

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2021 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: _____
ASSIGNED _____
INSPECTOR: _____

Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: Legalization of Existing Deck/Enclosed Porch

Street Address: 11 Henry Street, Orangeburg, NY 10962

Tax Map Designation:
Section: 74.13 Block: 1 Lot(s): 43
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the East side of Henry Street, approximately
0 feet Northeast of the intersection of Hollis Street, in the
Town of ORANGETOWN in the hamlet/village of Orangeburg.

Acreage of Parcel <u>0.20</u>	Zoning District <u>RG</u>
School District <u>South Orangetown</u>	Postal District <u>Orangeburg</u>
Ambulance District <u>South Orangetown</u>	Fire District <u>Orangeburg</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*
Legalization of Existing Deck/Enclosed Porch-Rear Yard Variance- RG Zone

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 1-27-2021 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

Applicant: Joseph Jacob Phone # 914-882-9361

Address: 61 Demarest Ave West Nyack NY 10994
Street Name & Number (Post Office) City State Zip Code

Property Owner: Sajan Augustine Phone # 914-843-4155

Address: 65 Lake Nanuet Drive Nanuet NY 10954
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Shajan S. Thottakara, P.E., CFM Phone # 845-548-6066

Address: 16 Duane Avenue New City NY 10956
Street Name & Number (Post Office) City State Zip Code

Attorney: _____ Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

Contact Person: Joseph Jacob Phone # 914-882-9361

Address: 61 Demarest Ave West Nyack NY 10994
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:

Referral Agencies:

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input type="checkbox"/> Other _____ | |

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

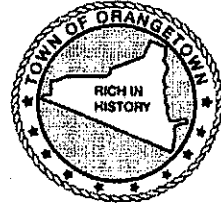
Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? No _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: December 22, 2020

Applicant: Augustine

Address: 11 Henry St, Orangeburg, NY

RE: Application Made at: same

Chapter 43, Table 3.12 column 1 RG District, Column 2 Group Q, Column 3 SFR, Column 11 Required
Rear Yard 25' w 9.9' proposed for deck stair landing.
One Variances Required

Section: 74.13

Block: 1

Lot: 43

Dear Augustine:

Please be advised that the Building Permit Application, which you submitted on

December 21, 2020, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

Richard Oliver
Deputy Building Inspector

Signature of Director

NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date

CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE. TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.

APPLICATION FOR BUILDING / DEMOLITION PERMIT

TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: R6 OFFICIAL USE ONLY ACREAGE: .2
 Inspector: elen Date App Received: 12-21-2020 Received By: [Signature]
 Permit No. 50439 Date Issued: _____
 CO No. _____ Date Issued: _____
 Permit Fee: \$20 Ck# 25110 Paid By JACOB
 GIS Fee: \$20 Ck# CASH Paid By _____
 Stream Maintenance Fee Ck # _____ Paid By _____
 Additional Fee: _____ Ck# _____ Date Paid _____ Paid By _____
 1st 6 mo. Ext.: _____ Ck # _____ Exp. Date: _____ Paid By _____
 2nd 6 mo. Ext.: _____ Ck # _____ Exp. Date: _____ Paid By _____

APPLICANT COMPLETES:

DEC 21 2020

Note: See inside for instructions for completing this application. PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 11 HENRY STREET, ORANGETOWN
 Section: 74.13 Block: 1 Lot: 43
 Property Owner: SATAN AUGUSTINE
 Mailing Address: 65 LAKE NANUET DRIVE, NANUET, NY 10954
 Email: Sajan@westnyacksportsmedicine.com Phone #: 914-843-4155
 Lessee (Business Name): _____
 Mailing Address: _____
 Email: _____ Phone #: _____
 Type of Business /Use: _____
 Contact Person: JACOB CHOORAVADY Relation to Project: R.E. BROKER
 Email: jacobchooravady@hotmail.com Phone#: 914-882-9361
 Architect/Engineer: _____ NYS Lic # _____
 Address: _____ Phone#: _____
 Builder/General Contractor: _____ RC Lic # _____
 Address: _____ Phone#: _____
 Plumber: _____ RC Lic # _____
 Address: _____ Phone#: _____
 Electrician: _____ RC Lic # _____
 Address: _____ Phone#: _____
 Heat/Cooling: _____ RC Lic#: _____
 Address: _____ Phone#: _____

Existing use of structure or land: _____
 Proposed Project Description: LEGALIZATION OF EXISTING DECK/ENCLOSED PORCH (223 SQ. FT.)
 Proposed Square Footage: _____ Estimated Construction Value (\$): 7,500
 BUILDING DEPARTMENT COMPLETES BELOW 5000

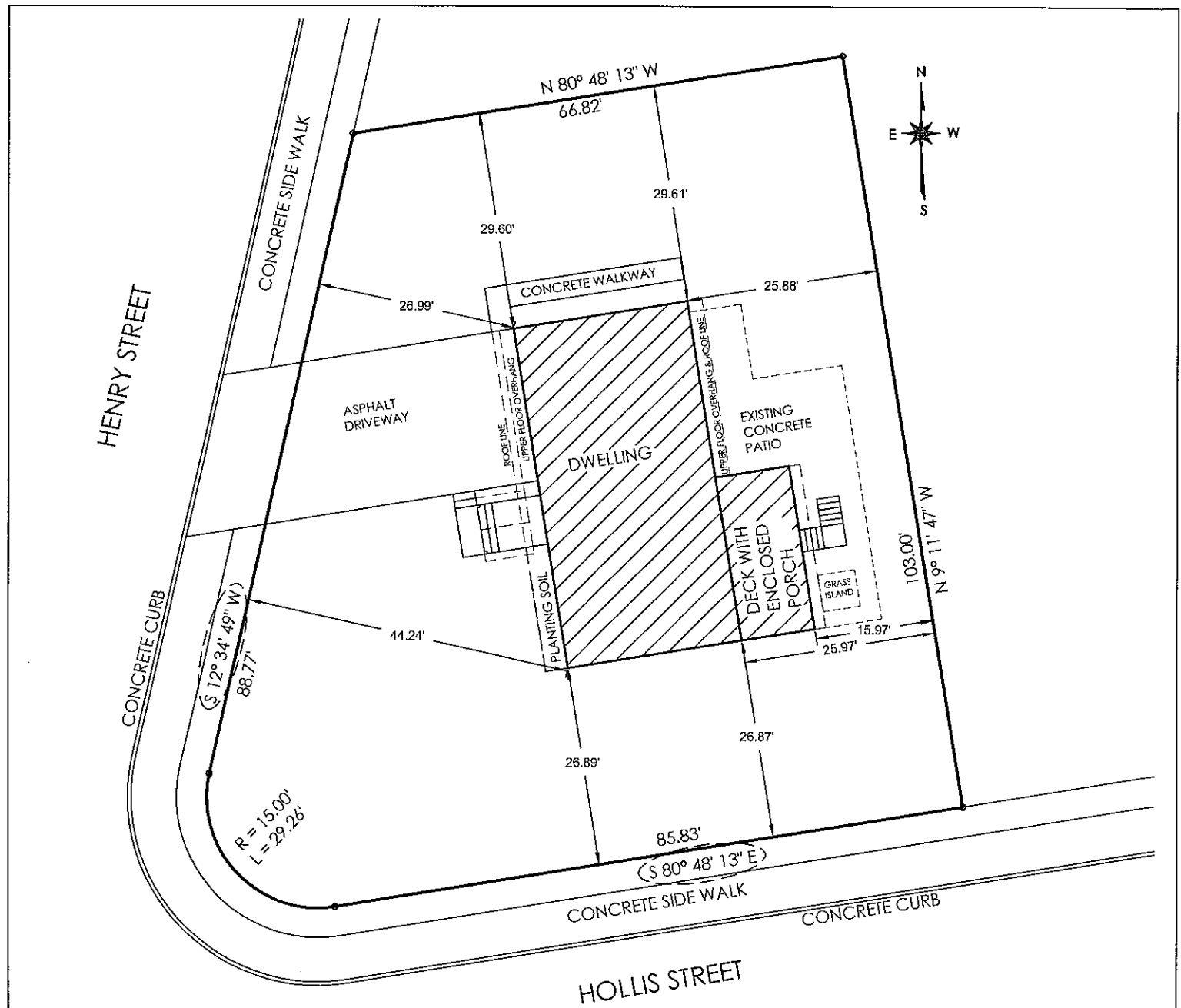
PLANS REVIEWED: _____
 PERMIT REFERRED/DENIED FOR:
Chapter 43 Table 3.12, Column 1 R6 District, Column 2 Group G,
Column 3 SR Column 11 Rear Yard 20' by 9.9' Required,
1 Variance required

[Signature] Deputy 12/21/2020

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT #

SWIS	PRINT KEY	NAME	ADDRESS
392489	74.13-1-40	Peter M Kowal Jr	14 Henry St,Orangeburg, NY 10962
392489	74.13-1-41	The Salvation Army	440 West Nyack Rd,West Nyack, NY 10994
392489	74.13-1-42	John Buffa	18 Henry St,Orangeburg, NY 10962
392489	74.13-1-43	Sajan Augustine	11 Henry St,Orangeburg, NY 10962
392489	74.13-1-44	Sandra Mae Vitelli	9 Henry St,Orangeburg, NY 10962
392489	74.13-1-45	Suzann Gravius	7 Henry St,Orangeburg, NY 10962
392489	74.13-1-51	Johnson M Pajimna	4 Hollis St,Orangeburg, NY 10962
392489	74.13-1-52	Angelo Lymberatos	6 Hollis St,Orangeburg, NY 10962
392489	74.13-1-53	Ruben Y Doctor	7 Hollis St,Orangeburg, NY 10962
392489	74.13-1-54	James J Healy	5 Hollis St,Orangeburg, NY 10962
392489	74.13-1-64	Ho Sung Lee	9 Hollis St,Orangeburg, NY 10962

SINGLE-FAMILY DWELLING -11 HENRY STREET



NOTE:
THIS SITE PLAN IS BASED ON THE SURVEY OF LAND OF ROCKLAND VILLAGE AT ORANBURG, PREPARED BY MICHAEL M. BURRIS, P.E., L.S., 485 ENGLE STREET, N. J., DATED 12/4/1962.

SITE PLAN/SURVEY

SCALE: 1" = 20'

BEARINGS CORRECTED

PROPERTY NOTES:

- TAX LOT DESIGNATION ----- SECTION 74.13, BLOCK 1, LOT 43
- TOTAL AREA ----- 0.20 ACRES
- USE ZONE ----- RG
- USE TYPE ----- RESIDENTIAL SINGLE-FAMILY
- RECORD OWNER ----- SAJAN & STELBY AUGUSTINE
65 LAKE NANUET DRIVE
NANUET, NY 10954
- APPLICANT ----- SAJAN & STELBY AUGUSTINE
65 LAKE NANUET DRIVE
NANUET, NY 10954
- FIRE DISTRICT ----- ORANGETOWN
- SEWER DISTRICT ----- ORANGETOWN SEWER DISTRICT
- SCHOOL DISTRICT ----- SOUTH ORANGETOWN SCHOOL DISTRICT
- WATER SUPPLY ----- SUEZ, NEW YORK



LOCATION/VICINITY MAP

NOT TO SCALE

ZONING BULK REQUIREMENTS

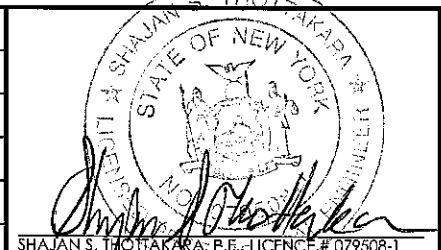
ZONE: RG	GROUP: Q		USE: SINGLE-FAMILY	
	REQUIRED	EXISTING	PROPOSED	
FLOOR AREA RATIO	< 0.30	0.285	0.285	
LOT AREA	0.20 AC	0.20 AC	0.20 AC	
LOT WIDTH	75'	103'	103'	
STREET FRONTAGE	50'	88'	88'	
FRONT YARD SETBACK	25'	26.99'	26.99'	
SIDE YARD SETBACK	10'	26.87'	26.87'	
TOTAL SIDE YARD SETBACK	30'	56.47'	56.47'	
REAR YARD SETBACK	25'	25.88'	9.9' (*)	
MAXIMUM BUILDING HEIGHT	1'-4"	< 1'-0"	< 1'-0"	
NUMBER OF STORIES: 2	CONSTRUCTION TYPE: WOOD FRAME		OCCUPANCY CLASS: GROUP R	

(*) - EXISTING CONDITION-VARIANCE REQUIRED

Warning:

It is a violation of section 7209 of the New York State Education Law for any person, unless he is acting under the direction of a licensed professional engineer, to alter this drawing in any way. If an item bearing the seal of an engineer is altered, the altering engineer shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

REV. NO.	DATE	Description

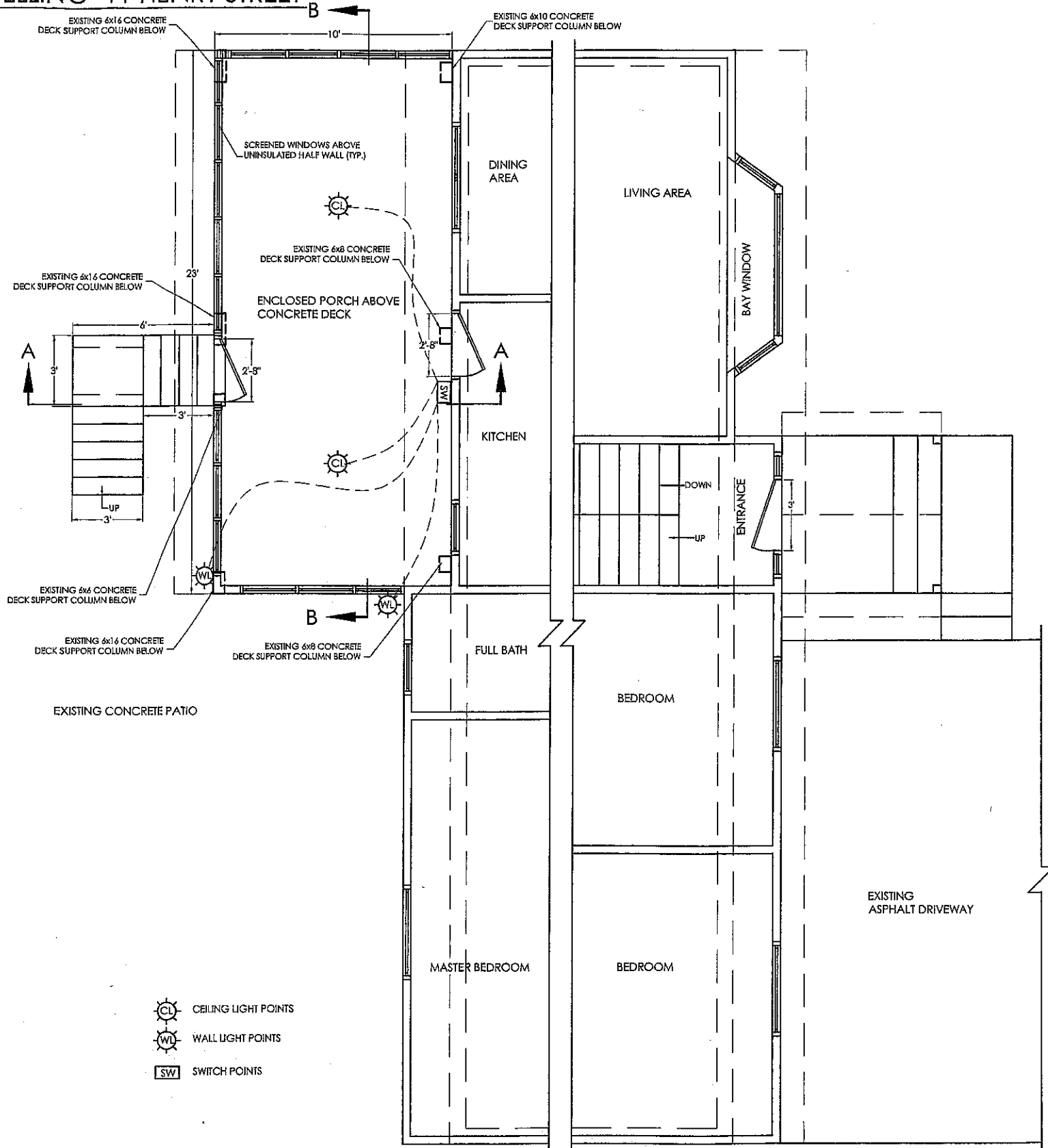
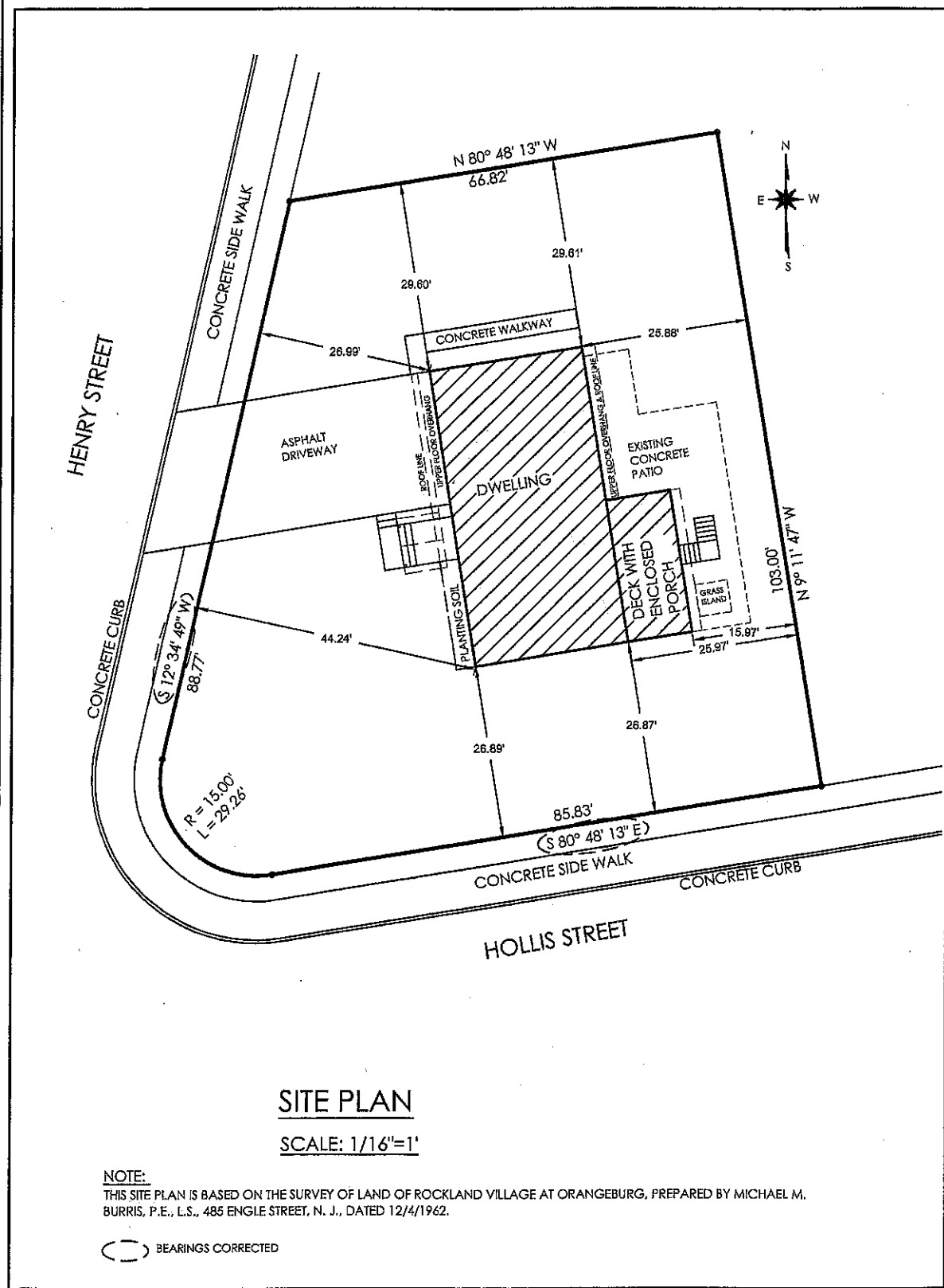


E & A Sans, Inc.
16 Duane Avenue
New City, NY 10956
Phone: (845) 548-6066
E-mail: easansinc@yahoo.com

LEGALIZATION OF EXISTING DECK/ENCLOSED PORCH
11 HENRY STREET, ORANBURG, NY 10962
SITE PLAN/SURVEY, VICINITY MAP & ZONING BULK CHART

DRAWN BY : SST
SCALE : AS NOTED
DATE : 1/20/2021
SHEET TYPE : B-1
SHEET : ZBA

SINGLE-FAMILY DWELLING - 11 HENRY STREET



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REV. NO.	DATE	Description



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16 Duane Avenue
New City, NY 10956
Phone: (845) 548-6066

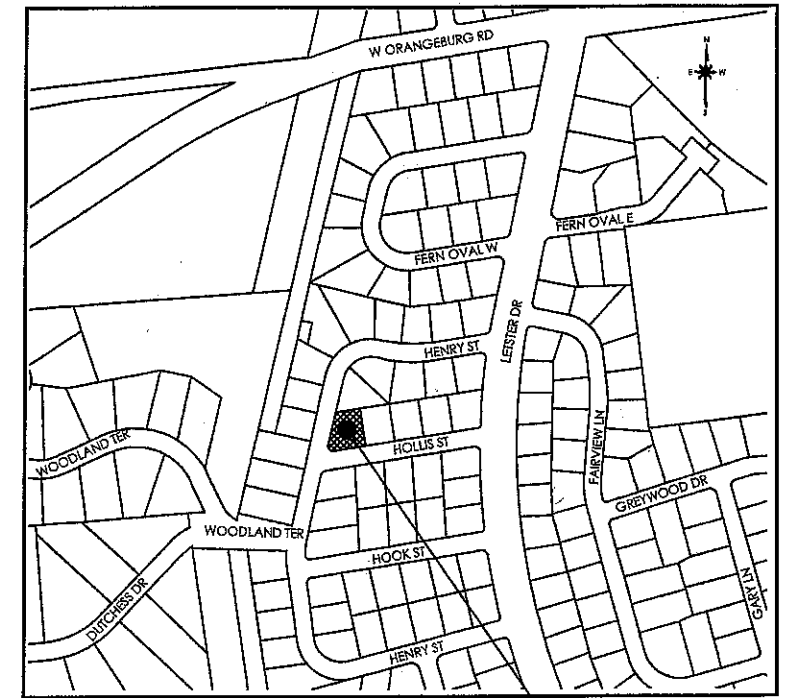
E-mail: easonsinc@yahoo.com

LEGALIZATION OF EXISTING DECK/ENCLOSED PORCH
11 HENRY STREET, ORANBEBURG, NY 10962

SITE PLAN & PARTIAL BUILDING PLAN

DRAWN BY : SST
SCALE : AS NOTED
DATE : 12/14/2020
SHEET TYPE : AR-C

SINGLE-FAMILY DWELLING - 11 HENRY STREET

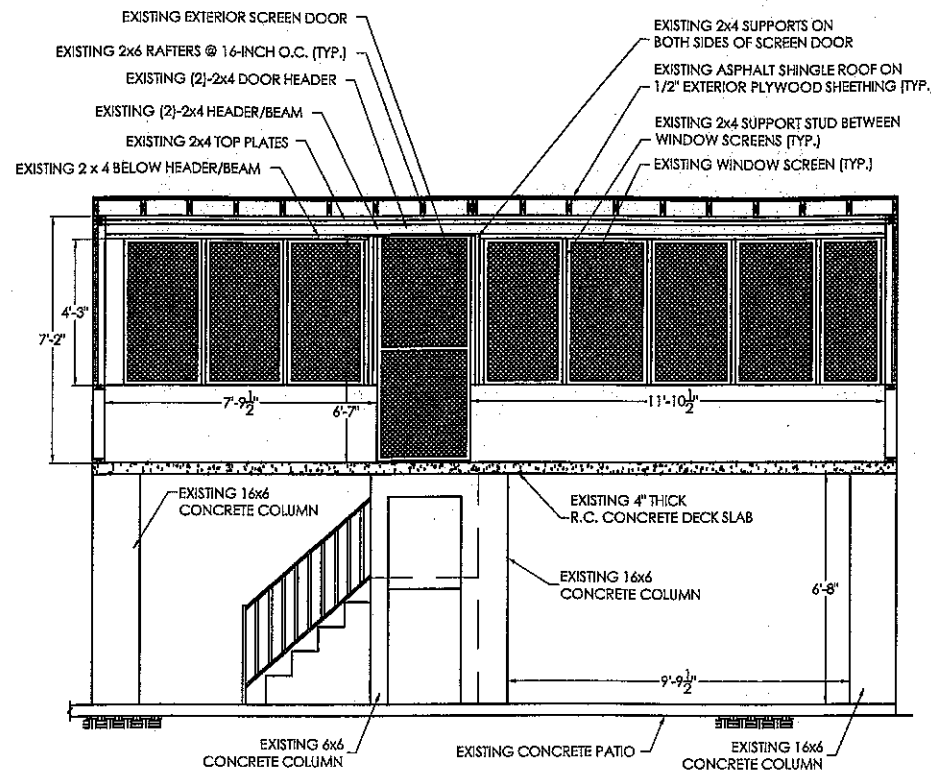


LOCATION MAP

NOT TO SCALE

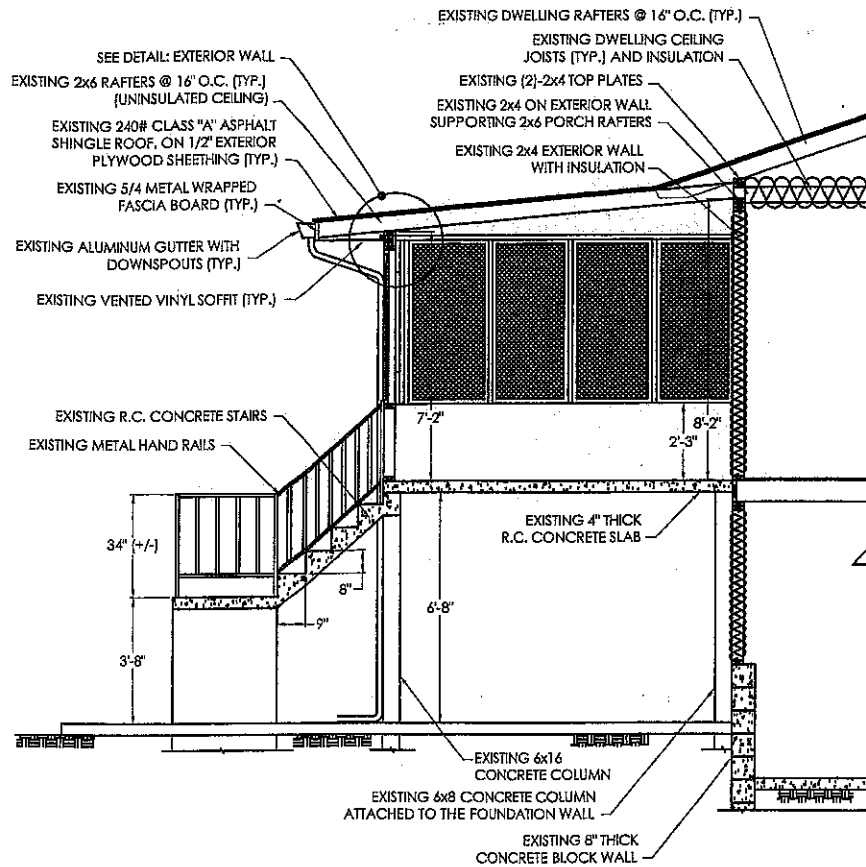
PROPERTY NOTES:

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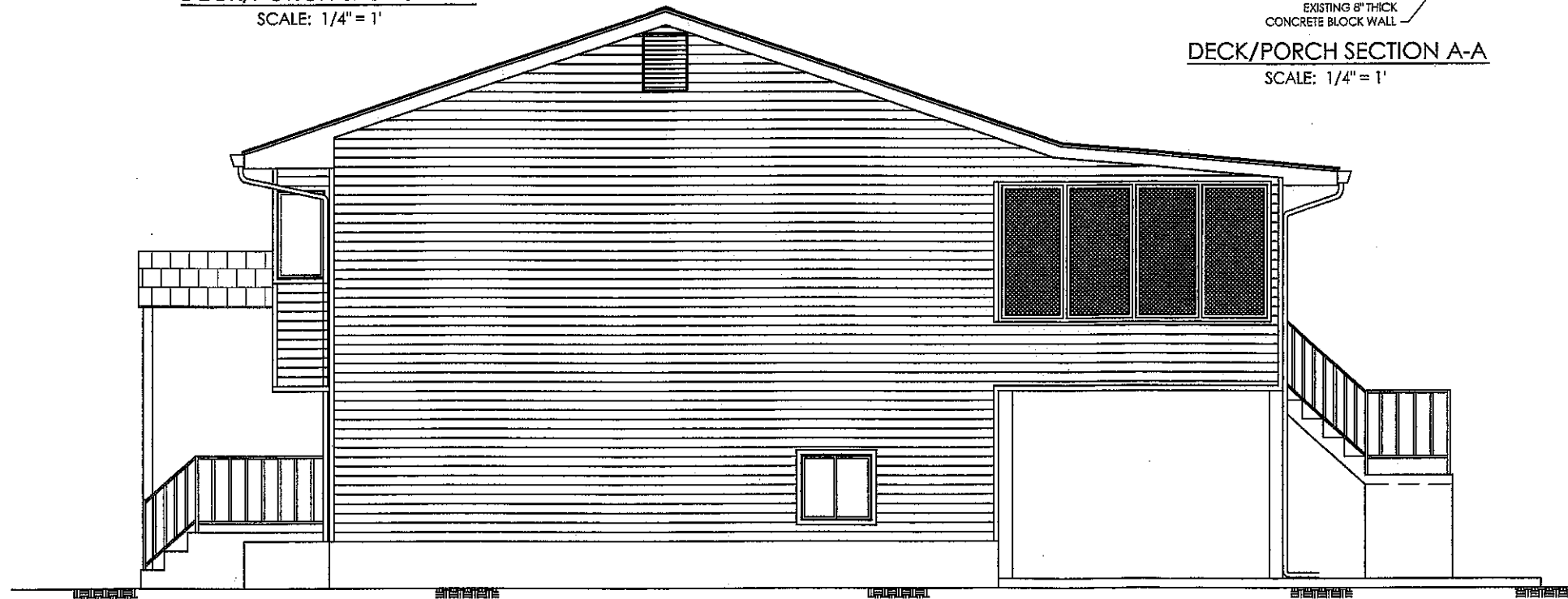
DECK/PORCH SECTION B-B

SCALE: 1/4" = 1'



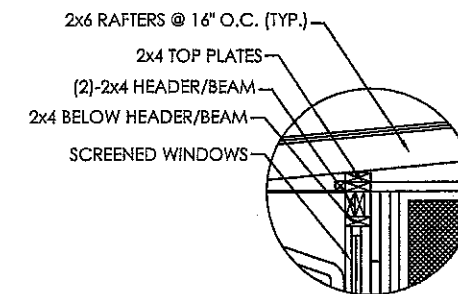
DECK/PORCH SECTION A-A

SCALE: 1/4" = 1'



DWELLING SIDE ELEVATION

SCALE: 1/4" = 1'

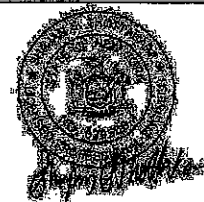


DETAIL: EXTERIOR WALL

NOT TO SCALE

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REV. NO.	DATE	Description



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Phone: (845) 548-6066
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LEGALIZATION OF EXISTING DECK/ENCLOSED PORCH
11 HENRY STREET, ORANEBURG, NY 10962
**SECTIONS, ELEVATION, DETAIL,
LOCATION MAP & PROPERTY NOTES**

DRAWN BY :	SST
SCALE :	AS NOTED
DATE :	12/14/2020
SHEET TYPE :	AR-C
SHEET :	2 OF 2