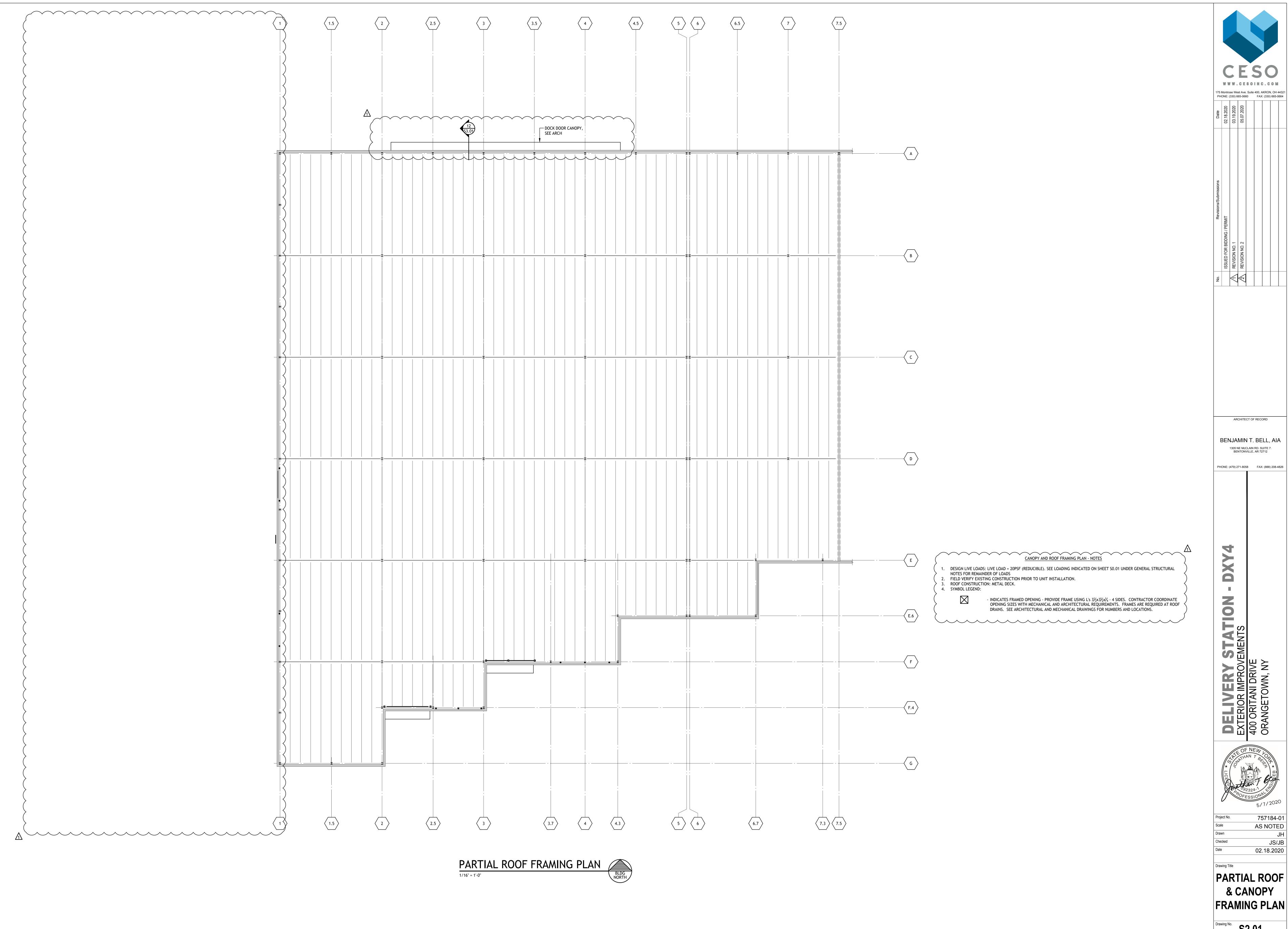
175 Montrose West Ave. Suite 400, AKRON, OH 44321 PHONE: (330) 665-0660 FAX: (330) 665-0664



AS NOTED 02.18.2020

PARTIAL FOUNDATION PLAN

S1.01

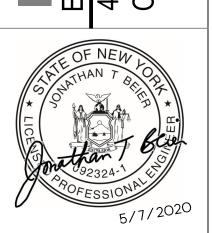


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Date	02.18.2020	03.19.2020	05.07.2020				
Revisions/Submissions	ISSUED FOR BIDDING / PERMIT	REVISION NO. 1	REVISION NO. 2				
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BENJAMIN T. BELL, AIA 1305 NE McCLAIN RD. SUITE 7. BENTONVILLE, AR 72712

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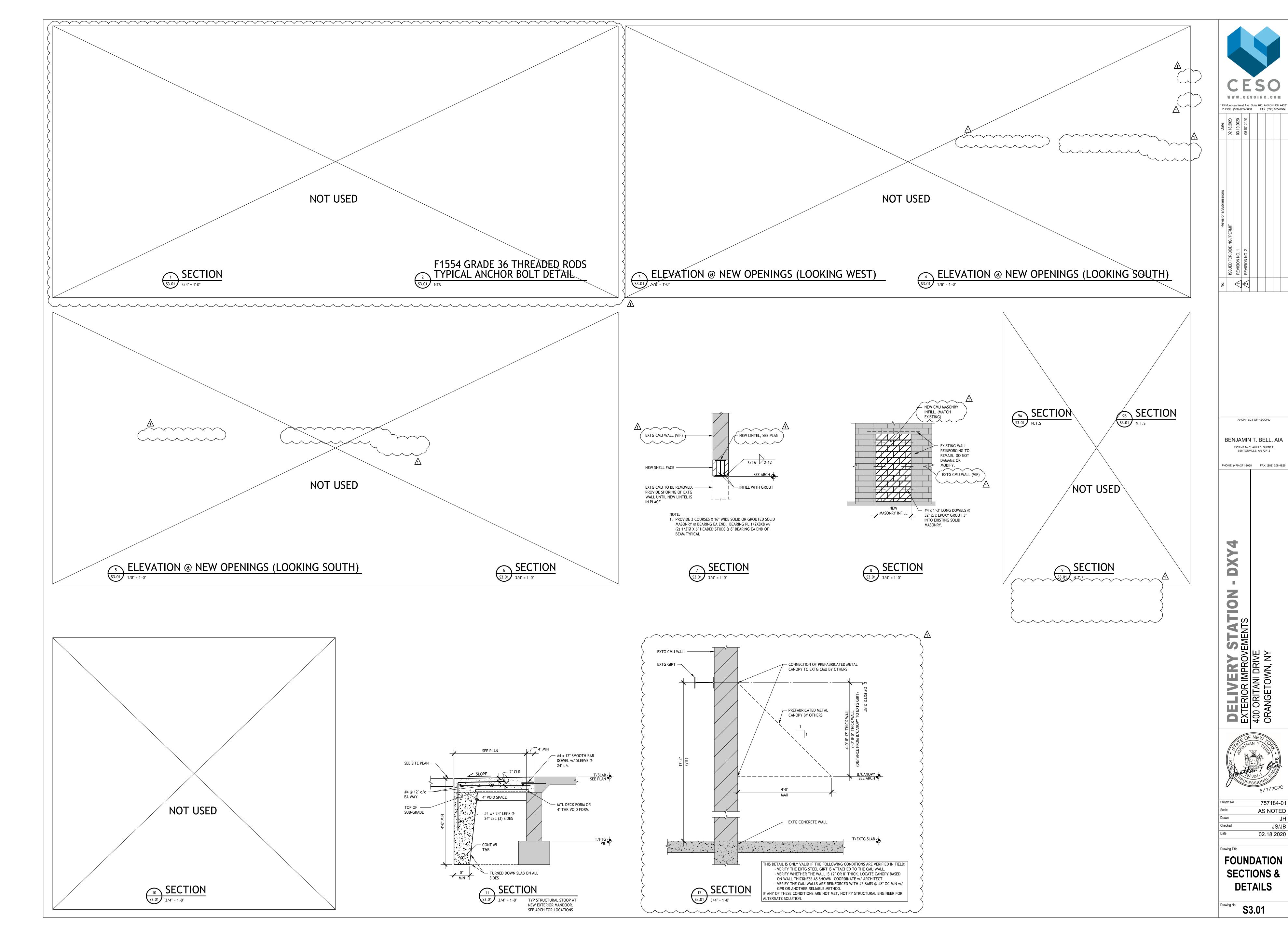
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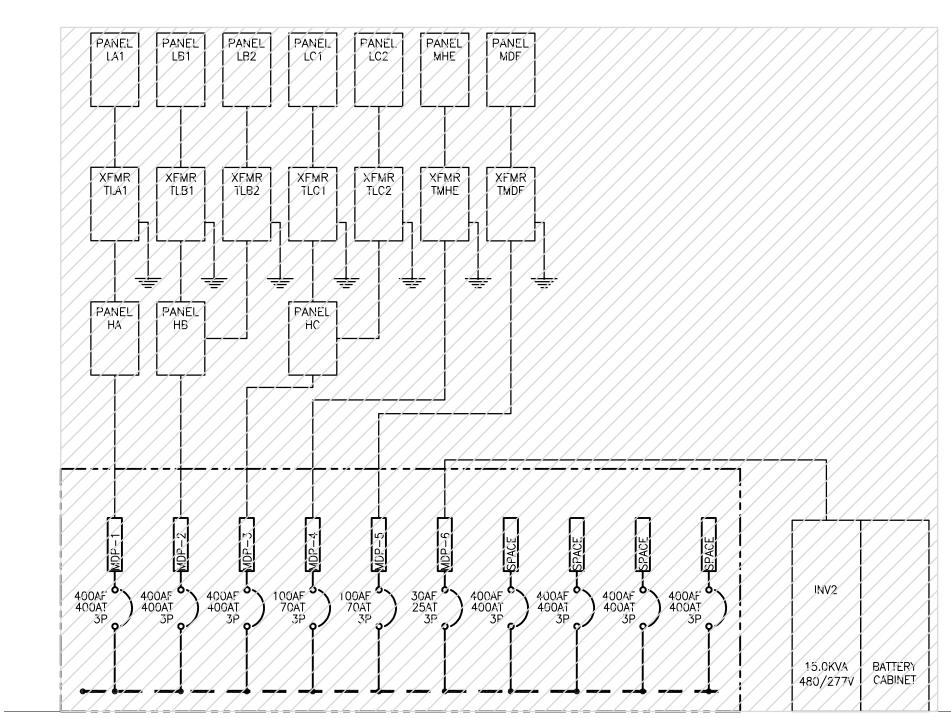
PARTIAL ROOF & CANOPY

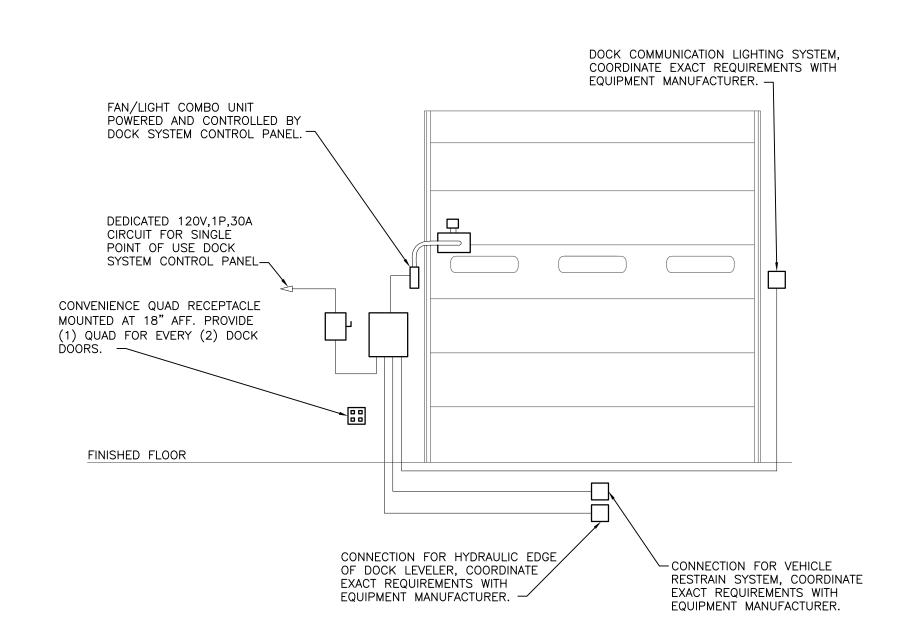
S2.01



PANEL: SYSTEM: FEEDER: DPTIONS:	HA 480/277V., 3P,4W SEE RISER DIAGR	AM		LC	DCATION: MAINS:									NEMA ENCLOSURE ABINET MOUNTING LUGS AIC RATING	: SURFACE : TOP
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OPTIONS:															AIC RATING:	
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			1			29			С	30	720		1	20	RCPT - LOA	
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			1			33		В		34	540		1	20	RCPT - EXTE	RIOR DOCK
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GENERAL NOTES:

- 1. COORDINATE AND PROVIDE ALL POWER AND CONTROL WIRING REQUIREMENTS WITH MANUFACTURER PRIOR TO BEGINNING WORK.
- 2. COORDINATE ALL DIMENSIONS WITH ARCHITECT AND EQUIPMENT INSTALLERS PRIOR TO BEGINNING WORK.
- 3. DETAIL MAY NOT REFLECT EXACT SYSTEM CONFIGURATION. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED CONDUIT AND WIRING FOR COMPLETE SYSTEM. COORDINATE FINAL REQUIREMENTS WITH EQUIPMENT SUPPLIER AND SYSTEM SPECIFIC WIRING DIAGRAMS.
- 4. ALL COMPONENTS MUST BE PROPERLY GROUNDED PER NEC 250-81(a) & (c). INCLUDE GROUNDING BUSHING ON ALL CONDUITS ENTERING NON-METALIC ENCLOSURES WITH #8 GROUNDING BUSHINGS WHEN MULTIPLE
- CONDUITS ENTER ENCLOSURE. 5. REFER TO DRAWING E0.01 FOR KEY NOTES AND ADDITIONAL INFORMATION.

TYPICAL LOADING DOCK DOOR ELEVATION DETAIL NOT TO SCALE

ELECTRICAL SYMBOLS LEGEND

HOME RUN TO PANEL. CIRCUIT NUMBERS, PHASE, NEUTRAL AND GROUND CONDUCTORS INDICATED ALONG WITH ISOLATED GROUND CONDUCTOR IF APPLICABLE. CONDUIT INSTALLED CONCEALED ABOVE CEILING OR IN WALL — — CONDUIT INSTALLED CONCEALED BELOW FLOOR SLAB OR UNDERGROUND ----DC---- CONDUIT INSTALLED WITH DIRECT CURRENT POWER WIRING CONDUIT TURNED UP OR DOWN AS NOTED FLEXIBLE CONDUIT FOR FINAL CONNECTION TO EQUIPMENT SINGLE POLE SWITCH, +3'-10" OR AS NOTED THREE-WAY SWITCH, +3'-10" OR AS NOTED WEATHERPROOF TOGGLE SWITCH, +3'-10" OR AS NOTED SINGLE POLE SWITCH WITH PILOT LIGHT, +3'-10" OR AS NOTED MOMENTARY CONTACT SWITCH FOR USE WITH VACANCY SENSOR, +3'-10" OR AS NOTED WALL MOUNTED OCCUPANCY SENSOR, +3'-10" OR AS NOTED CEILING MOUNTED OCCUPANCY SENSOR WALL MOUNTED VACANCY SENSOR, +3'-10" OR AS NOTED CEILING MOUNTED VACANCY SENSOR CEILING MOUNTED INTERIOR DAYLIGHT HARVESTING PHOTOCELL SENSOR POWER PACK, INSTALLED ABOVE ACCESSIBLE CEILING SIMPLEX RECEPTACLE, +18" OR AS NOTED ISOLATED GROUND SIMPLEX RECEPTACLE, +18" OR AS NOTED DUPLEX RECEPTACLE, +18" OR AS NOTED ISOLATED GROUND DUPLEX RECEPTACLE, +18" OR AS NOTED CONTROLLED DUPLEX RECEPTACLE, +18" OR AS NOTED QUADRUPLEX RECEPTACLE, +18" OR AS NOTED ISOLATED GROUND QUADRUPLEX RECEPTACLE, +18" OR AS NOTED

QUADRUPLEX RECEPTACLE WITH ONE OUTLET CONTROLLED, +18" OR AS NOTED GROUND FAULT INTERRUPTING RECEPTACLE, +18" OR AS NOTED WEATHERPROOF GROUND FAULT INTERRUPTING RECEPTACLE, +18" OR AS NOTED $\oplus \oplus \oplus$ RECEPTACLE INSTALLED HORIZONTALLY, BOTTOM AT +6" ABOVE COUNTER TOP RECEPTACLE INSTALLED FLUSH IN CEILING ISOLATED GROUND RECEPTACLE INSTALLED FLUSH IN CEILING

SPECIAL RECEPTACLE, NEMA STYLE AS NOTED, +18" OR AS NOTED MULTI-OUTLET SYSTEM, INSTALL AS NOTED FLUSH FLOOR MOUNTED RECEPTACLE, LETTER INDICATES TYPE POKE-THROUGH FLUSH FLOOR MOUNTED RECEPTACLE, LETTER INDICATES TYPE

> JUNCTION BOX DISCONNECT SWITCH, TOP AT +6'-0" OR AS NOTED DISCONNECT SWITCH PROVIDED WITH EQUIPMENT.

COMBINATION MOTOR STARTER/DISCONNECT SWITCH FURNISHED BY MECHANICAL CONTRACTOR, INSTALLED BY ÉLECTRICAL CONTRACTOR MOTOR CONNECTION

LIGHTING CONTACTOR, INSTALLED AS NOTED TIME CLOCK, +6'-2" OR AS NOTED CONTROL OR POWER RELAY, INSTALLED AS NOTED PUSHBUTTON, TOP AT +4'-6" OR AS NOTED

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DOOR BELL CHIME, +8'-0" OR AS NOTED CONTROL TRANSFORMER, INSTALLED AS NOTED THERMOSTAT, TEMPERATURE SENSOR, CARBON DIOXIDE SENSOR AND HUMIDISTAT PROVIDED

BY MECHANICAL CONTRACTOR, +3'-10" OR AS NOTED ELECTRICALLY OPERATED DAMPER, PROVIDED BY MECHANICAL CONTRACTOR

CARD READER, +3'-10" OR AS NOTED TELEPHONE OUTLET, +18" WITH 1/2" CONDUIT TO ABOVE CEILING TELEPHONE OUTLET, +6" ABOVE COUNTER WITH 1/2" CONDUIT TO ABOVE CEILING

DATA OUTLET, +18" WITH 3/4" CONDUIT TO ABOVE CEILING DATA OUTLET, +6" ABOVE COUNTER WITH 3/4" CONDUIT TO ABOVE CEILING TELEPHONE/DATA OUTLET, +18" WITH 1" CONDUIT TO ABOVE CEILING TELEPHONE/DATA OUTLET, +6" ABOVE COUNTER WITH 1" CONDUIT TO ABOVE CEILING

FIRE ALARM CONTROL PANEL, FLUSH MOUNTED, TOP AT +6'-0"MANUAL FIRE ALARM PULL STATION, +3'-10" PER ADA FIRE ALARM HORN AND 110cd STROBE, +80" TO BOTTOM OF DEVICE PER ADA STROBE ONLY (75cd UNO), +80" TO BOTTOM OF DEVICE PER ADA

FIRE ALARM HORN AND 115cd STROBE, CEILING MOUNTED STROBE ONLY (115cd UNO), CEILING MOUNTED AREA TYPE PHOTOELECTRIC SMOKE DETECTOR, CEILING MOUNTED, OR AS NOTED DUCT TYPE PHOTOELECTRIC SMOKE DETECTOR WITH SAMPLING TUBES AND REMOTE

INDICATOR LIGHT MOUNTED FLUSH IN CEILING BELOW DETECTOR FIRE ALARM SYSTEM RELAY SPRINKLER FLOW SWITCH, PROVIDED BY PLUMBING CONTRACTOR SPRINKLER TAMPER SWITCH, PROVIDED BY PLUMBING CONTRACTOR

FIRE SPRINKLER SYSTEM BELL (GONG), +10'-0" AFG COMBINATION FIRE/SMOKE DAMPER PROVIDED BY MECHANICAL CONTRACTOR AFF/AFG ABOVE FINISHED FLOOR/GRADE

> AUTHORITY HAVING JURISDICTION BUILDING AUTOMATION SYSTEM

ELECTRICAL CONTRACTOR FIRE ALARM

GENERAL CONTRACTOR MECHANICAL CONTRACTOR

NON-FUSED PLUMBING CONTRACTOR

TYPICAL

WEATHERPROOF

SYMBOLS LEGEND NOTES:
MOUNTING HEIGHTS INDICATED ARE MEASURED FROM FINISHED FLOOR TO THE CENTERLINE OF THE DEVICE UNLESS NOTED OTHERWISE.

GENERAL DEMOLITION NOTES

- ALL EXISTING DEVICES AND/OR CIRCUITS SHOWN ARE INDICATED ONLY FOR INFORMATION PURPOSES. VISIT THE SITE AND VERIFY ALL CONDITIONS AS THEY EXIST AND REMOVE, RELOCATE AND/OR REWORK ANY ELECTRICAL EQUIPMENT OR CIRCUITS NECESSARY FOR A COMPLETE
- FAILURE TO FAMILIARIZE WITH THE SITE WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR PERFORMING ALL WORK
- NECESSARY TO PROVIDE A WORKMANLIKE INSTALLATION.
- ALL WORK SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE ADOPTED ELECTRICAL CODE.
- NOTIFY BUILDING OPERATIONS MANAGER (7) BUSINESS DAYS IN ADVANCE OF ALL INTERRUPTIONS TO THE EXISTING BUILDING SERVICES.
- MAINTAIN ACCURATE RECORDS OF ALL MODIFICATIONS TO EXISTING SYSTEMS WHICH ARE TO REMAIN. DELIVER ALL "RECORD" DRAWINGS TO
- THE OWNER INDICATING SUCH CHANGES. DISCONNECT AND LABEL ABANDONED FEEDERS AND CIRCUITS.
- WHERE NEW WORK INTERFERES WITH CIRCUITS IN ROOMS OTHERWISE UNDISTURBED, EXISTING CIRCUITS SHALL BE REWORKED AS REQUIRED 1 MAINTAIN SERVICE.
- REMOVE ALL UNUSED EQUIPMENT, FIXTURES, AND PANELS FROM THE SITE, UNLESS NOTED OTHERWISE.
- COORDINATE THE ROUTING OF ALL CONDUITS AND THE LOCATIONS OF ALL EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICTS WITH DUCTS, PIPES, ETC.
- . PROVIDE BLANK STAINLESS STEEL COVER PLATES WHERE DEVICES (WITH CONCEALED CONDUITS) ARE REMOVED LEAVING EXPOSED BACKBOXES AFTER THE FINAL SURFACE IS APPLIED.
- VERIFY THE LOCATION AND CONDITION OF ALL EXISTING UTILITIES AND PROTECT DURING THE COURSE OF THEIR WORK. EXISTING UTILITIES, BUILDING MATERIALS AND ANY ASSOCIATED ITEMS WHICH ARE DAMAGED CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE (IN A TIMELY MANNER) AND TO THE
- O. REMOVE ALL ROMEX, BX, AND OTHER FLEXIBLE CONDUIT OR CABLE SYSTEMS AND EXPOSED WIRING FOR ALL ABANDONED CIRCUITS. . PROVIDE TEMPORARY CONNECTIONS TO MAINTAIN POWER TO BRANCH AND FEEDER CIRCUITS UNTIL A PERMANENT PANEL IS INSTALLED TO RECONNECT THE EXISTING REMAINING CIRCUITS
- COORDINATE THE REMOVAL OF ALL MECHANICAL AND PLUMBING EQUIPMENT AND REMOVE ALL ELECTRICAL POWER AND CONTROL CIRCUITS FOR EQUIPMENT BEING REMOVED. WHERE EXISTING EQUIPMENT IS BEING REPLACED WITH NEW EQUIPMENT OR RELOCATED EQUIPMENT, CONTRACTOR MAY REUSE THE EXISTING CONDUIT AND ROUGH-IN LOCATIONS IF POSSIBLE, BUT NEW CONDUCTORS SHALL BE PROVIDED.
- . WHERE EQUIPMENT IS REMOVED FROM OR RELOCATED TO A LOCATION WHICH PENETRATES A FIRE RATED STRUCTURE, PROVIDE APPROPRIATE FIRE STOPPING MATERIALS TO MAINTAIN FIRE RATING OF THE STRUCTURE

OWNER'S APPROVAL

GENERAL REMODEL NOTES

- ALL EXISTING EQUIPMENT, WIRING DEVICES, LIGHTS, CONDUIT, WIRING, CIRCUITING, ETC. NOT DISTURBED BY NEW CONSTRUCTION WORK SHALL BE MAINTAINED AND UNDAMAGED. THESE DEVICES, IF SHOWN, ARE SHOWN FOR INFORMATION PURPOSES ONLY. VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS AND FAMILIARIZE THEMSELVES WITH AL WORK TO BE DONE AT THE JOB SITE. FAILURE TO DO SO SHALL NOT RELIEVE CONTRACTOR OF THE RESPONSIBILITY FOR PERFORMING ALL WORK NECESSARY TO PROVIDE A WORKMANLIKE INSTALLATION.
- EXISTING SERVICES (ELECTRICAL, FIRE ALARM, ETC.) SHALL NOT BE INTERRUPTED WITHOUT PRIOR SCHEDULING OF SUCH OUTAGES WITH THE OWNER, ARCHITECT, AND ALL OTHER PARTIES INVOLVED.
- MAINTAIN ACCURATE RECORDS OF ALL MODIFICATIONS TO EXISTING SYSTEMS WHICH ARE TO REMAIN. DELIVER ALL "RECORD" DRAWINGS TO THE OWNER INDICATING SUCH CHANGES.
- . DISCONNECT AND LABEL ABANDONED FEEDERS AND CIRCUITS. . REMOVE ALL EXPOSED CONDUITS, CONDUITS ABOVE LAY-IN CEILINGS, OR
- EQUIPMENT WHICH IS ABANDONED. WHERE NEW WORK INTERFERES WITH CIRCUITS IN ROOMS OTHERWISE
- UNDISTURBED, EXISTING CIRCUITS SHALL BE REWORKED AS REQUIRED TO ALL EQUIPMENT, FIXTURES, PANELBOARDS, CONDUIT AND WIRING THAT
- ARE REMOVED SHALL BE REMOVED FROM THE JOB SITE, UNLESS DIRECTED OTHERWISE BY THE ARCHITECT OR OWNER'S REPRESENTATIVE. EXISTING ROUGH-IN BOXES AND CONDUIT MAY BE UTILIZED IF THEY ARE
- CONSTRUCTION. DEVICES AND WIRING SHALL BE NEW. CIRCUIT ROUTINGS SHOWN IN REMODELED AREAS MAY BE MODIFIED TO SUIT FIELD CONDITIONS. KEEP DEVICES AND/OR FIXTURE CIRCUITS APPROXIMATELY AS INDICATED TO LIMIT VOLTAGE DROP OF FEEDER AND

OF PROPER SIZE AND IN SUITABLE LOCATION(S) FOR NEW

BRANCH CIRCUITS.

-). VERIFY THE LOCATION AND CONDITION OF ALL EXISTING UTILITIES AND PROTECT DURING THE COURSE OF THEIR WORK. EXISTING UTILITIES, BUILDING MATERIALS AND ANY ASSOCIATED ITEMS WHICH ARE DAMAGED BY CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED OR REPLACED AT
- THE CONTRACTOR'S EXPENSE (IN A TIMELY MANNER) AND TO THE OWNER'S APPROVAL. . COORDINATE THE REMOVAL OR RELOCATION OF ALL MECHANICAL AND PLUMBING EQUIPMENT. DISCONNECT AND REMOVE ALL ELECTRICAL POWER AND CONTROL CIRCUITS FOR EQUIPMENT BEING REMOVED OR
- RELOCATED OR NEW EQUIPMENT. ALL CONDUCTORS SHALL BE NEW. 2. REMOVE ALL EXISTING DATA, TELEPHONE, FIRE ALARM CABLING AND ANY OTHER LOW VOLTAGE WIRING THAT ARE NOT TO BE USED.

RELOCATED. EXISTING CONDUIT AND ROUGH-IN MAYBE USED FOR

13. DESIGN IS BASED ON FIELD INFORMATION, AS-BUILT DRAWINGS AND OWNER FURNISHED INFORMATION. VERIFY ACCURACY OF ALL EXISTING CONDITIONS. IN CASE OF DISCREPANCY, PROVIDE ALL NECESSARY CONDUIT, WIRE, BOXES, FITTINGS, ETC. FOR A COMPLETE OPERATING ELECTRICAL SYSTEM. ENTIRE INSTALLATION TO COMPLY WITH

W	IRING SCHEDULE
FOI	R VOLTAGE DROP
DISTANCE	CONDUCTOR SIZE
1	20V – 20A BRANCH CIRCUIT
UP TO 100'	#12
100' - 150'	#10
150' – 250'	#8
250' - OVER	#6
2	777V — 20A BRANCH CIRCUIT
UP TO 200'	#12
200' - 375'	#10
375' - OVER	#8

AT PANEL FOR FINAL CONNECTIONS TO CIRCUIT BREAKER.

GENERAL ELECTRICAL NOTES

- INCLUDE ALLOWANCE FOR UNFORESEEN CONDITIONS THAT MAY EFFECT THE SCOPE OF WORK. MINOR DEVIATIONS REQUIRED FOR ACCOMPLISHING THE INTENT OF THIS DESIGN ARE TO BE INCLUDED IN THIS ALLOWANCE.
- SWITCHBOARDS, PANELBOARDS, DISCONNECT SWITCHES, TRANSFORMERS AND CONTACTORS SHALL BE "LISTED" AND "IDENTIFIED" AS RATED FOR A MINIMUM OF 75°C CONDUCTOR TERMINATION. ELECTRICAL DESIGN HAS BEEN BASED ON THE INSTALLATION OF 75°C CONDUCTORS CONNECTED TO TERMINAL LUGS AND EQUIPMENT U.L
- LISTED FOR A MINIMUM 75°C. CONDUCTORS TERMINATED ON EQUIPMENT WITH A LOWER RATING (60°C) OR NO RATING SHOWN TO HAVE CONDUCTOR SIZE INCREASED TO CONFORM TO ADOPTED ELECTRICAL CODE AND UL/CUL NO. 489 REQUIREMENTS.
- CONDUIT INSTALLED INDOORS SHALL BE ELECTRICAL METALLIC TUBING (EMT), MINIMUM 1/2" OR AS NOTED.
- CONDUIT INSTALLED BELOW SLAB SHALL BE RIGID STEEL, IMC, PVC OR HDPE, MINIMUM 3/4". IF PVC OR HDPE IS USED, TRANSITION TO RIGID STEEL BEFORE TURNING UP AND PENETRATING FLOOR SLAB.
- CONDUCTORS SHALL BE A MINIMUM OF #12 THHN/THWN COPPER UNLESS NOTED OTHERWISE ON PLANS OR IN SPECIFICATIONS. BRANCH CIRCUITS SHALL BE PROVIDED WITH (2) #12 CONDUCTORS AND (1) #12 EQUIPMENT GROUND CONDUCTOR UNLESS NOTED OTHERWISE.
- BRANCH CIRCUITS SHOWN WITH TWO GROUNDING CONDUCTORS SHALL HAVE ONE EQUIPMENT GROUND CONDUCTOR (GREEN) AND ONE ISOLATED GROUND CONDUCTOR (GREEN W/ YELLOW STRIP) INSTALLED IN DIRECT CURRENT WIRING SHALL BE (2) #10 IN 1/2" CONDUIT UNLESS
- NOTED OTHERWISE. CONTROL VOLTAGE WIRING SHALL BE PLENUM RATED OR INSTALLED IN THERMOSTATS. TEMPERATURE SENSORS, CARBON DIOXIDE SENSORS AND HUMIDISTATS: UNLESS NOTED OTHERWISE, PROVIDE WALL BOX AT
- +3'-10" AFF WITH 1/2" CONDUIT STUBBED OUT TO ABOVE ACCESSIBLE CEILING WITH NYLON BUSHINGS AND PULLSTRING. PROVIDE FLEXIBLE CONNECTIONS ONLY FOR FINAL CONNECTION TO FOUIPMENT. 6'-0" MAXIMUM LENGTH. PROVIDE LIQUID TIGHT FLEXIBLE
- CONNECTION AT EXTERIOR LOCATIONS AND WERE EXPOSURE TO MOISTURE IS POSSIBLE. ALL EMPTY CONDUITS SHALL BE PROVIDED WITH A PULL WIRE.
- M. ALL RACEWAYS SHALL CONTAIN A GROUNDING ELECTRODE SIZED PER THE ADOPTED ELECTRICAL CODE. COORDINATE WORK ABOVE THE CEILING WITH OTHER TRADES TO PROVIDE
- THE GREATEST POSSIBLE CLEARANCE. CONDUIT RUNS SHALL BE RUN THROUGH TRUSSES WHERE POSSIBLE. VERIFY EXACT PLACEMENT OF ALL DEVICES SHOWN ON THE
- CONSTRUCTION DOCUMENTS PRIOR TO FINAL PLACEMENT. ALL RECESSED PANELBOARDS SHALL BE INSTALLED WITH A MINIMUM OF (3) 3/4" CONDUITS STUBBED UP TO ACCESSIBLE CEILING SPACE FOR
- ALL PANELBOARDS, SWITCHBOARDS AND LINE VOLTAGE CONTROL EQUIPMENT SHALL BE FIELD MARKED TO WARN QUALIFIED PERSONS OF POTENTIAL ELECTRIC ARC FLASH HAZARDS. MARKING SHALL BE LOCATED SO AS TO BE CLEARLY VISIBLE TO QUALIFIED PERSONS BEFORE EXAMINATION, ADJUSTING, SERVICING OR MAINTENANCE OF EQUIPMENT. MARKING SHALL BE SELF ADHESIVE, COMMERCIAL LABEL CONFORMING TO ADOPTED CODES.
- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE OPERABLE PARTS OF THE CONTROLS LOCATED NO HIGHER THAN 48" AND NO LOWER THAN 15" ABOVE THE FLOOR. IF THE REACH IS OVER AN OBSTRUCTION BETWEEN 20" AND 25" IN DEPTH, THE MAXIMUM HEIGHT IS REDUCED TO 44" FOR FORWARD APPROACH OR 46" FOR SIDE APPROACH, PROVIDED THE OBSTRUCTION IS NO MORE THAN 24" IN DEPTH. OBSTRUCTIONS SHALL NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH A CONTROL. TERMS:
- SHALL ACTION THAT IS REQUIRED WITHOUT OPTION OR QUALIFICATION. FURNISH - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING. NSTALL - CONTRACTOR SHALL BE RESPONSIBLE FOR LABOR AND CONSTRUCTION EQUIPMENT NECESSARY TO SET IN PLACE, CONNECT, CALIBRATE AND/OR TEST EQUIPMENT FURNISHED BY HIM OR OTHERS.

PROVIDE - CONTRACTOR SHALL FURNISH AND INSTALL.

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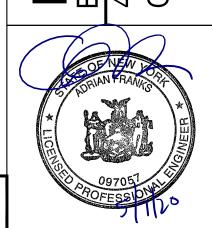
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OTHER SHEETS INCLUDING SPECIFICATIONS APPLY. THAT SHOWN HEREON IS SCHEMATIC IN NATURE AND NOT TO BE USED AS A SHOP DRAWING: THEREFORE, INCLUDE ALL MODIFICATIONS REQUIRED TO CONFORM TO SITE CONDITIONS AND THE EQUIPMENT AND MATERIAL USED. VERIFY LOCATIONS AND DIMENSIONS OF ALL ARCHITECTURAL AND STRUCTURAL ELEMENTS AS SHOWN ON THEIR RESPECTIVE DOCUMENTS, THESE ELEMENTS ARE SHOWN FOR REFERENCE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION AND THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE LEMENTS. NO DESIGN RESPONSIBILITY IS ASSUMED FOR ANY PORTION OF THE WORK THAT THE PROFESSIONAL ENGINEER

HAS NOT SIGNED AND SEALED PER STATE/PROVINCE REQUIREMENTS. Professional

HIS SHEET IS PART OF THE CONSTRUCTION DOCUMENTS.

IS A VIOLATION OF STATE

HAT BEARS THE SEAL OF A

LAW FOR ANY PERSON TO

PROFESSIONAL ENGINEER.

DIRECTION OF A LICENSED

ENERGY CONSERVATION

TO THE BEST OF MY KNOWLEDGE

PROFESSIONAL ENGINEER.

NEW YORK STATE

BELIEF AND PROFESSIONAL JUDGMENT. THESE PLANS AND

SPECIFICATIONS ARE IN COMPLIANCE WITH THE ECCCNYS

AS PER CHAPTER 1 SECTION

COMPLIANCE

ALTER ANY DOCUMENT

UNLESS THE PERSON

IS ACTING UNDER THE

LBI Professional Engineering,LLC T 816-997-9601 310 W 20th Street, Suite 200 F 816-997-9602 Kansas City, MO 64108

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rawing Title

ONE-LINE,

SYMBOLS,

SCHEDULES,

& GENERAL

- THE WORK COVERED BY DIVISION 16 CONSISTS OF FURNISHING ALL LABOR. EQUIPMENT, SUPPLIES, AND MATERIALS (EXCEPT AS OTHERWISE SPECIFIED OR SHOWN ON THE DRAWINGS) REQUIRED TO PERFORM ALL OPERATIONS NECESSARY FOR THE INSTALLATION OF COMPLETE ELECTRICAL SYSTEMS. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.
- 2. COORDINATE ALL WORK WITH OTHER TRADES AND EXISTING CONDITIONS TO PREVENT CONFLICTS CAUSING UNNECESSARY EXPENSE OR DELAYS IN THE INSTALLATION OF WORK. WHEN CONFLICTS ARISE. REMOVE AND RELOCATE ITEMS CAUSING SUCH CONFLICTS AT NO ADDITIONAL COST TO THE OWNER. REFER TO OTHER DISCIPLINE'S DRAWINGS. RELEVANT EQUIPMENT DRAWINGS. AND SHOP DRAWINGS TO DETERMINE AVAILABLE CLEARANCES AND POSSIBLE OBSTRUCTIONS. MAKE ANY NECESSARY OFFSETS OR TRANSITIONS AS REQUIRED TO CLEAR STRUCTURAL MEMBERS, EXISTING EQUIPMENT, ETC. TO FACILITATE INSTALLATION OF THE WORK IN THE MANNER INDICATED
- 3. ALL WORK SHALL COMPLY WITH THE LOCALLY ADOPTED ELECTRICAL CODE AND ALL APPLICABLE LAWS, CODES, RECOMMENDATIONS, REGULATIONS, AND INTERIM AMENDMENTS, OF THE GOVERNMENTAL BODIES HAVING JURISDICTION INCLUDING ADA COMPLIANCE. ALL ELECTRICAL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE GOVERNING SAFETY REGULATIONS, INCLUDING OSHA REGULATIONS. ALL SAFETY LIGHTS, GUARDS AND SIGNS REQUIRED FOR THE PERFORMANCE OF THE ELECTRICAL WORK SHALL BE PROVIDED BY AND OPERATED BY THE ELECTRICAL
- 4. THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THE PROJECT. THE DRAWINGS FOR ELECTRICAL WORK ARE DIAGRAMMATIC, SHOWING THE LOCATION, TYPE, DEVICES AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENTS. PROVIDE ALL FIXTURES, DEVICES, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT FURNISHED BY OTHERS.
- 5. ELECTRICAL DESIGN FOR THIS INSTALLATION IS BASED ON FIELD INSPECTIONS AND PREVIOUS DESIGN DRAWINGS FOR THE EXISTING BUILDING. ELECTRICAL CONTRACTOR IS TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. ALLOWANCES ARE TO BE INCLUDED FOR UNFORESEEN EXISTING CONDITIONS THAT MAY EFFECT THE CONTRACTOR'S SCOPE OF WORK. MINOR DEVIATIONS REQUIRED FOR ACCOMPLISHING THE INTENT OF THIS DESIGN IS TO BE INCLUDED IN THIS ALLOWANCE.
- 6. ELECTRICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES. ANY ITEM DAMAGED BY THIS CONTRACTOR IS TO BE REPAIRED IMMEDIATELY AND AT NO COST
- 7. ROOF PENETRATIONS SHALL COMPLY WITH "SMACNA" AND "NRCA" STANDARDS, AND WITH THE REQUIREMENTS OF THE EXISTING ROOFING WARRANTY, IF APPLICABLE. DO NOT PERFORM ROOFING PENETRATIONS IN A MANNER WHICH WOULD VOID OR OTHERWISE LIMIT THE EXISTING ROOFING WARRANTY.
- 9. TEMPORARY ELECTRICAL SERVICE:

12. CUTTING AND PATCHING:

- A. PROVIDE TEMPORARY ELECTRICAL SERVICE FOR POWER AND LIGHTING DURING CONSTRUCTION. MAINTAIN DURING CONSTRUCTION AND REMOVE SERVICE AFTER CONSTRUCTION IS COMPLETED. THE TEMPORARY SYSTEM SHALL CONSIST OF AN ELECTRICAL SERVICE, DISTRIBUTION SYSTEM, LOAD-CENTER PANEL, GROUNDING, 15 AMP AND/OR 20 AMP BRANCH CIRCUITS, GROUNDED TYPE RECEPTACLES AND LIGHTING FIXTURES.
- B. PROVIDE AND INSTALL SUFFICIENT NUMBER OF TEMPORARY LIGHT FIXTURES FOR A SAFE INSTALLATION FOR ALL TRADES THROUGHOUT THE BUILDING. ALL LAMPS FOR GENERAL ILLUMINATION SHALL BE PROTECTED FROM ACCIDENTAL CONTACT OR BREAKAGE BY SUITABLE FIXTURE OR LAMPHOLDER WITH A GUARD. (NO EXCEPTIONS.)
- 10. WARRANTIES: A. CONTRACTOR SHALL WARRANT ALL WORK PERFORMED AND MATERIAL & LABOR PROVIDED UNDER THE CONTRACT AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP FOR ONE YEAR FROM SUBSTANTIAL COMPLETION. PROVIDE ALL SERVICES AS REQUIRED TO IMMEDIATELY REPAIR OR REPLACE AT NO ADDITIONAL COST, ANY DEFECTIVE PART OF THE INSTALLATION RESULTING FROM THE SUPPLY 4. ALUMINUM CONDUCTORS ARE NOT APPROVED OR ACCEPTABLE OF FAULTY WORKMANSHIP OR MATERIAL. LACK OF MAINTENANCE, ACCIDENTS, OR
- B. ALL LAMPS ARE TO BE WARRANTED ACCORDING TO LAMP MANUFACTURER. WHICH IS ALSO BASED ON AVERAGE LIFE DATA FOR EACH SPECIFIC TYPE OF LAMP. PROVIDE LABOR TO REPLACE ALL DEFECTIVE LAMPS THAT ARE WITHIN LAMP MANUFACTURER'S WARRANTY PERIOD.
- C. ALL EQUIPMENT, APPARATUS AND APPLIANCES WHICH ARE SPECIFIED AND/OR OME WITH WARRANTIES LONGER THAN ONE YEAR SHALL BE REGISTERED WITH THE MANUFACTURER IN THE OWNER'S NAME.
- A. NO STRUCTURAL MEMBERS SHALL BE CUT, DRILLED, OR PENETRATED WITHOUT PRIOR APPROVAL FROM THE ARCHITECT
- B. PROVIDE CUTTING, PATCHING, AND PATCH PAINTING IN EXISTING STRUCTURES, AS REQUIRED FOR THE INSTALLATION OF WORK OF THIS SECTION. EXTENT O CUTTING SHALL BE MINIMIZED. USE CORE DRILLS, POWER SAWS, AND OTHER MACHINES WHICH WILL PROVIDE NEAT, MINIMUM OPENINGS. REFER TO STRUCTURAL DRAWINGS FOR LINTELS AND SUPPORTS TO BE FURNISHED B' OTHERS FOR THE ELECTRICAL WORK. ALL OTHER LINTELS AND SUPPORTS REQUIRED FOR THE ELECTRICAL WORK SHALL BE FURNISHED BY DIVISION 16 PATCHING SHALL MATCH AND EQUAL ADJACENT MATERIALS AND SURFACES AND SHALL BE PERFORMED BY CRAFTSMAN SKILLED IN THE RESPECTIVE CRAFT REQUIRED. PATCHED FINISHES SHALL BE APPROVED BY THE ARCHITECT.
- C. ALL PUBLIC AND PRIVATE PROPERTY DAMAGED AS A RESULT OF WORK PERFORMED UNDER THIS CONTRACT SHALL BE REPAIRED AND REPLACED BY THIS CONTRACTOR, TO THE SATISFACTION OF THE AUTHORITIES HAVING REGULATORY JURISDICTION AND BUILDING OWNER.

SECTION 16060 - GROUNDING 1. EXTENT OF ELECTRICAL GROUNDING AND BONDING WORK IS INDICATED BY DRAWINGS

ENCOMPASS SYSTEMS, CIRCUITS, AND EQUIPMENT. 2. EXCEPT AS OTHERWISE INDICATED, PROVIDE ELECTRICAL GROUNDING AND BONDING SYSTEMS INDICATED WITH ASSEMBLY OF MATERIALS, INCLUDING, BUT NOT LIMITED TO CABLES/WIRES, CONNECTORS, SOLDERLESS LUG TERMINALS, GROUNDING ELECTRODES AND PLATE ELECTRODES, BONDING JUMPER BRAID, AND ADDITIONAL ACCESSORIES NEEDED FOR A COMPLETE INSTALLATION. WHERE MORE THAN ONE TYPE COMPONENT PRODUCT MEETS INDICATED REQUIREMENTS, SELECTION IS INSTALLER'S OPTION. WHERE MATERIALS OR COMPONENTS ARE NOT INDICATED, PROVIDE PRODUCTS WHICH COMPLY WITH BUILDING CODES, UL, AND IEEE REQUIREMENTS AND

AND AS SPECIFIED HEREIN. GROUNDING AND BONDING WORK IS DEFINED TO

3. INSTALL ELECTRICAL GROUNDING AND BONDING SYSTEMS AS INDICATED, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPLICABLE PORTIONS OF THE BUILDING CODES, NECA'S "STANDARD OF INSTALLATION", AND IN ACCORDANCE WITH RECOGNIZED INDUSTRY PRACTICES TO ENSURE THAT PRODUCTS COMPLY WITH

WITH ESTABLISHED INDUSTRY STANDARDS FOR THOSE APPLICATIONS INDICATED.

- 4. RACEWAY SYSTEMS SHALL NOT BE USED AS GROUNDING METHOD. ALL BRANCH AND FEEDER CONDUITS TO HAVE A GROUNDING CONDUCTOR INSTALLED WITH PHASE AND NEUTRAL CONDUCTORS. SIZE OF GROUND CONDUCTOR TO BE IN ACCORDANCE WITH THE ADOPTED ELECTRICAL CODE. TERMINATE FEEDER AND BRANCH CIRCUIT INSULATED EQUIPMENT GROUNDING CONDUCTORS WITH GROUNDING LUG, BUS, OR
- 5. INSTALLATION OF ELECTRICAL GROUNDING AND BONDING SYSTEMS:
- A. GROUNDING ELECTRODE CONDUCTORS, WHERE NOT INSTALLED AS PART OF A BRANCH CIRCUIT OR FEEDER, SHALL BE INSTALLED IN PVC CONDUIT, TO PROTECT THE WIRING FROM PHYSICAL DAMAGE. B. CONNECT GROUNDING ELECTRODE CONDUCTORS TO METAL COLD WATER PIPE AND
- ALL OTHER TYPES OF METAL PIPING WITHIN THE BUILDING USING A SUITABLY SIZED GROUND CLAMP. PROVIDE CONNECTIONS TO FLANGED PIPING TO STREET SIDE OF FLANGE. PROVIDE BONDING AS DESCRIBED IN ADOPTED ELECTRICAL CODE INCLUDING BONDING JUMPER AROUND WATER METER.
- C. CONNECT TOGETHER SYSTEM NEUTRAL, SERVICE EQUIPMENT ENCLOSURES, EXPOSED NON-CURRENT CARRYING METAL PARTS OF ELECTRICAL EQUIPMENT METAL RACEWAY SYSTEMS. GROUNDING CONDUCTOR IN RACEWAYS AND CABLES, RECEPTACLE GROUND CONNECTORS, AND PLUMBING SYSTEMS.
- D. THE UTILITY COMPANY METER SOCKET SHALL BE GROUNDED TO A 1/2" X 10' COPPER CLAD STEEL GROUND ROD WITH COPPER WIRE INSTALLED IN P.V.C. CONDUIT. THE GROUND ROD SHALL BE DRIVEN INTO THE EARTH WITH THE TOP 1'-0" BELOW GRADE, AS NEAR AS POSSIBLE TO THE LOCATION OF THE METER SOCKET WITH THE TOP 1'-0" BELOW FINISHED GRADE.
- . THE NEUTRAL CONDUCTOR OF ALL SEPARATELY DERIVED SYSTEMS TRANSFORMERS EMERGENCY GENERATORS, ETC., SHALL BE GROUNDED TO THE NEAREST AVAILABLE GROUNDED STRUCTURE METAL MEMBER OR TO THE NEAREST AVAILABLE GROUNDED METAL WATER PIPE. THE GROUNDING CONDUCTOR SHALL BE SIZED AS SHOWN ON DRAWINGS OR AS REQUIRED BY THE ADOPTED ELECTRICAL CODE.

SECTION 16075 - IDENTIFICATION ENGRAVED, PLASTIC-LAMINATED LABELS, SIGNS, AND INSTRUCTION PLATES: ENGRAVING STOCK MELAMINE PLASTIC LAMINATE, 1/16-INCH MINIMUM THICK FOR SIGNS UP TO 20 SQUARE INCHES, OR 8 INCHES IN LENGTH; 1/8-INCH THICK FOR 4. SURFACE RACEWAYS: LARGER SIZES. ENGRAVED LEGEND IN WHITE LETTERS ON BLACK FACE AND

2. CABLE TIES: FUNGUS-INERT, SELF-EXTINGUISHING, ONE-PIECE, SELF-LOCKING NYLON CABLE TIES. 0.18-INCH MINIMUM WIDTH. 50-LB MINIMUM TENSILE STRENGTH. AND SUITABLE FOR A TEMPERATURE RANGE FROM MINUS 50 F TO 350 F. PROVIDE TIES IN SPECIFIED COLORS WHEN USED FOR COLOR-CODING.

PUNCHED FOR MECHANICAL FASTENERS.

- 3. SELF ADHESIVE, COMMERCIALLY AVAILABLE ARC FLASH HAZARD LABELS. LABELS TO 5. WIRING METHOD: CONFORM TO THE ADOPTED ELECTRICAL CODE AND A.N.S.I. Z535.4.
- 4. CONDUCTOR COLOR CODING: PROVIDE COLOR CODING FOR SECONDARY SERVICE, FEEDER, AND BRANCH CIRCUIT CONDUCTORS THROUGHOUT THE PROJECT SECONDARY ELECTRICAL SYSTEM PER WIRES AND CABLING SECTION.
- 5. APPLY EQUIPMENT IDENTIFICATION LABELS OF ENGRAVED PLASTIC LAMINATE ON EACH MAJOR UNIT OF ELECTRICAL EQUIPMENT IN BUILDING, INCLUDING CENTRAL OR MASTER UNIT OF EACH ELECTRICAL SYSTEM. THIS INCLUDES COMMUNICATION/SIGNAL/ALARM SYSTEMS, UNLESS UNIT IS SPECIFIED WITH ITS OWN SELF-EXPLANATORY IDENTIFICATION. EXCEPT AS OTHERWISE INDICATED, PROVIDE SINGLE LINE OF TEXT, WITH 1/4-INCH-HIGH LETTERING ON 1-INCH-HIGH LABEL (1-1/2-INCH-HIGH WHERE TWO LINES ARE REQUIRED). WHITE LETTERING IN BLACK FIELD. TEXT SHALL MATCH TERMINOLOGY AND NUMBERING OF THE CONTRACT DOCUMENTS AND SHOP DRAWINGS. APPLY LABELS FOR EACH UNIT OF THE FOLLOWING CATEGORIES OF ELECTRICAL EQUIPMENT.
- A. PANELBOARDS, ELECTRICAL CABINETS, AND ENCLOSURES B. ELECTRICAL SWITCHGEAR AND SWITCHBOARDS

- MOTOR STARTERS AND/OR VFDs FURNISHED BY THIS CONTRACTOR DISCONNECT SWITCHES CONTACTORS TRANSFORMERS
- GENERATORS H. TRANSFER SWITCHES
- PROVIDE MULTIPLE SIGNS OR ONE CONSOLIDATED SIGN INSIDE ELEVATOR MACHINE ROOMS. SIGN(S) TO IDENTIFY THE EXACT LOCATION OF THE SUPPLY SIDE OVERCURRENT PROTECTIVE DEVICE. SIGN(S) TO BE PROVIDED AT ELEVATOR CONTROLLER DISCONNECT, CAR LIGHTING & CONTROL DISCONNECT, AND HEATING & AIR-CONDITIONING DISCONNECTING MEANS. SIGN(S) TO BE IN CONFORMANCE WITH THE ADOPTED ELECTRICAL CODE. EXACT WORDING TO BE VERIFIED WITH LOCAL
- PROVIDE ENGRAVED SIGN AT THE SERVICE ENTRANCE EQUIPMENT INDICATING TYPE AND LOCATION OF ON-SITE STANDBY OR EMERGENCY POWER SOURCES. SIGNS TO BE IN CONFORMANCE WITH THE ADOPTED ELECTRICAL CODE. EXACT WORDING TO BE VERIFIED WITH LOCAL JURISDICTION. SIGNS SHALL BE RED LETTERING ON WHITE BACKGROUND.
- SECTION 16080 TESTING 1. ALL ELECTRICAL EQUIPMENT ON THIS PROJECT PROVIDED UNDER THIS DIVISION AND ALL ELECTRICAL EQUIPMENT FURNISHED BY OTHERS SHALL BE ADJUSTED, ALIGNED AND TESTED BY THE ELECTRICAL CONTRACTOR.
- MECHANISMS OF ALL ELECTRICAL EQUIPMENT SHALL BE CHECKED, ADJUSTED AND TESTED FOR PROPER OPERATION. MOTORS SHALL BE CHECKED FOR ALIGNMENT WITH DRIVE AND ADJUSTED AS REQUIRED. PROTECTIVE DEVICES AND PARTS SHALL BE CHECKED AND TESTED FOR SPECIFIED AND REQUIRED APPLICATION AND ADJUSTED AS REQUIRED. ADJUSTABLE PARTS OF ALL LIGHTING FIXTURES AND ELECTRICAL EQUIPMENT SHALL BE CHECKED, TESTED AND ADJUSTED AS REQUIRED TO PRODUCE THE INTENDED PERFORMANCE.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE OPERATION, SERVICE AND MAINTENANCE OF ALL NEW ELECTRICAL EQUIPMENT DURING CONSTRUCTION AND PRIOR TO ACCEPTANCE BY THE OWNER OF THE COMPLETED PROJECT UNDER THIS CONTRACT. ALL ELECTRICAL EQUIPMENT SHALL BE MAINTAINED IN THE BEST OPERATING CONDITION INCLUDING PROPER LUBRICATION. OPERATIONAL FAILURE CAUSED BY DEFECTIVE MATERIAL AND/OR LABOR SHALL BE IMMEDIATELY CORRECTED AND THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY OPERATIONAL FAILURE CAUSED BY DEFECTIVE MATERIAL AND/OR LABOR PROVIDED BY OTHERS.
- 4. THIS CONTRACTOR SHALL MAINTAIN SERVICE AND EQUIPMENT FOR THE TESTING OF ELECTRICAL EQUIPMENT AND APPARATUS UNTIL ALL WORK IS APPROVED AND ACCEPTED BY THE OWNER. A FIRST CLASS VOLTMETER AND AMMETER SHALL BE KEPT AVAILABLE AT ALL TIMES AND THIS CONTRACTOR SHALL PROVIDE SERVICE FOR TEST READINGS WHEN AND AS REQUIRED.
- 5. THE ELECTRICAL DISTRIBUTION DESIGN HAS BEEN PROVIDED WITH A LOAD-BALANCED ELECTRICAL SYSTEM. IF MODIFICATIONS. DUE TO CONTRACTORS CONSTRUCTION OR CHANGE-ORDERS HAVE BEEN MADE TO THE DESIGN THEN THIS CONTRACTOR IS TO MEASURE ALL FEEDERS CONDUCTORS CURRENTS AND BALANCE ALL SINGLE PHASE LOADS AT THOSE PANELS, REDISTRIBUTING BRANCH CIRCUIT CONNECTIONS UNTIL A MAXIMUM 10% LOAD BALANCE IS ACHIEVED. DISTRIBUTION SYSTEMS ARE TO BE MEASURED AND BALANCED UNDER FULL-LOAD CONDITIONS.

CCTION 16120 — WIRES AND CABLES

- CONDUCTORS: PROVIDE SOLID CONDUCTORS FOR POWER AND LIGHTING CIRCUITS NO. 10 AWG AND SMALLER. PROVIDE STRANDED CONDUCTORS FOR SIZES NO. 8 AWG AND LARGER.
- 2. CONDUCTOR MATERIAL: COPPER FOR ALL WIRES AND CABLES.
- 3. INSULATION: PROVIDE THHN/THWN INSULATION FOR ALL CONDUCTORS NO. 14 AWG THRU NO. 10 AWG. PROVIDE USE-RHH/RHW INSULATION FOR ALL SERVICE ENTRANCE CONDUCTORS. FOR ALL OTHER SIZES PROVIDE THHN/THWN OR XHHW INSULATION AS APPROPRIATE FOR THE LOCATION WHERE INSTALLED.
- CARELESSNESS ON THE PART OF THE OWNER SHALL NOT BE INCLUDED IN THIS ALUMINUM CONDUCTORS: A. AT THE CONTRACTOR'S OPTION, ALUMINUM CONDUCTORS WILL BE ALLOWED FOR COPPER SIZES RATED FOR 100 AMPERES AND LARGER BUT, SIZE MUST B INCREASED TO EQUAL OR EXCEED THE COPPER AMPACITY IN ACCORDANCE WITH ADOPTED ELECTRICAL CODE. RACEWAY AND PULL BOXES MUST BE INCREASED TO CONFORM TO ADOPTED ELECTRICAL CODE. ALL ALUMINUM CONDUCTORS MUST BE MADE BASED ON COMPACT STRANDED, AA-8000 SERIES ALUMINUM ALLOY MATERIAL EQUAL TO "STABILOY" ALCAN CABLE.
 - B. IF ALUMINUM CABLE IS TO BE INSTALLED ON THIS PROJECT, CONTRACTOR IS TO 2. METAL OUTLET, DEVICE, AND SMALL WIRING BOXES: NOTIFY ENGINEER IN WRITING, AT TIME OF SUBMITTAL DRAWINGS. CONTRACTOR I TO LIST ALL FEEDERS THAT WILL BE CHANGED TO ALUMINUM, AND INDICATE THE REVISED ALUMINUM CONDUCTOR SIZE.
 - CONNECTORS AND TERMINATIONS INSTALLED WITH ALUMINUM-ALLOY CONDUCTORS SHALL BE COMPRESSION TYPE ONLY, AND ONLY THOSE LISTED BY UNDERWRITER'S LABORATORIES STRANDED 486-B AND MARKED "AL7CU" FOR 75C RATED CIRCUITS.
 - IF THE CONTRACTOR DECIDES TO EXERCISE THE OPTION OF ALUMINUM CONDUCTORS FOR CONNECTIONS TO EQUIPMENT PROVIDED AND/OR INSTALLED BY OTHER TRADES, THEN THIS CONTRACTOR SHALL REIMBURSE THE EQUIPMENT SUPPLIER FOR ANY COST ASSOCIATED WITH THE MODIFICATIONS REQUIRED TO
 - ENDS OF ALL CONDUCTORS ARE TO BE BRUSHED CLEAN AND PRIOR TO FINAL CONNECTION, EXPOSED PORTION OF CONDUCTOR TO BE COVERED WITH ALUMINUM OXIDE INHIBITOR. CONDUCTOR TERMINATION MADE WITH SET-SCREW TERMINAL LUGS ARE TO BE TORQUED, USING A TORQUE WRENCH, IN ACCORDANCE WITH LUG MANUFACTURER SPECIFICATIONS OR ACCORDING TO UL STANDARD 486B. AT THE COMPLETION OF THE PROJECT CONTRACTOR IS TO CHECK TORQUE VALUES. ON ALL ALUMINUM TERMINATIONS. CONTRACTOR IS TO SUBMIT IN WRITING, AT TIME OF RECORD DRAWINGS, A COMPLETE LIST OF APPLIED TORQUE VALUES FOR ALL ALUMINUM TERMINATIONS.
 - 7. INSTALLATION OF WIRES AND CABLES: A. ALL BRANCH CIRCUIT WIRES, FEEDER CABLES, ETC., SHALL BE CONTINUOUS FROM OUTLET TO OUTLET. NO JOINTS SHALL BE MADE EXCEPT IN OUTLET, JUNCTION OR PULL BOXES, PANELBOARD AND SWITCHBOARD GUTTERS. FOR THE SPLICING
 - SHRINK INSULATION KITS ARE TO BE USED. B. TIGHTEN ELECTRICAL CONNECTORS AND TERMINALS, INCLUDING SCREWS AND BOLTS, IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED TORQUE TIGHTENING VALUES. WHERE MANUFACTURER'S TORQUE REQUIREMENTS ARE NOT INDICATED, TIGHTEN CONNECTORS AND TERMINALS TO COMPLY WITH TIGHTENING TORQUE'S SPECIFIED IN UL 486A AND UL 486B.

OF EXISTING FEEDER CONDUCTORS, COMPRESSION TYPE BUTT SPLICES WITH COLD

. TERMINALS ON SWITCHES AND CONVENIENCE OUTLETS SHALL NOT BE USED TO "FEED THROUGH" TO THE NEXT SWITCH OR OUTLET. WHERE MORE THAN ONE GROUND, COMMON NEUTRAL, OR COMMON PHASE CONDUCTOR ENTERS A BOX ALL LIKE CONDUCTORS SHALL BE IN GOOD ELECTRICAL CONTACT WITH EACH OTHER AND THE ARRANGEMENT SHALL BE SUCH. THAT THE DISCONNECTING OR REMOVAL OF A DEVICE FED FROM THE BOX, WILL NOT INTERFERE WITH OR INTERRUPT SERVICE TO THE REMAINDER OF THE BRANCH CIRCUIT WIRING.

208Y/120 VOLTS NORMAL	<u>PHASE</u>	480Y/277V NORMAL
BLACK	A	BROWN
RED	В	ORANGE
BLUE	С	YELLOW
WHITE	NEUTRAL	GRAY
GREEN	GROUND	GREEN
GREEN W/ YELLOW STRIP	ISOLATED GROUND	GREEN W/ YELLOW STRIP

SECTION 16130 - RACEWAYS . THIS SECTION INCLUDES RACEWAYS FOR ELECTRICAL WIRING. TYPES OF RACEWAYS IN THIS SECTION INCLUDE THE FOLLOWING

- A. ELECTRICAL METALLIC TUBING (EMT INTERMEDIATE METAL CONDUIT (IMC)
- FLEXIBLE METAL CONDUIT LIQUID-TIGHT FLEXIBLE CONDUIT
- RIGID METAL CONDUIT RIGID NONMETALLIC CONDUIT (PVC) SURFACE RACEWAYS
- I. METAL CLAD (MC) AND ALUMINUM CLAD (AC) CABLE

WIREWAY

- A. ELECTRICAL WIREWAYS SHALL BE OF TYPES, SIZES, AND NUMBER OF CHANNELS AS INDICATED. FITTINGS AND ACCESSORIES INCLUDING BUT NOT LIMITED TO COUPLINGS. OFFSETS. ELBOWS. EXPANSION JOINTS, ADAPTERS, HOLD-DOWN STRAPS, AND END CAPS SHALL MATCH AND MATE WITH WIREWAY AS REQUIRED FOR A COMPLETE SYSTEM. WHERE FEATURES ARE NOT INDICATED, SELECT T FULFILL WIRING REQUIREMENTS AND COMPLY WITH APPLICABLE PROVISIONS OF ADOPTED ELECTRICAL CODE.
- A. SIZES AND CHANNELS AS INDICATED, MINIMUM SIZE TO BE EQUAL TO WIREMOLD #500 SERIES. PROVIDE FITTINGS THAT MATCH AND MATE WITH RACEWAY. CONSTRUCT OF GALVANIZED STEEL WITH SNAP-ON COVERS, WITH 1/8-INCH MOUNTING SCREW KNOCKOUTS IN BASE APPROXIMATELY 8 INCHES ON CENTER. FINISH WITH MANUFACTURER'S STANDARD PRIME COATING SUITABLE FOR PAINTING. PROVIDE RACEWAYS OF TYPE SUITABLE FOR EACH APPLICATION REQUIRED.

- A. OUTDOORS: USE THE FOLLOWING WIRING METHODS: A.1. EXPOSED: INTERMEDIATE METAL CONDUIT. A.2. CONCEALED: INTERMEDIATE METAL CONDUIT.
- A.3. UNDERGROUND, RIGID NONMETAL CONDUIT A.4. CONNECTION TO VIBRATING EQUIPMENT: INCLUDING TRANSFORMERS AND HYDRAULIC. PNEUMATIC OR ELECTRIC SOLENOID OR MOTOR-DRIVEN
- EQUIPMENT: LIQUID-TIGHT FLEXIBLE METAL CONDUIT. A.5. INDOORS OR OUTDOORS: CONNECTION TO VIBRATING EQUIPMENT AND HYDRAULIC, PNEUMATIC, OR ELECTRIC SOLENOID OR MOTOR-DRIVEN EQUIPMENT IN MOIST OR HUMID LOCATION OR CORROSIVE ATMOSPHERE, OR WHERE SUBJECT TO WATER SPRAY OR DRIPPING OIL, GREASE, OR WATER:
- LIQUID-TIGHT FLEXIBLE METAL CONDUIT. B. INDOORS: USE THE FOLLOWING WIRING METHODS: B.1. CONNECTION TO VIBRATING EQUIPMENT: INCLUDING TRANSFORMERS AND HYDRAULIC, PNEUMATIC OR ELECTRIC SOLENOID OR MOTOR-OPERATED
- EQUIPMENT: FLEXIBLE METAL CONDUIT. EXPOSED: ELECTRICAL METALLIC TUBING CONDUIT CONCEALED: ELECTRICAL METALLIC TUBING. CONCEALED, IN CONCRETE EMBEDDED, STRUCTURAL INTERIOR WALLS. OR

ROOF DECK PENETRATIONS: INTERMEDIATE METAL OR RIGID METAL CONDUIT.

B.5. UNDER CONCRETE FLOOR (SLAB ON GRADE): INTERMEDIATE METAL OR RIGID

MOISTURE WILL BE REPAIRED OR REPLACED AS REQUIRED PRIOR TO INSTALLATION OF CONDUCTORS.

C. P.V.C. CONDUIT CAN BE INSTALLED BELOW FLOOR SLAB INDOORS. ONLY IF RIGID

STEEL ELBOWS ARE USED WHEN PASSING THRU FLOOR SLAB. MINIMUM SIZE

P.V.C. CONDUIT THAT CAN BE INSTALLED IS 3/4" UNLESS NOTED OTHERWISE

ALL P.V.C. CONDUIT JOINTS ARE TO BE GLUED AND SEALED TO PREVENT

MOISTURE FROM ENTERING RACEWAY SYSTEM. CONDUITS FOUND TO CONTAIN

- D. METAL CLAD (MC) AND ALUMINUM CLAD (AC) CABLE D.1. MC AND AC CABLE MAY BE USED IN LIEU OF E.M.T. CONDUIT IF ACCEPTABLE TO LOCAL AUTHORITIES AND INSTALLED PER ELECTRICAL CODE REGARDING SUPPORT, GROUNDING AND CABLE TERMINATIONS. ALL MC AND AC CABLE NOT INSTALLED PER THE ADOPTED CODE SHALL BE REMOVED, REINSTALLED
- AND CORRECTED AT CONTRACTOR'S EXPENSE WITH NO EXTENSION IN THE D.2. MC AND AC CABLE MUST BE SUPPORTED AND SECURED BY STAPLES, CABLE TIES, STRAPS, HANGERS, OR SIMILAR FITTINGS, DESIGNED AND INSTALLED SO AS NOT TO DAMAGE THE CABLE. D.3. MC AND AC CABLE, WITH FOUR OR LESS CONDUCTORS SIZED NO LARGER
- THAN 10 AWG, MUST BE SECURED WITHIN 12 IN. OF EVERY OUTLET BOX, JUNCTION BOX, CABINET, OR FITTING AND AT INTERVALS NOT EXCEEDING 6 D.4. MC AND AC CABLE MUST BE SUPPORTED AT INTERVALS NOT EXCEEDING 6 FT. CABLES INSTALLED HORIZONTALLY THROUGH WOODEN OR METAL FRAMING MEMBERS ARE CONSIDERED SECURED AND SUPPORTED WHERE SUCH SUPPORT DOESN'T EXCEED 6 FT INTERVALS.
- 6. CONDUIT SHALL BE INSTALLED AS A COMPLETE SYSTEM, CONTINUOUS FROM OUTLET TO OUTLET, CABINET OR FITTING, AND BE SO MECHANICALLY AND ELECTRICALLY CONNECTED THAT ADEQUATE ELECTRICAL CONTINUITY FROM ONE CONDUIT TO ANOTHER IS SECURED. THE ENTIRE SYSTEMS SHALL BE SECURELY FASTENED IN PLACE WITHIN 3' OF EACH OUTLET OR JUNCTION BOX, CABINET OR FITTING, AND AT INTERVALS NOT EXCEEDING 10', EXCEPT AS OTHERWISE SPECIFIED OR SHOWN. SINGLE CONDUITS FOR FEEDERS SHALL BE HUNG WITH GRINNEL, CRANE, OR EQUAL, MALLEABLE SPLIT RING HANGERS WITH ROD SUSPENSION SPACED NOT OVER 10' APART FROM CONSTRUCTION ABOVE. GROUPS OF HORIZONTAL FEEDER AND BRANCH CIRCUIT CONDUITS SHALL BE CLAMPED TO UNISTRUT, OR EQUAL, STEEL CHANNELS AND SUSPENDED FROM RODS SUPPORTED FROM STRUCTURE, SPACED NOT OVER 10' APART FROM CONSTRUCTION ABOVE. WHERE POSSIBLE CONDUITS MAY BE CLAMPED
- 7. USE RACEWAY FITTINGS THAT ARE OF TYPES COMPATIBLE WITH THE ASSOCIATED RACEWAY AND SUITABLE FOR THE USE AND LOCATION. FOR INTERMEDIATE METAL CONDUIT, USE THREADED RIGID STEEL CONDUIT FITTINGS. FOR EMT CONDUITS: FITTINGS ARE TO BE COMPRESSION OR SET SCREW TYPE.
- 8. INSTALL PULL WIRES IN EMPTY RACEWAYS. USE NO. 14 AWG ZINC-COATED STEEL OR MONOFILAMENT PLASTIC LINE HAVING NOT LESS THAN 200-LB TENSILE STRENGTH. LEAVE NOT LESS THAN 12 INCHES OF SLACK AT EACH END OF THE
- 9. TELEPHONE AND SIGNAL SYSTEM RACEWAYS 2-INCH TRADE SIZE AND SMALLER: IN ADDITION TO THE ABOVE REQUIREMENTS. INSTALL RACEWAYS IN MAXIMUM LENGTHS OF 150 FEET AND WITH A MAXIMUM OF TWO, 90 BENDS OR EQUIVALENT. INSTALL PULL OR JUNCTION BOXES WHERE NECESSARY TO COMPLY WITH THESE REQUIREMENTS.
- 10. ALL CONDUITS ABOVE LAY-IN CEILING SYSTEM SHALL NOT BE SUPPORTED FROM CEILING SUSPENSION WIRES.
- 11. PROVIDE 36" MINIMUM RADIUS RIGID STEEL CONDUIT ELBOWS FOR PRIMARY SERVICE CONDUITS UNDER THE TRANSFORMER PAD.
- 12. CONDUITS CAPPED OUTSIDE OF BUILDING FOR FUTURE ADDITION SHALL BE A MINIMUM OF 1'-6" BELOW FINISH GRADE, CAPPED AND PAINTED WITH BITUMINOUS PAINT, WHICH SHALL BE THOROUGHLY DRY, BEFORE BACKFILL IS INSTALLED. 13. METAL CLAD (MC) AND ALUMINUM CLAD (AC) CABLES:
- A. ALL HOMERUNS TO PANELBOARDS SHALL REMAIN IN E.M.T. CONDUIT. B. MC AND AC CABLES SHALL NOT BE USED IN EXPOSED AREAS. ALL FITTINGS SHALL BE LISTED FOR USE WITH MC AND AC CABLE USED CONDUCTORS IN MC AND AC CABLE SHALL COMPLY WITH SECTION "WIRES & CABLES".
- SECTION 16135 CABINETS, BOXES AND FITTINGS THIS SECTION INCLUDES CABINETS. BOXES. AND FITTINGS FOR ELECTRICAL INSTALLATIONS AND CERTAIN TYPES OF ELECTRICAL FITTINGS NOT COVERED IN OTHER

DIRECTLY TO THE STEEL JOISTS.

- A. GENERAL: CONFORM TO UL 514A, "METALLIC OUTLET BOXES, ELECTRICAL," AND UL 514B. "FITTINGS FOR CONDUIT AND OUTLET BOXES." BOXES SHALL BE OF TYPE, SHAPE, SIZE, AND DEPTH TO SUIT EACH LOCATION AND APPLICATION.
- B. STEEL BOXES: CONFORM TO NEMA OS 1, "SHEET STEEL OUTLET BOXES, DEVICE BOXES, COVERS, AND BOX SUPPORTS." BOXES SHALL BE SHEET STEEL WITH STAMPED KNOCKOUTS, THREADED SCREW HOLES AND ACCESSORIES SUITABLE FOR EACH LOCATION INCLUDING MOUNTING BRACKETS AND STRAPS, CABLE CLAMPS, EXTERIOR RINGS AND FIXTURE STUDS.
- CAST-IRON FLOOR BOXES: FULLY ADJUSTABLE, WATERPROOF, WITH THREADED RACEWAY ENTRANCES. RECTANGULAR BOX OPENING. ADJUSTING RINGS. GASKETS BRASS FLOOR PLATES, AND POLYCARBONATE CARPET FLANGE. WHERE INDICATED PROVIDE MULTI-SECTION BOXES WITH INDIVIDUAL HINGED SECTION COVERS AND PROVIDE FOR A DUPLEX RECEPTACLE UNDER ONE OR MORE OF THE COVERS. PULL AND JUNCTION BOXES:
- COMPLY WITH UL 50, "ELECTRICAL CABINETS AND BOXES". FOR BOXES OVER 100 CUBIC INCHES VOLUME. BOXES SHALL HAVE SCREWED OR BOLTED ON COVERS OF MATERIAL SAME AS BOXES AND SHALL BE OF SIZE AND SHAPE TO SUIT B. STEEL BOXES: SHEET STEEL WITH WELDED SEAMS. WHERE NECESSARY TO

PROVIDE A RIGID ASSEMBLY, CONSTRUCT WITH INTERNAL STRUCTURAL STEEL

- HOT-DIPPED GALVANIZED STEEL BOXES: SHEET STEEL WITH WELDED SEAMS. WHERE NECESSARY TO PROVIDE A RIGID ASSEMBLY, CONSTRUCT WITH INTERNAL STRUCTURAL STEEL BRACING. HOT-DIP GALVANIZED AFTER FABRICATION.
- A. COMPLY WITH UL 50, "ELECTRICAL CABINETS AND BOXES." SHEET STEEL, NEMA 1 CLASS EXCEPT AS OTHERWISE INDICATED. CABINET SHALL CONSIST OF A BOX AND A FRONT CONSISTING OF A ONE-PIECE FRAME AND A HINGED DOOR. ARRANGE DOOR TO CLOSE AGAINST A RABBET PLACED ALL AROUND THE INSIDE EDGE OF THE FRAME, WITH A UNIFORMLY CLOSE FIT BETWEEN DOOR AND FRAME PROVIDE CONCEALED FASTENERS, NOT OVER 24-INCHES APART, TO HOLD FRONTS TO CABINET BOXES AND PROVIDE FOR ADJUSTMENT. PROVIDE FLUSH OR CONCEALED DOOR HINGES NOT OVER 24-INCHES APART AND NOT OVER 6-INCHES FROM TOP AND BOTTOM OF DOOR. FOR FLUSH CABINETS, MAKE THE FRONT APPROXIMATELY 3/4 INCH LARGER THAN THE BOX ALL AROUND. FOR
- B. DOORS: DOUBLE DOORS FOR CABINETS WIDER THAN 24-INCHES. TELEPHONE CABINETS WIDER THAN 48-INCHES MAY HAVE SLIDING OR REMOVABLE DOORS. C. LOCKS: COMBINATION SPRING CATCH AND KEY LOCK, WITH ALL LOCKS FOR CABINETS OF THE SAME SYSTEM KEYED ALIKE. LOCKS MAY BE OMITTED ON SIGNAL, POWER, AND LIGHTING CABINETS LOCATED WITHIN WIRE CLOSETS AND MECHANICAL-ELECTRICAL ROOMS. LOCKS SHALL BE OF A TYPE TO PERMIT

SURFACE MOUNTED CABINETS MAKE FRONT SAME HEIGHT AND WIDTH AS BOX.

5. STEEL ENCLOSURES WITH HINGED DOORS:

DOORS TO LATCH CLOSED WITHOUT LOCKING.

- A. COMPLY WITH UL 50, "CABINETS AND ENCLOSURES" AND NEMA ICS 6, "ENCLOSURES FOR INDUSTRIAL CONTROLS AND SYSTEMS." SHEET STEEL, 16 GAGE MINIMUM, WITH CONTINUOUS WELDED SEAMS. NEMA CLASS AS INDICATED ARRANGED FOR SURFACE MOUNTING.
- B. DOORS: HINGED DIRECTLY TO CABINET AND REMOVABLE, WITH APPROXIMATELY 3/4-INCH FLANGE AROUND ALL EDGES, SHAPED TO COVER EDGE OF BOX. PROVIDE HANDLE OPERATED, KEY LOCKING LATCH. INDIVIDUAL DOOR WIDTH SHALL BE NO GREATER THAN 24-INCHES. PROVIDE MULTIPLE DOORS WHERE
- ENCLOSURE: WHERE DOOR GASKETING IS REQUIRED, PROVIDE NEOPRENE GASKET ATTACHED WITH OIL-RESISTANT ADHESIVE, AND HELD IN PLACE WITH STEEL RETAINING STRIPS. FOR ALL ENCLOSURES OF CLASS HIGHER THAN NEMA 1, USE HUBBED RACEWAY ENTRANCES.
- 6. WEATHERPROOF PULL AND SPLICE BOXES:
- A. BOXES TO BE NEMA 12 AND 13 RATED, ALL STEEL CONSTRUCTION CONFORMING TO J.I.C. STANDARD EGP-1-1997. EXTERNAL MOUNTING FEET FOR SURFACE MOUNTING. OIL-RESISTANT GASKET ATTACHED TO INSIDE OF DOOR COVER. CONTINUOUS HINGE AND EXTERNAL SCREW CLAMP FOR QUICK OPENING AND CLOSING.
- FIRESTOP FOR RECESSED WALL BOXES: INSTALLATIONS OF MULTIPLE BOXES (LESS THAN 24" APART) WITH

OF FLOOR BOXES FLUSH WITH FINISHED FLOOR.

- MAXIMUM 4-11/16" BY 4-11/16" FLUSH DEVICE UL LISTED METAL OUTLET BOXES IN FIRE RATED GYPSUM WALL BOARD WALL ASSEMBLIES FRAMED WITH MINIMUM 3-1/2" WIDE WOOD OR STEEL STUDS AND CONSTRUCTED AS SPECIFIED IN THE INDIVIDUAL U300 OR U400 SERIES WALL AND PARTITION DESIGNS IN THE FIRE RESISTANCE DIRECTORY. 3M #MPP-4S MOLDABLE PUTTY PADS ARE TO BE INSTALLED ON THE EXTERIOR SURFACES OF THE FLUSH DEVICE BOX IN 1 AND 2 HOUR FIRE RATED WALLS AND PARTITIONS.
- 8. FLOOR BOXES IN SLABS ON GRADE AND WET LOCATIONS TO BE NEMA TYPE 4. CAST-IRON BOXES WITH THREADED HUBS. FLOOR BOXES LOCATED IN SLABS ABOVE GRADE CAN BE STAMPED STEEL. PLASTIC FLOOR BOXES ARE NOT APPROVED. A. INSTALL IN CONCRETE FLOOR SLABS SO THEY ARE COMPLETELY ENVELOPED IN CONCRETE EXCEPT FOR THE TOP. WHERE NORMAL SLAB THICKNESS WILL NOT ENVELOP BOX AS SPECIFIED ABOVE. PROVIDE INCREASED THICKNESS OF THE SLAB. PROVIDE EACH COMPARTMENT OF EACH FLOOR BOX WITH GROUNDING TERMINAL CONSISTING OF A WASHER-IN-HEAD MACHINE SCREW, NOT SMALLER THAN NO. 10-32, SCREWED INTO A TAPPED HOLE IN THE BOX. ADJUST COVERS
- 9. WHEN TWO OR MORE PHASES OF THE 277/480 VOLTS SYSTEM ARE CONNECTED TO ADJACENT SWITCHES IN THE SAME BOX, PROVIDE BARRIERS BETWEEN THE SWITCHES. PROVIDE BARRIERS BETWEEN 120 AND 277 VOLTS. 10. PULL AND SPLICE BOXES LOCATED OUTDOORS OR WHERE INDICATED ON DRAWINGS
- ARE TO BE WEATHERPROOF TYPE J.I.C. BOXES. CONDUIT TERMINATIONS ARE TO BE ACCOMPLISHED BY USING MEYER HUBS. 11. ELECTRICALLY GROUND METALLIC CABINETS, BOXES, AND ENCLOSURES. WHERE WIRING TO ITEM INCLUDES A GROUNDING CONDUCTOR, PROVIDE A GROUNDING TERMINAL IN THE INTERIOR OF THE CABINET, BOX OR ENCLOSURE.

- SECTION 16140 WIRING DEVICES
- THIS SECTION INCLUDES THE FOLLOWING A. RECEPTACLES B. LIGHTING AND EQUIPMENT SWITCHES
- WALL PLATES FLOOR SERVICE OUTLETS OCCUPANCY SENSORS F. TELE-POWER POLES
- . MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:
- A. WIRING DEVICES & ACCESSORIES: A.1. COPPER WIRING DEVICES A.2. CROUSE—HINDS CO.
- A.3. HUBBELL INC. A.4. LEVITON
- A.5. PASS AND SEYMOUR INC.
- B. FLOOR BOXES B.1. AMERICAN ELECTRIC, STEEL CITY B.2. WALKER / WIREMOLD COMPANY . RACO. INC., HUBBELL INC.
- C. PLUGMOLD AND TELE-POWER POLES: C.1. WIREMOLD COMPANY MONO SYSTEMS INC.

B.4. RACEWAY COMPONENTS, INC.

- D. OCCUPANCY SENSOR LIGHTING CONTROL: HUBBELL INC. LEVITON MANUFACTURING INC. WATT STOPPER INC. SENSOR SWITCH GREENGATE
- A. PROVIDE WIRING DEVICES, IN TYPES, CHARACTERISTICS, GRADES, COLORS, AND ELECTRICAL RATINGS FOR APPLICATIONS INDICATED WHICH ARE UL LISTED AND WHICH COMPLY WITH NEMA WD 1 AND OTHER APPLICABLE UL AND NEMA STANDARDS. ALL DEVICES TO BE SPECIFICATION GRADE (HEAVY DUTY U.L. GRADE), WITH GREEN HEXAGONAL EQUIPMENT GROUND SCREW, METAL PLASTER EARS AND SIDE TERMINAL SCREWS FOR BACK AND SIDE WIRING.
- B. ALL WIRING DEVICES ARE TO BE PROVIDED BY THE SAME MANUFACTURER UNLESS NOTED OTHERWISE.
- C. ALL WIRING DEVICES AND COVERPLATES SHALL BE: C.1. WHITE. WHITE - WHERE INSTALLED IN WHITE CEILINGS.

C.3. BLACK - WHERE INSTALLED IN DARK CEILINGS.

- D. RECEPTACLES D.1. DUPLEX RECEPTACLE, 15 AMP, 125 VOLT, 2-POLE, 3-WIRE, GROUNDING TYPE WITH NEMA CONFIGURATION 5-15R, MEETS FEDERAL SPEC. WC-596-F. LEVITON #5252.
- D.2. SINGLE RECEPTACLE, 20 AMP, 125 VOLT, 2-POLE, 3-WIRE, GROUNDING TYPE WITH NEMA CONFIGURATION 5-20R, MEETS FEDERAL SPEC. WC-596-F. LEVITON #5351. D.3. DUPLEX RECEPTACLE, 20 AMP, 125 VOLT, 2-POLE, 3-WIRE, GROUNDING
- TYPE WITH NEMA CONFIGURATION 5-20R, MEETS FEDERAL SPEC. WC-596-F. LEVITON #5352. D.4. GROUND FAULT INTERRUPTER RECEPTACLE, 20 AMP, 125 VOLT, 2-POLE, 3-WIRE, GROUNDING TYPE WITH NEMA CONFIGURATION 5-20R. UL943 APPROVED, SELF-TESTING, SOLID STATE GROUND FAULT SENSING LEVEL WITH

5 MILLIAMPERES GROUND FAULT TRIP LEVEL. LED INDICATOR LIGHT WITH

- TEST/RESET BUTTONS THAT MATCH THE COLOR OF THE FACE. LEVITON #G5362-WT*. WEATHERPROOF RECEPTACLE SHALL BE A GROUND-FAULT INTERRUPTER WITH THOMAS & BETTS #CKSUV DIE-CAST ALUMINUM "SMALL" COVER PLATE. LOCATE BÖX VERTICAL IN WALL. PLATE TO BE LISTED AND
- LABELED "SUITABLE FOR WET LOCATIONS WHILE IN USE. HEAVY DUTY RECEPTACLES SHALL BE OF THE SAME MANUFACTURER AS THE CONVENIENCE OUTLETS AND HAVE THE RATINGS AND CHARACTERISTICS (VOLTAGE, AMPS, POLES, WIRES) AS SHOWN ON DRAWINGS.
- E. SWITCHES: TOGGLE TYPE SWITCH, 20 AMP, 120/277 VOLT AC SINGLE-POLE, QUITE TYPE. WITH MOUNTING YOKE INSULATED FROM MECHANISM, EQUIPPED WITH PLASTER EARS, SIDE-WIRED SCREW TERMINALS, MEETS FEDERAL SPEC WS-896.
- LEVITON #1121-2. E.1.1. DOUBLE-POLE, 3-WAY, AND 4-WAY SWITCHES SHALL BE OF THE SAME MAKE AS FOR SINGLE-POLE. KEY TYPE SWITCH, 20 AMP, 120/277 VOLT AC SINGLE-POLE, WITH MOUNTING YOKE INSULATED FROM MECHANISM, EQUIPPED WITH PLASTER EARS,
- SIDE-WIRED SCREW TERMINALS. POLISHED METAL TOP AND PROVIDE WITH ONE STEEL KEY. LEVITON #1121-2L. E.2.1. DOUBLE-POLE, 3-WAY, AND 4-WAY SWITCHES SHALL BE OF THE SAME MAKE AS FOR SINGLE-POLE. WHEN A LIGHTED HANDLE IS INDICATED WITH SWITCHING DEVICE, PROVIDE SWITCH DEVICE WITH 1/25 WATT NEON PILOT INTEGRAL WITH TOGGLE HANDLE,
- RATED 120/277 VOLT. GLOWS WHEN SWITCH IS "OFF". PASS & SEYMOUR #20AC1-CSL. WHEN A PILOT LIGHT IS INDICATED WITH SWITCHING DEVICE, PROVIDE SWITCH DEVICE WITH 1/25 WATT NEON PILOT INTEGRAL WITH TOGGLE HANDLE, RATED 120/277 VOLT. GLOWS WHEN SWITCH IS "ON". PASS & SEYMOUR
- F. FLOOR RECEPTACLES: F.1. TYPE 'B': HUBBELL #B-4233, RECTANGULAR DOUBLE-GANG, FULLY ADJUSTABLE, WATERTIGHT BOX WITH ONE S-3825 DUPLEX FLAP COVER COMPLETE WITH ONE 20 AMP, 125 VOLT DUPLEX BROWN RECEPTACLE AS SPECIFIED UNDER "RECEPTACLES". ALSO PROVIDE ONE #S-2625 COVER PLATE WITH ONE #S-3067 SPLIT NOZZLE FOR PROTECTION OF TELEPHONE/COMPUTER CABLES. BOX COVER PLATES SHALL BE BRASS. COVER TO BE PROVIDED WITH BRASS CARPET FLANGE FOR FLUSH INSTALLATION IN LINOLEUM, WOOD OR CARPET FLOORS.
- DEVICES TO WHICH ATTACHED. PROVIDE METAL SCREWS FOR SECURING PLATES TO DEVICES WITH SCREW HEADS TO MATCH FINISH OF PLATES. PROVIDE WALL PLATES WITH ENGRAVED LEGEND WHERE INDICATED. CONFORM TO REQUIREMENTS OF SECTION "ELECTRICAL IDENTIFICATION." H. OCCUPANCY SENSOR LIGHTING CONTROL H.1. WALL MOUNTED OCCUPANCY SENSOR TO BE PASSIVE INFRARED COVERING 1200 (OR 900) SQUARE FEET, RATED FOR 120/277 VOLT, 1500 WATTS MAXIMUM LOAD OF INCANDESCENT OR FLUORESCENT LIGHT. SENSOR TO

WALL PLATES: SINGLE AND COMBINATION, OF TYPES, SIZES, AND WITH GANGING

AND CUTOUTS AS INDICATED. PROVIDE PLATES WHICH MATE WITH WIRING

TIME-OUT FROM 1 TO 20 MINUTES, AND LED MOVEMENT INDICATOR PILOT. SENSOR TO BE MOUNTED IN A SINGLE-GANG WALL BOX AT SAME ELEVATION AS STANDARD WALL SWITCHES. H.1.1. WATT STOPPER #PW-100 SINGLE REALY (OR #PW-200 DUAL RELAY). H.2. CEILING MOUNTED OCCUPANCY SENSOR TO BE DUAL TECHNOLOGY WITH ULTRASONIC & PASSIVE INFRARED TYPE SENSORS. SENSORS TO HAVE TWO-WAY OR ONE-WAY DISTRIBUTION DEPENDING ON MOUNTING LOCATION CAPABLE OF ADJUSTING THE SENSITIVITY AND LENGTH OF OPERATION BASED

PERFORMANCE CONTROLS TO BE LOCATED BEHIND THE SENSOR LENS FOR

TYPE WITH NEMA 5-20R CONFIGURATION AND WIREMOLD #G-4046B. 18" ON

CENTER. WIREMOLD SERIES 4000 CONTINUOUS WIREWAY WITH INTERNAL

HAVE 180' FIELD OF VIEW, OFF/AUTO/ON SLIDE SWITCH, ADJUSTABLE

FIELD MODIFICATION OF SENSOR DESIGN. UNIT TO BE MOUNTED TO RECESSED JUNCTION BOX. H.2.1. WATT STOPPER #DT-355, 800W @ 120V (1200W @ 277V) I. MULTI-OUTLET ASSEMBLY: I.1. MULTI-OUTLET, TWO COMPARTMENT ASSEMBLE WITH ISOLATED GROUND TYPE DUPLEX RECEPTACLES 20 AMP, 125 VOLT AC, 2-POLE, 3-WIRE, GROUNDING

ON PAST ACTIVITY LEVEL OF THE AREA'S OCCUPANTS. CUSTOM

- DIVIDER AND #G-4000C WIREWAY COVER OR APPROVED EQUAL OF MONO-SYSTEMS, INC. TELE-POWER POLES SATIN ANODIZED ALUMINUM, 10'-5" TELE-POWER POLE WITH TWO SEPARATE WIREWAY COMPARTMENTS. ONE COMPARTMENT FOR POWER WIRING WITH TWO DUPLEX, 20 AMP, 125 VOLT RECEPTACLES IN COVER FACE AND POWER JUNCTION BOX AT TOP OF POLE. SECOND COMPARTMENT FOR
- POLE FOR CABLE ACCESS. WIREMOLD #AMDTP-4. POLE ASSEMBLY TO BE PROVIDED WITH ALL NECESSARY FITTINGS INCLUDING BUT NOT LIMITED TO, ENTRANCE END FITTING FOR TOP OF THE ELECTRICAL CHANNEL. CEILING TRIM PLATE. POLE MOUNTING BRACKET, T-BAR MOUNTING

COMMUNICATION WIRING WITH REMOVABLE COVER SECTION AT BOTTOM OF

BRACKET, VELCRO CARPET GRIPPER AND ADHESIVE PAD. INSTALLATION OF WIRING DEVICES AND ACCESSORIES:

LONG DIMENSION PARALLEL TO FLOOR AND COUNTER-TOP.

MOUNTED UNDER ONE COVER PLATE. COVER PLATES SHALL FIT THE DEVICES SECURELY AND SHALL COVER THE WALL OPENING COMPLETELY TO PROVIDE A NEAT AND FINISHED APPEARANCE FLUSH WITH SURROUNDING SURFACES TERMINALS ON ALL WIRING DEVICES SHALL NOT BE USED TO FEED-THROUGH TO

H. GROUPS OF SWITCHES OR SWITCH AND OUTLET COMBINATIONS SHALL BE

- J. INSTALL WALL-MOUNTED RECEPTACLES WITH GROUND SLOT UP. K. RECEPTACLE MOUNTED ABOVE COUNTER-TOP TO BE INSTALLED HORIZONTAL, WITH

- SECTION 16180 FUSES
- MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS OF ONE OF THE FOLLOWING (FOR EACH TYPE AND RATING OF OVERCURRENT PROTECTIVE DEVICE):
- A. BUSSMANN DIV; MCGRAW_EDISON CO. B. FERRAZ SHAWMUT, INC. C. LITTELFUSE, INC.
- EXCEPT AS OTHERWISE INDICATED, PROVIDE FUSES OF TYPES, SIZES, RATINGS, AND AVERAGE TIME/CURRENT AND PEAK LET-THROUGH CURRENT CHARACTERISTICS INDICATED, WHICH COMPLY WITH MANUFACTURER'S STANDARD DESIGN, MATERIALS, AND CONSTRUCTION IN ACCORDANCE WITH PUBLISHED PRODUCT INFORMATION, AND WITH INDUSTRY STANDARDS AND CONFIGURATIONS. ALL FUSES TO BE FOR USE WITH FUSE REJECTION CLIPS.
- 3. ALL FUSES FOR THIS PROJECT SHALL BE OF THE SAME MANUFACTURER TO INSURE SELECTIVE COORDINATION.
- 4. EXCEPT WHERE NOTED OTHERWISE, THREE (3) SPARE FUSES OF EACH SIZE INSTALLED SHALL BE PROVIDED TO THE OWNER.
- 5. INSTALL FUSES WITH MANUFACTURER'S NAMETAG FACING OUTWARD.
- 6. SERVICE ENTRANCE AND FEEDER CIRCUITS 601 AMPERES AND LARGER, FUSES SHALL BE BOLT-ON U.L. LISTED CLASS L, CURRENT-LIMITING WITH 200,000 AMPERES R.M.S. SYMMETRICAL INTERRUPTING RATING.
- 7. FEEDER CIRCUITS, EXCEPT MOTOR CIRCUITS, 600 AMPERES AND SMALLER SHALL BE PLUG-IN CARTRIDGE U.L. CLASS RK-1, CURRENT-LIMITING WITH 200,000 AMPERES R.M.S. SYMMETRICAL INTERRUPTING RATING.
- 8. MOTOR, TRANSFORMERS, AND INDUCTIVE TYPE CIRCUITS 600 AMPERES AND SMALLER SHALL BE PLUG-IN CARTRIDGE U.L. CLASS RK-5 DUAL-ELEMENT WITH TIME DELAY. THEY SHALL ALSO HAVE CURRENT-LIMITING LINKS AND 200,000 AMPERES INTERRUPTING RATING. FUSE REDUCERS SHALL BE USED WHERE SWITCH FUSE
- CLIPS ARE SPACED LARGER THAN FUSE SIZE SHOWN ON DRAWING. PLUG FUSES FOR INDIVIDUAL MOTOR PROTECTION SHALL BE BUSSMANN FUSTAT, DUAL-ELEMENT, 10,000 AMPERES R.M.S. SYMMETRICAL INTERRUPTING RATING, TYPE "S" WITH FUSTAT ADAPTER SIZED FOR PLUG-FUSE INSTALLED. SIZE OF FUSE
- SECTION 16190 SUPPORTING DEVICES THIS SECTION INCLUDES SECURE SUPPORT FROM THE BUILDING STRUCTURE FOR

TO BE ACCORDING TO SPECIFICATIONS FOR "DISCONNECT SWITCHES"

INSERTS, SEALS, AND ASSOCIATED FASTENINGS. 2. COATING: SUPPORTS, SUPPORT HARDWARE, AND FASTENERS SHALL BE PROTECTED WITH ZINC COATING OR WITH TREATMENT OF EQUIVALENT CORROSION RESISTANCE USING APPROVED ALTERNATIVE TREATMENT, FINISH, OR INHERENT MATERIAL CHARACTERISTIC. PRODUCTS FOR USE OUTDOORS SHALL BE HOT-DIP GALVANIZED.

ELECTRICAL ITEMS BY MEANS OF HANGERS, SUPPORTS, ANCHORS, SLEEVES,

3. INSTALL SUPPORTING DEVICES TO FASTEN ELECTRICAL COMPONENTS SECURELY AND PERMANENTLY IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. 4. SUPPORT INDIVIDUAL HORIZONTAL RACEWAYS BY SEPARATE PIPE HANGERS. SPRING STEEL FASTENERS MAY BE USED IN LIEU OF HANGERS ONLY FOR 3/4-INCH AND

SMALLER RACEWAYS SERVING LIGHTING AND RECEPTACLE BRANCH CIRCUITS ABOVE

- SUSPENDED CEILINGS ONLY. FOR HANGER RODS WITH SPRING STEEL FASTENERS, USE 1/4-INCH-DIAMETER OR LARGER THREADED STEEL. USE SPRING STEEL FASTENERS THAT ARE SPECIFICALLY DESIGNED FOR SUPPORTING SINGLE CONDUITS OR TUBING. CONDUITS ABOVE LAY-IN CEILING SYSTEM SHALL NOT BE SUPPORTED FROM CEILING SUSPENSION WIRES.
- INSTALL INDIVIDUAL AND MULTIPLE (TRAPEZE) RACEWAY HANGERS AND RISER CLAMPS AS NECESSARY TO SUPPORT RACEWAYS. PROVIDE U-BOLTS, CLAMPS, ATTACHMENTS AND OTHER HARDWARE NECESSARY FOR HANGER ASSEMBLY AND FOR SECURING HANGER RODS AND CONDUITS.
- 7. DO NOT CUT HOLES IN REINFORCED CONCRETE BEAMS OR CUT REINFORCING BARS IN CONCRETE WITH OUT WRITTEN APPROVAL OF STRUCTURAL ENGINEER.
- 8. UNLESS OTHERWISE INDICATED, FASTEN ELECTRICAL ITEMS AND THEIR SUPPORTING HARDWARE SECURELY TO THE BUILDING STRUCTURE, INCLUDING BUT NOT LIMITED TO CONDUITS, RACEWAYS, CABLES, CABLE TRAYS, BUSWAYS, CABINETS, PANELBOARDS, TRANSFORMERS, BOXES, DISCONNECT SWITCHES, AND CONTROL COMPONENTS.
- CTION 16410 DISCONNECTS, CONTACTORS, STARTERS MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:
- A. GENERAL ELECTRIC CO SQUARE D COMPANY
- EATON CORPORATION SIFMENS LT.E. ALLEN-BRADLEY CO.
- F. FURNAS CO. TEMPERATURE RATINGS: ALL CONDUCTOR TERMINALS AND EQUIPMENT ENCLOSURES TO BE U.L. LISTED FOR USE WITH MINIMUM 75C RATED CONDUCTORS.
- A. PROVIDE CIRCUIT AND MOTOR DISCONNECT SWITCHES OF TYPES, SIZES AND ELECTRICAL CHARACTERISTICS INDICATED ON DRAWING. FUSIBLE OR NON-FUSED TYPE, RATED 250 OR 600 VOLTS, 60 HZ, 2— OR 3—POLES, SOLID NEUTRAL; AND INCORPORATING QUICK-MAKE. QUICK-BREAK TYPE SWITCHES: CONSTRUCT S THAT SWITCH BLADES ARE VISIBLE IN OFF POSITION WITH DOOR OPEN. SWITCH SHALL HAVE A DUAL COVER INTERLOCK TO PREVENT UNAUTHORIZED OPENING OF THE SWITCH DOOR WHEN HANDLE IS IN THE "ON" POSITION, AND TO PREVENT CLOSING OF THE SWITCH MECHANISM WITH THE DOOR OPEN. EQUIP WITH OPERATING HANDLE WHICH IS INTEGRAL PART OF ENCLOSURE BASE AND WHOSE POSITION IS EASILY RECOGNIZABLE, AND IS PADLOCKABLE IN OFF POSITION; CONSTRUCT CURRENT CARRYING PARTS OF HIGH-CONDUCTIVITY COPPER, WITH SILVER-TUNGSTEN TYPE SWITCH CONTACTS, AND POSITIVE PRESSURE TYPE

REINFORCED FUSE CLIPS. PROVIDE SWITCH IN NEMA 1 OR NEMA TYPE 3R

ENCLOSURE AS INDICATED OR REQUIRED. INSTALL ENGRAVED PLASTIC PLATE AS

- TO WHAT EACH SWITCH CONTROLS. B. EQUIPMENT REQUIRING A DISCONNECTING MEANS, RATED FOR 120 OR 208 VOLT SINGLE PHASE. UP TO 30 AMPERES MAY BE PROVIDED WITH A SNAP-SWITCH TYPE TOGGLE DEVICE AT THE EQUIPMENT. THE DEVICE IS TO HAVE AN AMPERE AND VOLTAGE RATING EQUAL TO OR GREATER THAN THE BRANCH CIRCUIT FEEDING THE EQUIPMENT. IF EQUIPMENT IS MOTOR RELATED, THEN THE SWITCH MUST BE HORSEPOWER RATED. REFER TO <u>SECTION</u> <u>16140</u> FOR MINIMUM SPECIFICATIONS FOR TOGGLE SWITCHES. SWITCHES LOCATED OUTDOORS OR IN COOLER/FREEZER APPLICATIONS ARE TO BE MOUNTED IN A DIE-CAST ALUMINUM
- 4. RELAYS AND CONTACTORS: A. GENERAL POWER PURPOSE RELAYS, FOR CONTROL OF MISCELLANEOUS MOTORS, TO BE PROVIDED AND INSTALLED WITH NUMBER OF POLES AND COIL VOLTAGE AS SHOWN ON DRAWINGS. RELAY TO BE HORSEPOWER RATED FOR THE MOTOR

DEVICE BOX WITH GASKETED WEATHERPROOF COVER PLATE.

LOAD TO WHICH IT CONTROLS. RELAY TO BE MOUNTED IN A NEMA TYPE 1 B. LIGHTING CONTACTORS TO BE PROVIDED AND INSTALLED WITH THE NUMBER OF POLES, COIL VOLTAGE, AND LOAD CONTACT RATINGS AS SHOWN ON DRAWINGS CONTACTORS TO BE PROVIDED WITH SILVER ALLOY DOUBLE BREAK CONTACTS RATED FOR TUNGSTEN AND BALLAST LIGHTING LOADS. CONTACTS TO B

CONVERTIBLE WITH NORMALLY OPEN AND NORMALLY CLOSED INDICATORS.

TO BE MOUNTED IN A NEMA TYPE 1 ENCLOSURE. 6. INSTALLATION OF DISCONNECTS AND STARTERS:

NOT TO COVER UP ANY REMOVABLE PANELS.

- A. SURFACE MOUNT ON WALLS OR COLUMNS APPROXIMATELY 5'-0" TO CENTERLINE ABOVE THE FLOOR WHERE POSSIBLE.
- C. WHEN RELAYS OR CONTACTORS ARE INDICATED TO BE LOCATED ABOVE THE CEILING, THE EQUIPMENT IS TO BE READILY ACCESSIBLE AND SOUND INSULATED FROM THE MOUNTING SUPPORTS.

B. DISCONNECT SWITCHES MOUNTED ON ROOFTOP AIR CONDITIONING UNITS TO BE

CAULKED BETWEEN SWITCH AND UNIT TO PROVIDE WEATHERPROOF SEAL

ELECTRICAL CONTRACTOR TO VERIFY EXACT MOUNTING LOCATION ON UNIT SO AS

- SECTION 16470 PANELBOARDS
- MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PANELBOARD PRODUCTS OF ONE OF THE FOLLOWING (FOR EACH TYPE AND RATING OF PANELBOARD AND ENCLOSURE):
- A. GENERAL ELECTRIC COMPANY B. SQUARE D COMPANY

COPPER CONDUCTORS.

ENCLOSURE.

- EATON CORPORATION . SIEMEN'S, I.T.E. POWER DISTRIBUTION PANELS: PROVIDE DEAD-FRONT SAFETY-TYPE DISTRIBUTION PANELBOARDS RATED 208/120 OR 480/277 VOLT, 3-PHASE, 4-WIRE. SHORT CIRCUIT RATING OF PANEL AND DEVICES TO BE 22,000 RMS MINIMUM UNLESS
- 480/277V LIGHTING PANELBOARDS: PROVIDE DEAD-FRONT SAFETY TYPE LIGHTING PANELBOARDS, RATED 480/277V, 3-PHASE, 4-WIRE. SHORT CIRCUIT RATING OF PANEL AND DEVICES TO BE 14,000A AIC MINIMUM UNLESS NOTED OTHERWISE ON THE DRAWINGS. PANELBOARD SWITCHING AND PROTECTIVE DEVICES IN QUANTITIES. RATINGS, TYPE AND WITH ARRANGEMENT SHOWN; WITH ANTI-TURN SOLDERLESS PRESSURE TYPE MAIN LUG CONNECTORS APPROVED FOR COPPER CONDUCTORS. FOUIP WITH COPPER, COPPER-PLATED OR ALUMINUM BUS BARS, AND FULL-SIZED NEUTRAL BUS; PROVIDE SUITABLE LUGS ON NEUTRAL BUS FOR OUTGOING FEEDERS REQUIRING NEUTRAL CONNECTIONS. PROVIDE MOLDED-CASE MAIN AND BRANCH CIRCUIT BREAKER TYPES FOR EACH CIRCUIT, WITH TOGGLE HANDLES THAT INDICATE WHEN TRIPPED. WHERE MULTIPLE-POLE BREAKERS ARE INDICATED, PROVIDE WITH COMMON TRIP SO OVERLOAD ON ONE POLE WILL TRIP ALL POLES SIMULTANEOUSLY.

PROVIDE A BARE UNINSULATED GROUNDING BAR SUITABLE FOR BOLTING TO

NOTED OTHERWISE ON THE DRAWINGS. PANELBOARDS SWITCHING AND PROTECTIVE

DEVICES IN SOLDERLESS PRESSURE-TYPE LINE SIDE CONNECTORS APPROVED FOR

- 120/208 VOLT LIGHTING AND APPLIANCE PANELBOARDS: PROVIDE DEAD-FRONT SAFETY TYPE LIGHTING AND APPLIANCE PANELBOARDS AS INDICATED. WITH SWITCHING AND PROTECTIVE DEVICES IN QUANTITIES. RATINGS, TYPES AND ARRANGEMENTS SHOWN, WITH ANTI-TURN SOLDERLESS PRESSURE TYPE LUG CONNECTORS. APPROVED FOR USE WITH COPPER CONDUCTORS: CONSTRUCT UNIT FOR CONNECTING FEEDERS TO PANEL; EQUIP WITH COPPER, COPPER PLATED OR ALUMINUM BUS BARS, FULL-SIZED NEUTRAL BAR, WITH BOLT-IN TYPE HEAVY-DUTY, QUICK-MAKE QUICK-BREAK, SINGLE-POLE CIRCUIT-BREAKERS, WITH TOGGLE HANDLES THAT INDICATE WHEN TRIPPED. PROVIDE SUITABLE LUGS ON NEUTRAL BUS FOR EACH OUTGOING FEEDER REQUIRED: AND PROVIDE BARE UNINSULATED GROUNDING BARS SUITABLE FOR BOLTING TO ENCLOSURES. SELECT ENCLOSURES FABRICATED BY SAME MANUFACTURER AS PANELBOARDS, WHICH MATE AND MATCH PROPERLY WITH PANELBOARDS. MINIMUM INTERRUPTING CAPACITY OF MANUFACTURED PANELBOARDS
- 5. MOLDED-CASE CIRCUIT BREAKERS: PROVIDE FACTORY ASSEMBLED, MOLDED CASE CIRCUIT BREAKERS OF FRAME SIZE INDICATED. PROVIDE BREAKERS WITH PERMANENT THERMAL AND INSTANTANEOUS MAGNETIC TRIPS IN EACH POLE AND AMPERE RATING AS INDICATED. CONSTRUCT WITH OVER CENTER. TRIP-FREE. TOGGLE TYPE OPERATING MECHANISMS WITH QUICK-MAKE, QUICK-BREAK ACTION AND POSITIVE HANDLE INDICATION. CONSTRUCT BREAKERS FOR MOUNTING AND OPERATING IN ANY PHYSICAL POSITION AND OPERATING IN AN AMBIENT TEMPERATURE OF 40C. PROVIDE BREAKERS WITH MECHANICAL SCREW TYPE REMOVABLE CONNECTOR LUGS, AL/CU RATED. ALL BREAKERS TO BE BOLT-IN TYPE CONSTRUCTION. ALL BREAKERS TO BE UL489 LISTED.

TO BE 10,000 A.I.C, UNLESS NOTED OTHERWISE ON THE DRAWINGS.

- A. ALL SINGLE POLE BREAKERS TO BE RATED FOR "SWITCHING DUTY" (SWD) AND
- FOR OPERATION ON FLUORESCENT LIGHTING SOURCES. B. ALL CIRCUIT BREAKERS PROTECTING HIGH INTENSITY DISCHARGE (HID) LIGHTING
- TO BE RATED AND LABELED "HID" FOR OPERATION ON H.I.D. LIGHTING SOURCES . CIRCUIT BREAKERS USED ON HEATING, AIR CONDITIONING, OR REFRIGERATION EQUIPMENT SHALL BE TYPE "HACR" AND U.L. LISTED FOR SUCH USE. PANELBOARD MANUFACTURER TO PROVIDE A COMPLETE "COORDINATION STUDY" OF
- COORDINATION STUDY IS TO ADVISE THE CONTRACTOR OF FINAL SETTINGS OF BREAKER EQUIPMENT FIELD ADJUSTMENTS. ALL SUBMITTALS WILL BE REJECTED UNLESS THIS STUDY IS PROVIDED AT THE TIME OF SHOP DRAWING REVIEW. 6. SUPPORT PARALLEL RUNS OF HORIZONTAL RACEWAYS TOGETHER ON TRAPEZE-TYPE 7. PANELBOARD MANUFACTURER TO PROVIDE A COMPLETE "ARC FLASH STUDY". ALL

OVERCURRENT PROTECTION WITH ALL DOWN-STREAM OVERCURRENT DEVICES. THIS

PROVIDE LIGHTING FIXTURES, OF SIZES, TYPES AND RATINGS INDICATED: COMPLETE

WITH. BUT NOT LIMITED TO. HOUSINGS, ENERGY-EFFICIENT LAMPS, LAMP HOLDERS,

- SUBMITTALS WILL BE REJECTED UNLESS THIS STUDY IS PROVIDED AT THE TIME OF SHOP DRAWING REVIEW. SECTION 16510 — LIGHTING FIXTURES
- REFLECTORS, ENERGY EFFICIENT BALLAST, STARTERS AND WIRING. SHIP FIXTURES FACTORY-ASSEMBLED, WITH THOSE COMPONENTS REQUIRED FOR A COMPLETI INSTALLATION. DESIGN FIXTURES WITH CONCEALED HINGES AND CATCHES, WITH METAL PARTS GROUNDED AS COMMON UNIT, AND SO CONSTRUCTED AS TO DAMPEN BALLAST GENERATED NOISE
- A. ALL LAMPS SHALL BE PROVIDED BY ONE MANUFACTURER UNLESS OTHERWISE DESIGNATED ON THE FIXTURE SCHEDULE.

LUMEN OUTPUT. POWER CONSUMPTION, AND COLOR QUALITY.

RENDERING INDEX OF 82.

IS A VIOLATION OF STATE

HAT BEARS THE SEAL OF A

AW FOR ANY PERSON TO

PROFESSIONAL ENGINEER,

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O THE BEST OF MY KNOWLEDGE

PROFESSIONAL ENGINEER.

NEW YORK STATE

BELIEF AND PROFESSIONAL

SPECIFICATIONS ARE IN

IUDGMENT. THESE PLANS AND

COMPLIANCE WITH THE ECCONYS

AS PER CHAPTER 1 SECTION

COMPLIANCE

ALTER ANY DOCUMENT

UNLESS THE PERSON

IS ACTING UNDER THE

B. ALL T-8 FLUORESCENT LAMPS SHALL BE OSRAM/SYLVANIA OCTRON '700' SERIES

OR EQUAL OF PHILLIPS OR G.E. EQUIVALENT LAMPS SHALL BE EQUIVALENT IN

C. ALL T-5 FLUORESCENT LAMPS SHALL BE OSRAM/SYLVANIA PENTRON SERIES OR EQUAL OF PHILLIPS OR G.E. EQUIVALENT LAMPS SHALL BE EQUIVALENT IN PHONE: (479) 271-8058 FAX: (888) 208-4826 LUMEN OUTPUT, POWER CONSUMPTION, AND COLOR QUALITY.

C.1. T-5 FLUORESCENT LAMPS SHALL BE 4100K IN COLOR WITH A COLOR

B.1. T-8 FLUORESCENT LAMPS SHALL BE 4100K IN COLOR WITH A COLOR

RENDERING INDEX OF 82. . ALL COMPACT FLUORESCENT LAMPS SHALL BE 4-PIN TYPE WITH ELECTRONIC BALLASTS. LAMP COLOR SHALL MATCH LINEAR FLUORESCENT LAMPS OR AS SPECIFIED ON THE FIXTURE SCHEDULE.

INSTALL LIGHTING FIXTURES AT LOCATIONS AND HEIGHTS AS INDICATED, IN

- FULFILL REQUIREMENTS. FURNISH STOCK OF SPARE LAMPS AMOUNTING TO 10% (BUT NOT LESS THAN 2 LAMPS) OF EACH TYPE AND SIZE LAMP USED IN EACH TYPE FIXTURE. DELIVER
- REPLACEMENT STOCK TO SITE OR AS DIRECTED BY OWNER. ALL EXTERIOR POLES SHALL BE PROVIDED WITH VIBRATION ISOLATION DAMPING

HIS SHEET IS PART OF THE CONSTRUCTION DOCUMENTS. OTHER SHEETS INCLUDING SPECIFICATIONS APPLY. THAT SHOWN HEREON IS SCHEMATIC IN NATURE AND NOT TO BE USED AS A SHOP DRAWING: THEREFORE, INCLUDE ALL MODIFICATIONS REQUIRED TO CONFORM TO SITE CONDITIONS AND THE EQUIPMENT AND MATERIAL USED. VERIFY LOCATIONS AND DIMENSIONS OF ALL ARCHITECTURAL AND STRUCTURAL ELEMENTS AS SHOWN ON THEIR RESPECTIVE DOCUMENTS. THESE ELEMENTS ARE SHOWN FOR REFERENCE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION AND THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE TEMENTS, NO DESIGN RESPONSIBILITY IS ASSUMED FOR ANY

PORTION OF THE WORK THAT THE PROFESSIONAL ENGINEER HAS NOT SIGNED AND SEALED PER STATE/PROVINCE REQUIREMENTS. ENERGY CONSERVATION Professional Engineering, LLC

Kansas City, MO 64108

rawing Title

LBI Professional Engineering,LLC T 816-997-9601 310 W 20th Street, Suite 200 F 816-997-9602

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PHONE: (330) 665-0660 FAX: (330) 665-0664

ARCHITECT OF RECORD BENJAMIN T. BELL, AIA

1305 NE McCLAIN RD. SUITE 7

BENTONVILLE, AR 72712

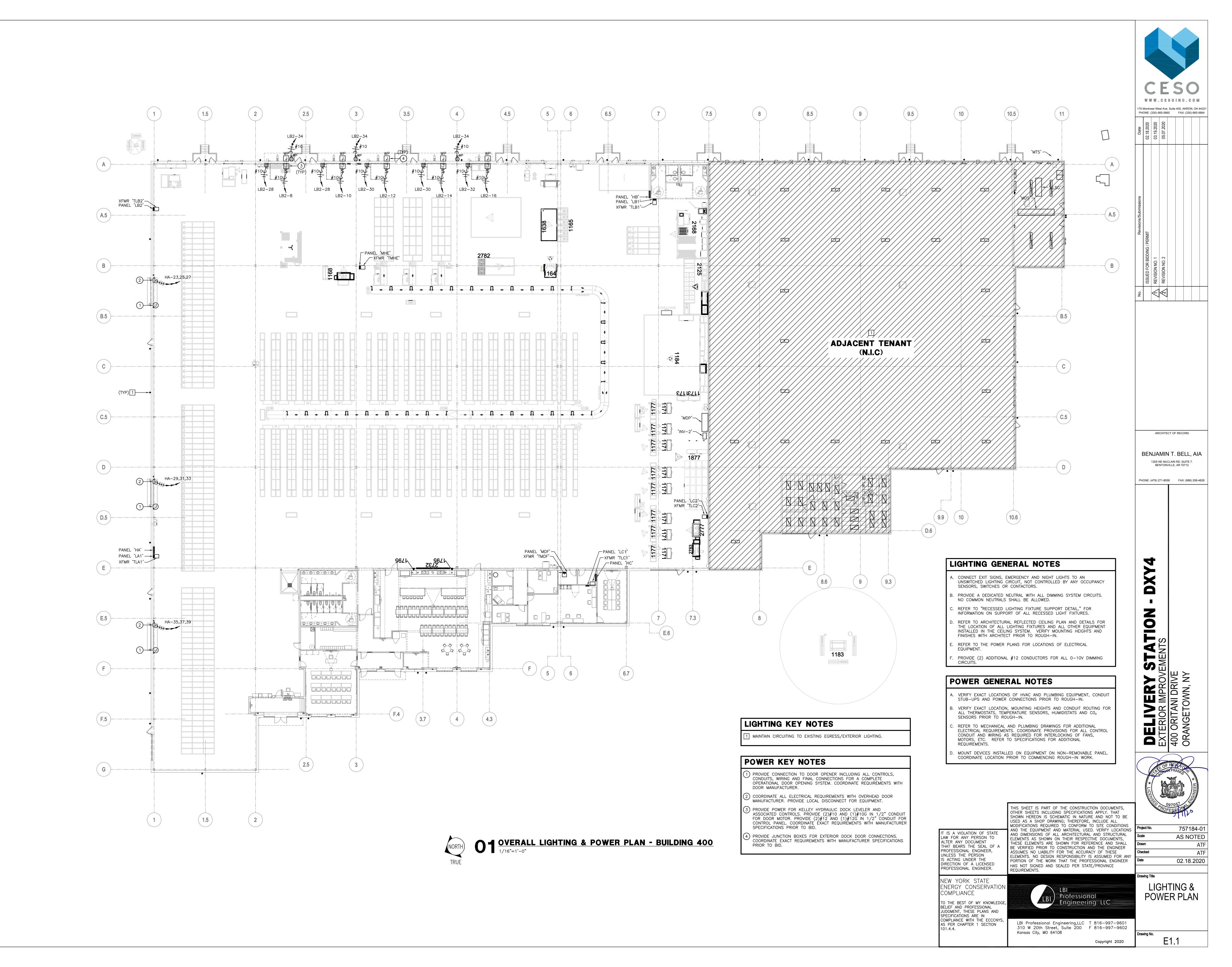
ACCORDANCE WITH FIXTURE MANUFACTURER'S WRITTEN INSTRUCTIONS, APPLICABLE REQUIREMENTS OF NEC, NECA'S "STANDARD OF INSTALLATION," NEMA STANDARDS, AND WITH RECOGNIZED INDUSTRY PRACTICES TO ENSURE THAT LIGHTING FIXTURES

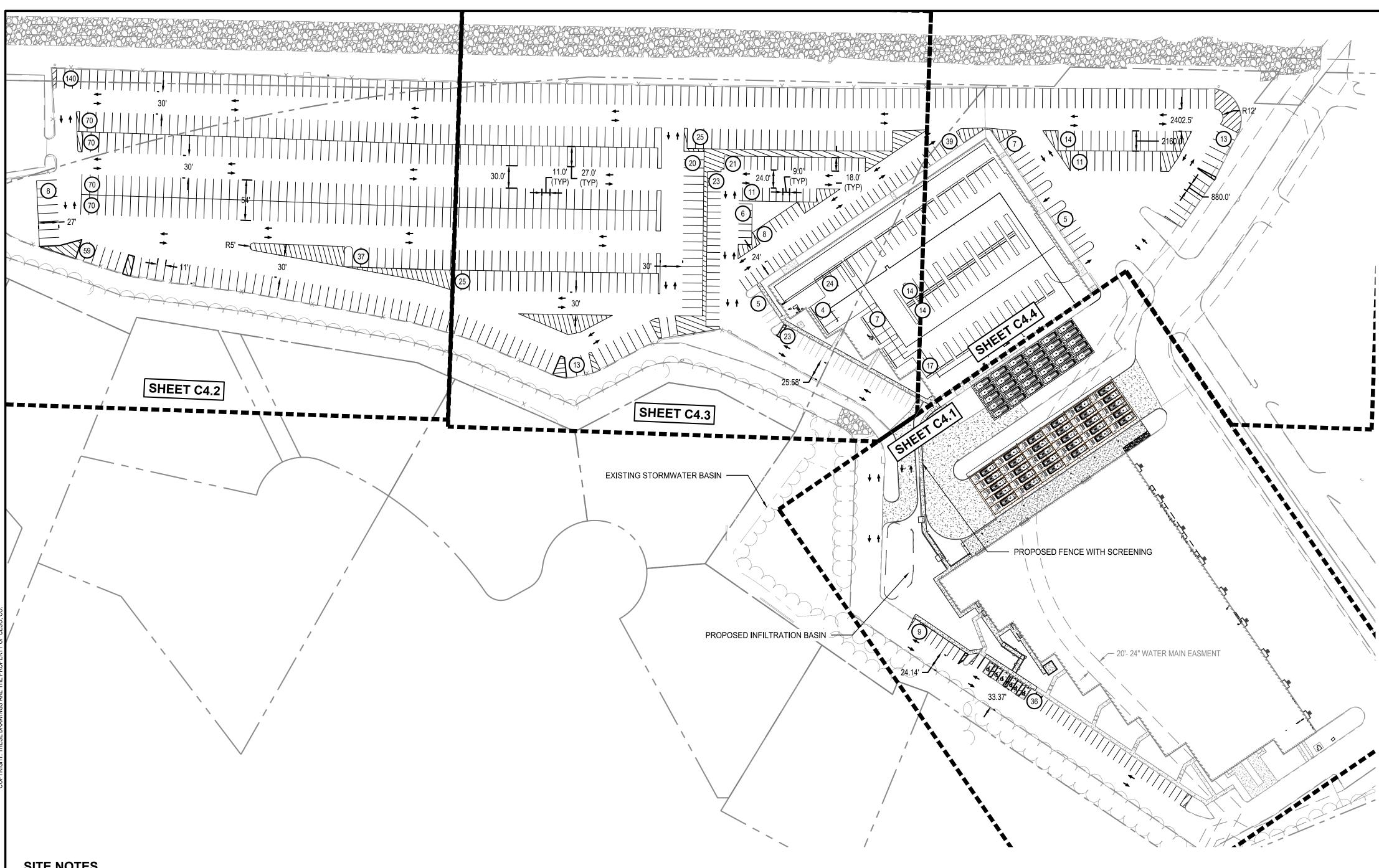
757184-01 AS NOTED ATF 02.18.2020

ELECTRICAL SPECIFICATIONS

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VICINITY MAP



ZONING INFORMATION

LOCATION: 200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913

PARCELS: 65.18-1-1, 65.18-1-22, 70.06-1-1.12 ZONE: (LO) LABORATORY-OFFICE DISTRICT

USE: DISTRIBUTION CENTER

LOT AREA: ± 37.61 ACRES (± 1,638,292 SF)

ADJACENT ZONING:

NORTH: LABORATORY-OFFICE (LO)

SOUTH: LOW DENSITY RESIDENTIAL (R-40), LABORATORY OFFICE (LO)

EAST: LIGHT INDUSTRIAL OFFICE (LIO), LIGHT INDUSTRIAL (LI)

WEST I OW DENSITY RESIDENTIAL (P.40)

WEST: LOW DENSITY RESIDE	EST. LOW DENSITY RESIDENTIAL (R-40)						
ITEM	REQUIREMENTS	EXISTING	PROPOSED				
MINIMUM FRONT BUILDING SETBACK	100 FEET 298.5 FEET						
MINIMUM SIDE BUILDING SETBACK	100 FEET	70.7 FEET					
MINIMUM REAR BUILDING SETBACK	100 FEET	133.7 FEET					
MAXIMUM FLOOR RATIO	0.4	0.1					
BUILDING SIZE	NOT SPECIFIED 175,193 SF						
BUILDING HEIGHT	± 17.5 FEET	33 FEET					
PARKING REQUIREMENTS	AT LEAST 1 SPACE PER 200 SF OF GROSS FLOOR AREA = 876 SPACES	85 SPACES	183 SPACES (ASSOCIATE)				
MINIMUM ACCESSIBLE STALLS	6 SPACES FOR 151 - 200 TOTAL PROVIDED SPACES, 1 VAN	2 SPACES	6 SPACES (1 VAN)				
MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET	9 FEET X 18 FEET	9 FEET X 19 FEET MIN.				
MINIMUM AISLE WIDTH	22 FEET	24 FEET	24 FEET				
MINIMUM PARKING SETBACK	25 FEET	± 60 FEET	± 87 FEET				

SITE NOTES

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL NEW YORK ONE CALL AND ALL UTILITY COMPANIES TO SCHEDULE ANY UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. ALL UTILITIES SHALL BE REMOVED AND/OR RELOCATED PER THE SPECIFICATIONS OF THE UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK.
- 2. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- 3. ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- 4. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF RAMPS.
- 5. ALL DISTURBED AREAS ARE TO RECEIVE 6" OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- 6. ALL DIMENSIONS AND RADII ARE TO THE FACE OF THE CURB OR EDGE OF PAVEMENT, AS APPLICABLE, UNLESS OTHERWISE NOTED.
- 7. PROVIDE STRIPING AS SHOWN. PARKING STALLS SHALL BE PAINTED WITH 4" WHITE, WIDE LINES.
- 8. REFER TO SIGNAGE PLAN FOR PROPOSED SIGNAGE.
- REFER TO MECHANICAL PLANS FOR EQUIPMENT LAYOUT.
- 10. REFER TO ELECTRICAL PLANS FOR ELECTRICAL WORK.
- 11. REFER TO ORIGINAL SURVEY PROVIDED BY BLEW & ASSOCIATES, DATED 10/31/2019.

LEGEND EXISTING

REFER TO TOPOGRAPHIC SURVEY

- - - PROPERTY BOUNDARY — — LIMIT OF WORK

PROPOSED CONCRETE

PARKING COUNT

FLOODPLAIN DESIGNATION:

ACCORDING TO F.I.R.M. NO. 36087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK								
	DESCRIPTION	ELEVATION	NORTHING/EASTING					
BM 1	1" PIPE	93.58 FT	816832.73 N, 641443.82 E					
BM 2	5 / 8" REBAR	71.22 FT	818739.46 N, 641528.88 E					

<u>PARKING</u>

ADA SPACES = 6 SPACES (1 VAN)

STANDARD SPACES (9' x 18') = 175

TOTAL ASSOCIATE SPACES = 181

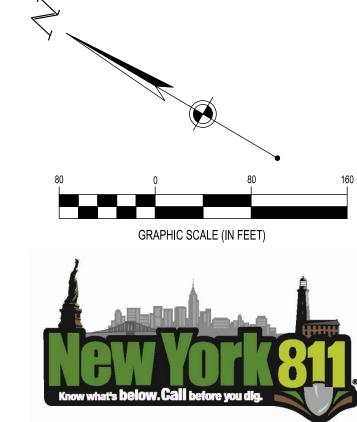
LOADING ZONES (12' x 60') = 5

VAN SPACES (11' x 27') = 737 (80 INTERIOR)

SURVEY (DATED 10/31/2019) BY: BLEW & ASSOCIATES, PA

3825 N. SHILOH DRIVE FAYETTEVILLE, AR 72703 PHONE: (479) 582-1883 CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 OR 1 (800) 272-4480 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811.

NO. DAIE	03/12/20	•	•	•	•	•	•	•	•	•	•	•
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FOR PERMIT 03/12/20 JOB NO.: DESIGN: DRAWN: S. BAILEY J. KOCINSKI DRAWING TITLE

OVERALL SITE PLAN

> SHEET NO. C4.0

757184 - C4.0 SITE PLAN.DWG - 3/12/2020 11:04 AM