

Town of Orangetown Planning Board

Planning Board Meeting: Wednesday, March 25, 2020

Time: 7:30 p.m.

Location: Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York

Project: BCH Realty LLC – Concaro, LLC: Parking Site Plan Review
(Prior Site Plan Withdrawn PB#16-47)

Location: The site is located at 20 Mountainview Avenue, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.07, Block 1, Lot 27 in the LI & CC zoning districts.

Distribution:

Rockland County:

- *Planning Department*
- *Highway Department*
- Park Commission
- Environmental Resources
- *Drainage Agency*
- *Health Dept.*
- *Sewer District No.1*

Town of Orangetown:

- *Drainage Consultant*
- *OBZPA*
- *DEME*
- *Highway*
- *DTA*
- *Fire Prevention*
- *TAB*
- *ZBA*

Other:

- *New York State Department of Transportation: Permits*
- *US Army Corp of Engineers*
- *Orange and Rockland Utilities*
- *Suez New York*
- *CSX Railroad*

Project Description:

Prepreliminary/ Preliminary Site Plan Review

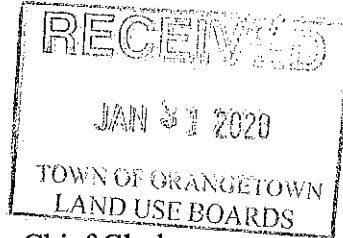
Please forward your completed review to this office by the meeting date. **If your comments are not received by this date, the Board assumes your agency does not have any comments.**

Donald Brenner, P.E., L.L.B.

*Attorney-At-Law • Professional Engineer
4 Independence Avenue, Tappan, New York 10983*

Phone 845-359-2210

Fax 845-359-8070



January 31, 2020

Attn: Cheryl Coopersmith, Chief Clerk
Orangetown Planning Board
Town of Orangetown
26 Orangeburg Road
Orangeburg, NY 10962

Re: 20 E Mountainview Avenue
Orangeburg, NY 10962
Section 74.07, Block 1, Lot 27
Professional Services
20-2803

NARRATIVE:

The owner of the property operates a successful restaurant at the site, Del' Arte, and is planning to expand his operation in an adjacent space.

This change requires additional parking spaces. The owner now proposes to build the required spaces.

APPLICATION FOR BUILDING/DEMOLITION PERMIT

Phone: (845) 359-8410 Office Hours: 8 to 4
Fax: (845) 359-8526

Name of Municipality: Town of Orangetown, 20 Greenbush Road, Orangeburg, NY Date Application Received: 4-11-16

Inspector: <u>Gm</u>	OFFICIAL USE ONLY	Received By: <u>RD</u>
Zoning District: <u>CC/LI</u>	Red Ball Yes/No	
Permit Information:		Acres: _____
Permit No.: <u>45277</u>		Date: _____
C.O. No.: _____		Date: _____
Check Amount: <u>\$533-</u>	Date: <u>4-11-16</u>	Date: _____
Check #: <u>106</u>		
GIS Fee: From <u>Conciatori</u>	Ck. # <u>107</u> Amt. <u>\$190-</u>	From: <u>Conciatori</u>
S.M.F. Ck. No.: <u>108</u>	Amt. <u>\$30-</u>	Date: <u>4-11-16</u>
1st 6Mo Extension/Date: _____	Ck. # _____ Amt. _____	From: <u>Conciatori</u>
2nd 6Mo Extension/Date: _____	Ck. # _____ Amt. _____	From: _____

Rockland County Home Improvement - please submit a copy of license
Workmen's Compensation and Disability Carrier - please submit a copy of the policy

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application

Property Location: 20 MOUNTAINVIEW AVE, ORANGETOWN NY, 10962

Section: 74.07 Block 1 Lot 27

Property Owner: BCH REALTY (JOHN CARUO) Phone # Home: _____

Address 17 VALENZA DRIVE, BLAUVELT NY, 10913 Work: _____

Email: ENZO.CONCIATORI@GMAIL.COM Phone #: 845-613-7110 Work #: _____ Cell: 845-300-1726

Lessee _____ Address _____ Phone # _____

Contact Person ENZO CONCIATORI Phone # 914-661-6296

Architect/Engineer: _____ NYS Lic # _____ Phone # _____

Address _____ Phone # _____

Builder/General Contractor: T&D RC Lic # _____

Address _____ Phone # _____

Plumber: _____ RC Lic # _____

Address _____ Phone # _____

Heat/Cooling: _____ RC Lic # _____

Address _____ Phone # _____

Electrician: _____ RC Lic # _____

Address _____ Phone # _____

Existing use of structure or land: RAW LAND

Proposed Project Description: Expansion of existing parking lot to add an additional 72 spaces

Proposed Square Footage: 73,625 SF Estimated Construction Value (\$): 25,000

BUILDING DEPARTMENT COMPLETES

PLANS REVIEWED: BHC Realty plan 112812020
PERMIT REFERRED/DENIED FOR: Orangetown code ch 21A
Sec 21A-2 requires planning board approval

[Signature] 5/2/16

NAME: ENZO CONCIATORI

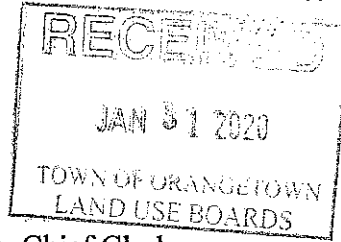
Donald Brenner, P.E., L.L.B.

Attorney-At-Law • Professional Engineer

4 Independence Avenue, Tappan, New York 10983

Phone 845-359-2210

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**Planning Board Meeting of March 25, 2020
Town of Orangetown**

**Project: BCH Realty LLC – Concaro, LLC: Parking Site Plan Review
(Prior Site Plan Withdrawn PB#16-47)**

Location: The site is located at 20 Mountainview Avenue, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.07, Block 1, Lot 27 in the LI & CC zoning districts.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.

If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

- **U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962**
- **Email to Planning Board at ccoopersmith@orangetown.com, or**
- **Fax to the Town of Orangetown Planning Board @845 359-8526**

- Comments Attached (or to be provided prior to Meeting date noted above)
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

Dated: _____

Agency Name

By: _____

Please Print Name

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: BCH Realty, LLC - Del Arte			
Project Location (describe, and attach a location map): 20 E Mountain Ave, Orangeburg, NY 10962			
Brief Description of Proposed Action: use of vacant store - adding additional parking spaces			
Name of Applicant or Sponsor: BCH Realty, LLC		Telephone: 914-661-6296	
		E-Mail:	
Address: 20 E Mountain Ave			
City/PO: Orangeburg		State: NY	Zip Code: 10962
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Town of Orangetown Building Dept and Planning Board			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<u>5.82</u> acres	
b. Total acreage to be physically disturbed?		<u>0.15</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>5.82</u> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
		✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
		✓	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
		✓	
			✓
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
		✓	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
			✓
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
			✓
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
		✓	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
			✓
		✓	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
		✓	
16. Is the project site located in the 100 year flood plain?	NO	YES	
			✓
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES	
			✓

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	✓	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>JOHN CAROLLO</u>	Date: <u>02/13/2020</u>	
Signature: <u>John Carollo</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
<hr/> Name of Lead Agency	<hr/> Date
<hr/> Print or Type Name of Responsible Officer in Lead Agency	<hr/> Title of Responsible Officer
<hr/> Signature of Responsible Officer in Lead Agency	<hr/> Signature of Preparer (if different from Responsible Officer)

LEGEND		
EXISTING	PROPOSED	ITEMS
---	---	PROPERTY LINE
---	---	WIRE FENCE LINE
○	○	SAN. SEWER MANHOLE
○	○	CLEAN-OUT
○	○	DRAINAGE MANHOLE
○	○	CATCH BASIN
○	○	WATER VALVE
○	○	GAS VALVE
○	○	UTILITY POLE
○	○	OVERHEAD ELECTRIC
○	○	LIGHT POLE
○	○	PAVEMENT (PARKING)
○	○	PAVEMENT (ROAD)

NOTES CONTINUED:

- CONTINUED
- TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 2'-10" HEIGHT.
- THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
 - DRIP LINE OF TREE CANOPY.
 THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT.
 - LIGHT TO HEAVY IMPACTS- MIN. OF 8" OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - LIGHT IMPACTS ONLY- INSTALLATION OF 3/4" OF PLYWOOD OR BOARDS OF EQUAL OVER THE AREA TO BE PROTECTED.
 THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED THE FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED BY MORE THAN 6" TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED, AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF 3' LARGER THAN THE TREE CANOPY.
- ALL LANDSCAPING SHOWN ON THE SITE PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT BE MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK. THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (EM&E) SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEM&A AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
- THE CONTRACTORS TRAILER IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.
- IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION ENCOUNTERS SUCH CONDITIONS AS FLOODING, SOFT OR SLITY AREAS, IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO DEM&A. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE PERMANENT AND SATISFACTORY CONSTRUCTION DEM&A SHALL INVESTIGATE THE CONDITIONS AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITIONS, OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING IN THE SUBDIVISION PLAN OR SITE PLAN OR ANY CHANGE THAT INVOLVES A WETLANDS REGULATED AREA, THE MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA I.E. WETLANDS-US. ARMY CORPS OF ENGINEERS.
- PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
- PRIOR (AT LEAST 14 DAYS) TO THE PLACING OF ANY ROAD SUB-BASE THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SUPER-INTENDENT OF HIGHWAYS AND DEM&A WITH A PLAN AND PROFILE OF THE GRADED ROAD TO BE PAVED IN ORDER THAT THESE DEPARTMENTS MAY REVIEW THE DRAWINGS CONFORMANCE TO THE APPROVED CONSTRUCTION PLANS AND THE TOWN STREET SPECIFICATIONS.
- THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND REUSE CONTROL.
- LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
- ALL UTILITIES INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
- CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR, DIVISION OF SEWERS.
- CLEARING LIMIT AREAS MUST BE MARKED IN THE FIELD PRIOR TO ANY GRADING ON CONSTRUCTION SITE TO AVOID ANY ENCROACHMENTS INTO THE WETLAND AREA.
- ALL EXISTING CATCH BASINS TO BE RETROFITTED WITH ENVIROHOOD. SEE DETAIL ON SHEET 5 OF 5.

TOWN FIRE PREVENTION NOTES:

- INSTALL AN NFPA 13 COMPLIANT FIRE SPRINKLER SYSTEM MAINTAINED ACCORDING TO NFPA 25.
- INSTALL AN NFPA 72 COMPLIANT FIRE-ALARM SYSTEM CONNECTED TO ROCKLAND COUNTY 44-CONTROL, WITH AMBER AND RED STROBES AS PER ORANGETOWN CODE.
- INSTALL PORTABLE FIRE EXTINGUISHERS AS PER NFPA 10.
- INSTALL EMERGENCY LIGHTING AS PER NEC.
- INSTALL KEY BOX.
- APPLY FOR AND MAINTAIN CERTIFICATE OF COMPLIANCE FIRE SAFETY WITH FIRE INSPECTORS OFFICE.
- IF LIGHTWEIGHT TRUSSES ARE USED, A SIGN MUST BE PLACED ON THE EXTERIOR OF THE BUILDING FACING MAIN ENTRANCE.

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND UTILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

NYNOR PART 703
REQUIRES 2 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND UTILITY WORK.

CALL BEFORE YOU DIG SAFELY NEW YORK
1-800-962-7962

PARKING CALCULATIONS (LOT #1)

UNIT	USE	GROSS FLOOR AREA	ONE SPACE REQUIRED PER	TOTAL SPACES REQUIRED
UNIT 20A	BAKERY	1975	200 SF OF GROSS FLOOR AREA	10 SPACES REQUIRED
UNIT 20B	FRAME SHOP	1975	200 SF OF GROSS FLOOR AREA	10 SPACES REQUIRED
UNIT 20C	JANITORIAL CLEANING SERVICE	1975	200 SF OF GROSS FLOOR AREA	10 SPACES REQUIRED
UNIT 20D	PROPOSED RESTAURANT	1975	200 SF OF GROSS FLOOR AREA	10 SPACES REQUIRED
UNIT 20E	RESTAURANT	3950	100 SF OF GROSS FLOOR AREA	40 SPACES REQUIRED
UNIT 20G	FIT BODY BOOT CAMP	1975	200 SF OF GROSS FLOOR AREA	10 SPACES REQUIRED
UNIT 20H	SIGN SHOP	1975	200 SF OF GROSS FLOOR AREA	10 SPACES REQUIRED
TOTAL				110 TOTAL SPACES REQUIRED
				51 SPACES EXISTING
				4 SPACES TO BE REMOVED
				76 NEW SPACES PROPOSED
				=123 TOTAL SPACES PROVIDED INCLUDING 4 HC SPACES

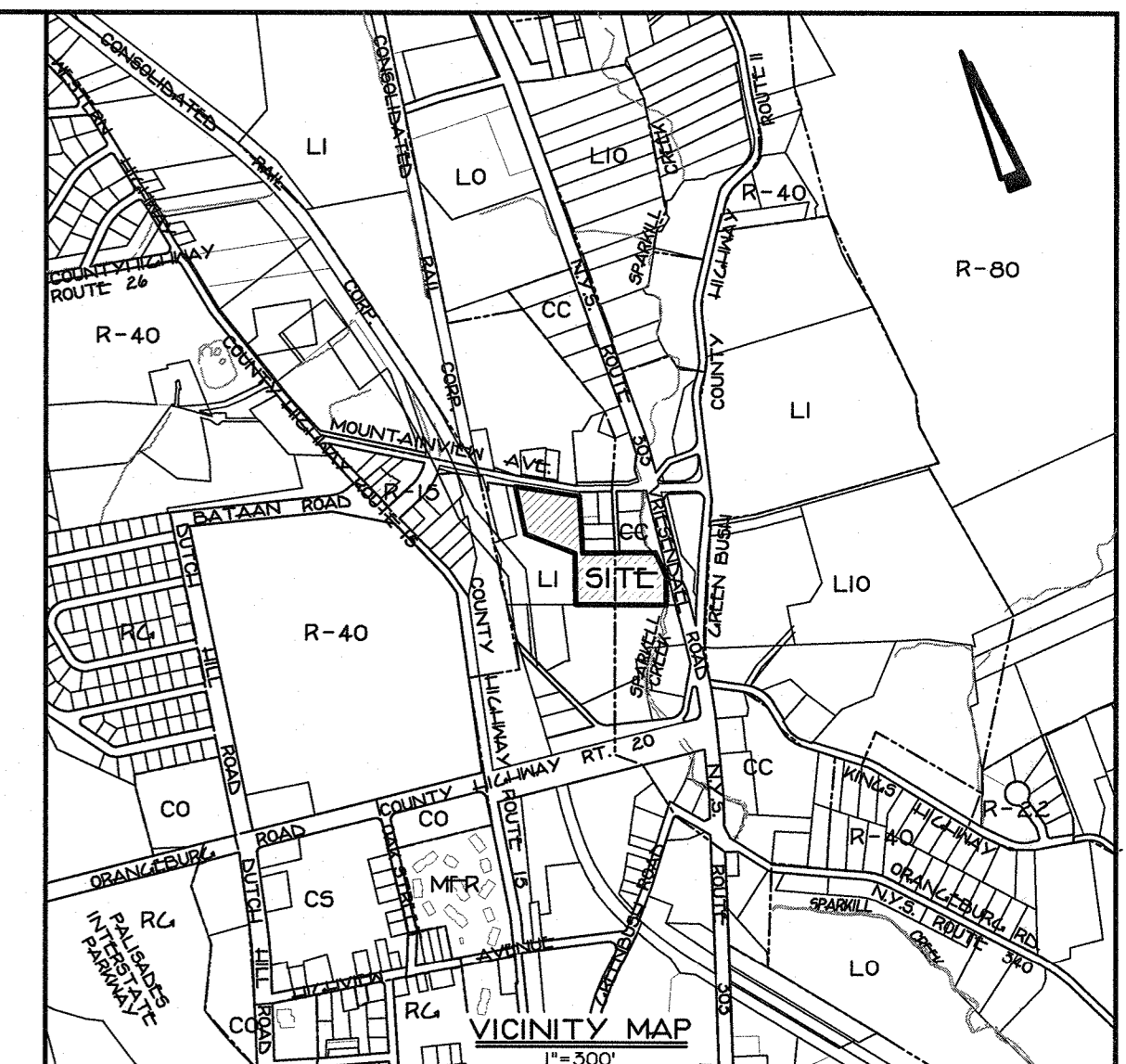
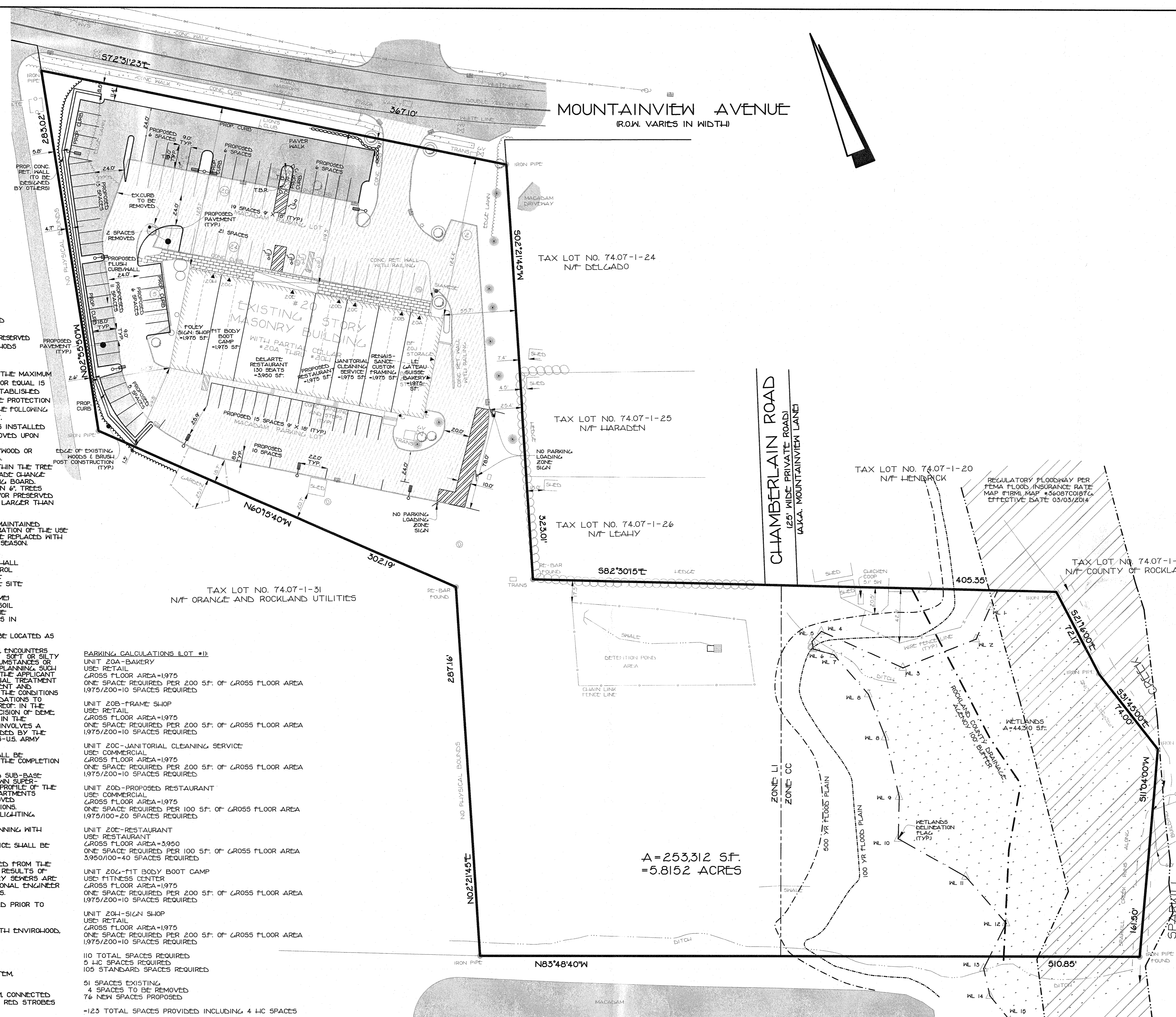
BULK TABLE

LI	MINIMUM LOT AREA	LOT WIDTH (FEET)	STREET FRONTAGE (FEET)	FRONT YARD (FEET)	SIDE YARD (FEET)	TOTAL SIDE YARD (FEET)	REAR YARD (FEET)	FLOOR AREA RATIO	PARKING	BUILDING HEIGHT (FEET)
REQUIRED	87,120	150	150	50	50	100	50	.50	110	22.5
EXISTING	253,312	352	367.10	119.4	55.7	118	66.8	.06	51*	22.5
PROPOSED	253,312	352	367.10	119.4	55.7	118	66.8	.06	123	22.5

*EXISTING NON-CONFORMING

FLOOR AREA RATIO CALCULATIONS:
FOOTPRINT=15,800 SF.
15,800/253,312=0.062

IMPERVIOUS SURFACE CALCULATIONS:
EXISTING IMPERVIOUS SURFACE=59,447 SF. / 253,312 SF. =23.51
PROPOSED IMPERVIOUS SURFACE=73,821 SF. / 253,312 SF. =29.11



- NOTES:**
- THIS IS A SITE PLAN OF LOT 27, BLOCK I, SECTION 74.07 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAP.
 - AREA OF TRACT: =253,312 SF. =5.8152 AC.
 - ZONE: LI & CC
 - PROPOSED USE: COMMERCIAL
 - DATUM: SOURCE: BM FEMA MON. 230, SOURCE DATUM NADVD29 76.88' CONVERTED TO NAVD88: 79.9' USING CORPSCON
 - RECORD OWNER AND APPLICANT: BCH REALTY, LLC 20 E MOUNTAINVIEW AVENUE ORANGETOWN, NY 10962
 - FIRE DISTRICT: ORANGETOWN
 - SCHOOL DISTRICT: ORANGETOWN SCHOOL DISTRICT
FIRE DISTRICT: ORANGETOWN FIRE DISTRICT
WATER DISTRICT: ORANGETOWN WATER DISTRICT
LIGHTING DISTRICT: ROCKLAND AND ORANGE
SEWER DISTRICT: ORANGETOWN SEWER DISTRICT
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.6M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS, AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
 - THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER TREE CANOPY
 - THERE WILL BE NO EXCAVATION OR STOCKPIILING OF EARTH UNDERNEATH THE TREES
- (NOTES CONTINUED ON LEFT)

REVISIONS

NO.	DATE	DESCRIPTION
20		APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF ORANGETOWN, NY ON THE DAY OF 20 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE REQUIRES MODIFICATION OR REVISION OF THIS PLAN AS APPROVED SHALL VOID THIS APPROVAL SIGNED THIS DAY OF 20

CHAIRMAN _____
CLERK _____

SITE PLAN PLANIMETRIC PLAN FOR BCH REALTY, LLC LOCATED IN TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE: 1" = 40'

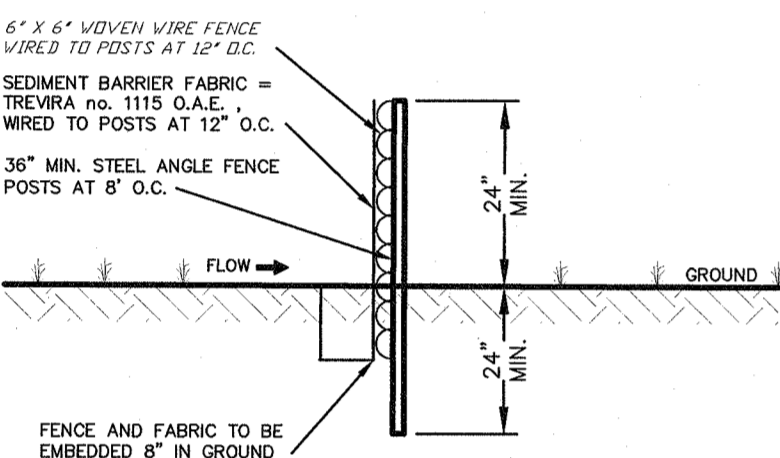
SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING * LAND SURVEYING * SITE PLANNING

18 NORTH MAIN STREET
P.O. BOX 818
HARRIMAN, N.Y. 10926
TEL: (845) 782-8543
FAX: (845) 782-5901
SPARACO.STEVE@SLSNY.COM WY151@GMAIL.COM

SP-4042
JAN. 28, 2020
SCALE: 1" = 40'
DATE: 10' = 5'



EXISTING	PROPOSED	ITEMS
---	---	PROPERTY LINE
---	---	WIRE FENCE LINE
---	---	SANITARY SEWER
---	---	SAN. SEWER MANHOLE
---	---	CLEAN-OUT
---	---	WATER MAIN
---	---	WATER SERVICE
---	---	WATER VALVE
---	---	GAS MAIN
---	---	GAS SERVICE
---	---	GAS VALVE
---	---	DRAIN PIPE
---	---	DRAINAGE MANHOLE
---	---	CATCH BASIN
---	---	UTILITY POLE
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	LIGHT POLE
---	---	PAVEMENT (PARKING)
---	---	PAVEMENT (ROAD)
---	---	10' CONTOUR INTERVAL
---	---	2' CONTOUR INTERVAL
---	---	SPOT GRADE
---	---	WALL & CURB ELEV.
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CATCH BASIN WITH PROTECTION



NOTES:

1. THIS FENCE IS AN ALTERNATE TO HAY BALE SEDIMENT BARRIER
2. MAINTAIN FENCE TO INSURE SEDIMENT ENTRAPMENT QUALITIES DURING CONSTRUCTION.
3. REMOVE EXCESS SILT PERIODICALLY AND WHEN BULGES DEVELOPE.
4. FENCE SYMBOL ON PLAN = [Symbol]

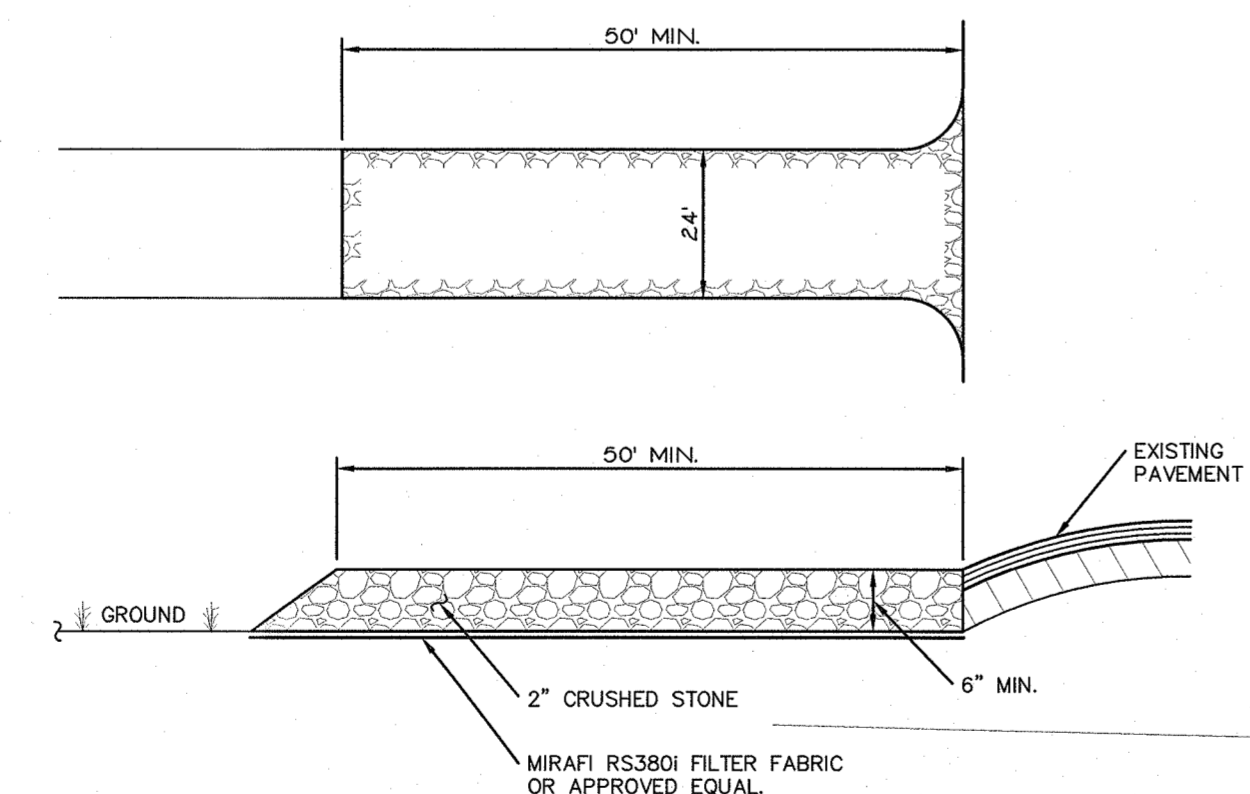
SEDIMENT BARRIER FENCE
N.T.S.

GENERAL NOTES:

1. CONTRACTOR TO VERIFY LOCATION, SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
3. ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALKS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
4. EXISTING UTILITIES & STRUCTURES THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
5. PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. UTILITIES AND UTILITY STRUCTURES WHOSE LOCATIONS ARE UNKNOWN MAY BE AFFECTED BY THE PROPOSED WORK. UPON FINDING SUCH UTILITIES, THE CONTRACTORS RESPONSIBILITY SHALL BE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
7. CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO COMPLETED WORK.
8. ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING LINES AND EQUIPMENT FOR PROVIDING POWER AND/OR COMMUNICATIONS, ARE TO BE INSTALLED UNDERGROUND.
9. THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM REQUIRED TO PERFORM THE CONTRACT WORK WITH AS MINIMAL EFFECT ON ADJACENT AREAS AS POSSIBLE.
10. ALL NEW STORM DRAINAGE PIPING TO BE SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE LINED UNLESS OTHERWISE SPECIFIED.
11. ANY SUBSTITUTIONS TO BE REQUESTED IN WRITING AND APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
12. CONTRACTOR TO OBTAIN AND SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL BEFORE MANUFACTURING.

AREA OF DISTURBANCE
26,777 SF.

IMPERVIOUS AREA CALCS.
EXISTING IMPERVIOUS = 59,447 SF.
PROPOSED IMPERVIOUS = 73,821 SF.
INCREASE IN IMPERVIOUS = 14,374 SF.



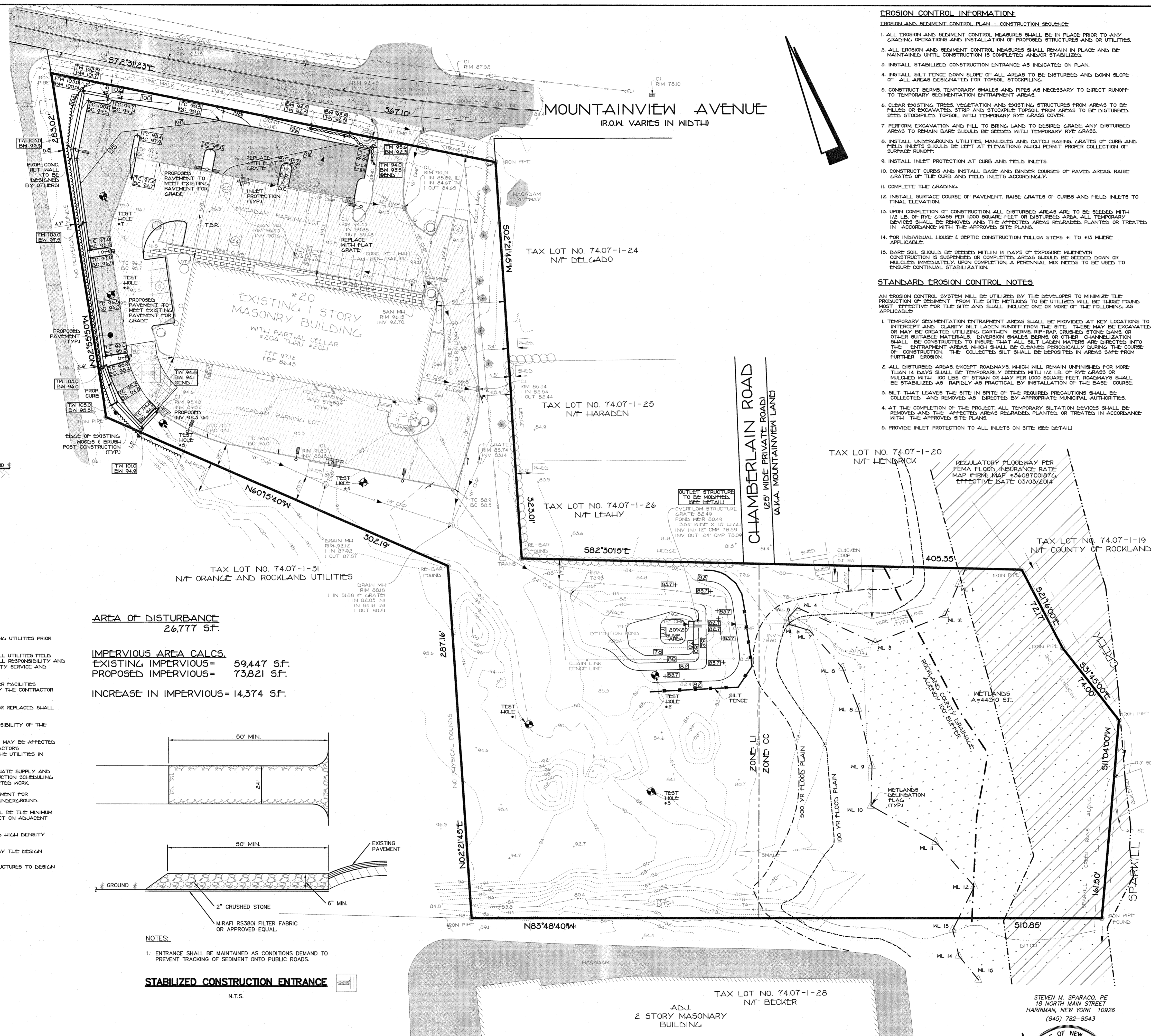
NOTES:

1. ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC ROADS.

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

14-FV0991 PART 703
REQUIRED BY ANTI-CORROSION CODES PRIOR TO START OF ANY UNDERGROUND WORK
DIG SAFELY NEW YORK
www.digsafely.com
1-800-962-7962



EROSION CONTROL INFORMATION:

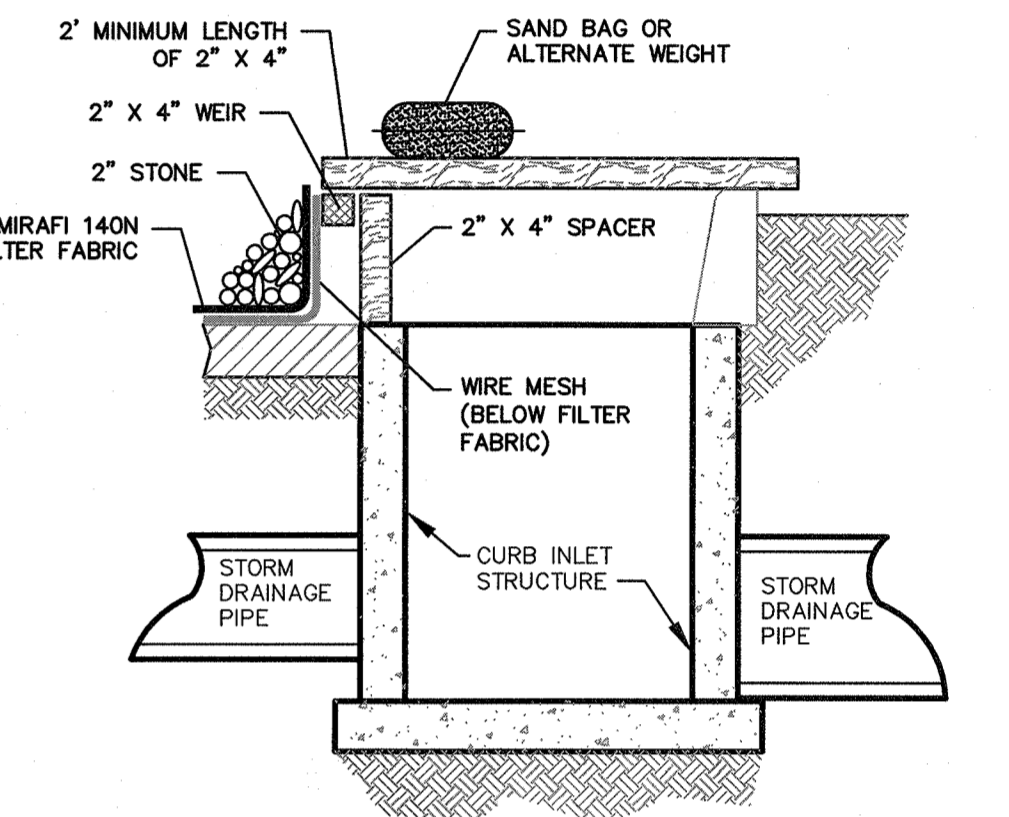
EROSION AND SEDIMENT CONTROL PLAN - CONSTRUCTION SEQUENCE

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES AND/OR UTILITIES.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR STABILIZED.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON PLAN.
4. INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND DOWN SLOPE OF ALL AREAS DESIGNATED FOR TOPSOIL STOCKPILING.
5. CONSTRUCT BERMS, TEMPORARY SHALES AND PILES AS NECESSARY TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION ENTRAPMENT AREAS.
6. CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED. STRIP AND STOCKPILE TOPSOIL FROM AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYE GRASS COVER.
7. PERFORM EXCAVATION AND FILL TO BRING LAND TO DESIRED GRADE. ANY DISTURBED AREAS TO REMAIN BARE SHOULD BE SEEDDED WITH TEMPORARY RYE GRASS.
8. INSTALL UNDERGROUND UTILITIES, MANHOLES AND CATCH BASINS, GRATES OF CURBS AND FIELD INLETS SHOULD BE LEFT AT ELEVATIONS WHICH PERMIT PROPER COLLECTION OF SURFACE RUNOFF.
9. INSTALL INLET PROTECTION AT CURB AND FIELD INLETS.
10. CONSTRUCT CURBS AND INSTALL BASE AND BINDER COURSES OF PAVED AREAS. RAISE GRATES OF THE CURB AND FIELD INLETS ACCORDINGLY.
11. COMPLETE THE GRADING.
12. INSTALL SURFACE COURSE OF PAVEMENT. RAISE GRATES OF CURBS AND FIELD INLETS TO FINAL ELEVATION.
13. UPON COMPLETION OF CONSTRUCTION ALL DISTURBED AREAS ARE TO BE SEEDDED WITH 1/2 LB. OF RYE GRASS PER 1000 SQUARE FEET OR DISTURBED AREA. ALL TEMPORARY DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLAN.
14. FOR INDIVIDUAL HOUSE & SEPTIC CONSTRUCTION FOLLOW STEPS #1 TO #13 WHERE APPLICABLE.
15. BARE SOIL SHOULD BE SEEDDED WITHIN 14 DAYS OF EXPOSURE. WHENEVER CONSTRUCTION IS SUSPENDED OR COMPLETED, AREAS SHOULD BE SEEDDED DOWN OR MULCHED IMMEDIATELY. UPON COMPLETION A PERENNIAL MIX NEEDS TO BE USED TO ENSURE CONTINUAL STABILIZATION.

STANDARD EROSION CONTROL NOTES

AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING, AS APPLICABLE:

1. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING CARTONS, BRICKS, COULERS, STONE DAMS OR OTHER SUITABLE MATERIALS. DIVERSION SHALES, BERMS OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN MATTERS ARE DIRECTED INTO THE ENTRAPMENT AREAS WHICH SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
2. ALL DISTURBED AREAS EXCEPT ROADWAYS WHICH WILL REMAIN UNFINISHED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDDED WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICAL BY INSTALLATION OF THE BASE COURSE.
3. SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
4. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLAN.
5. PROVIDE INLET PROTECTION TO ALL INLETS ON SITE (SEE DETAIL).



NOTES:

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2\"/>
- 3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2\"/>
- 4. THE WEIR SHALL BE SECURELY NAILED TO 2\"/>
- 5. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2\"/>
- 6. SYMBOL [Symbol]

CURB INLET PROTECTION DETAIL
N.T.S.

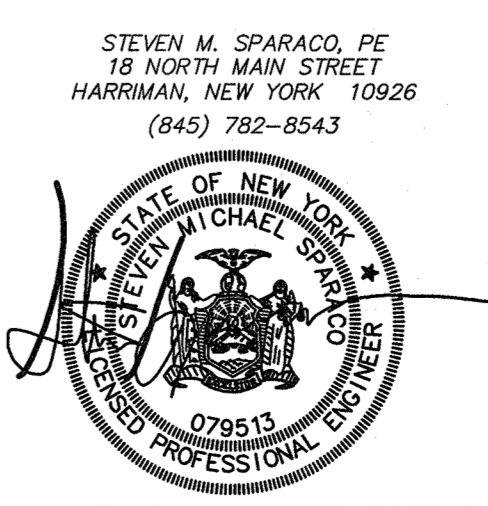
NO.	REVISIONS

SITE PLAN GRADING & UTILITY AND EROSION & SEDIMENT CONTROL PLAN FOR BCH REALTY, LLC
LOCATED IN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK
GRAPHIC SCALE: 1\"/>

SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING & LAND SURVEYING
SITE PLANNING

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HARRIMAN, N.Y. 10924
TEL: (845) 782-8543
FAX: (845) 782-5901
WWW.SPARACO-STEVEN@SLSNY.COM WDL51@GMAIL.COM

DATE: JAN. 28, 2020
SCALE: 1\"/>



LEGEND		
EXISTING	PROPOSED	ITEMS
---	---	PROPERTY LINE
---	---	WIRE FENCE LINE
---	---	SANITARY SEWER
---	---	SAN. SEWER MANHOLE
---	---	CLEAN-OUT
---	---	WATER MAIN
---	---	WATER SERVICE
---	---	WATER VALVE
---	---	GAS MAIN
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---	---	DRAINAGE MANHOLE
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---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	LIGHT POLE
---	---	PAVEMENT PARKING
---	---	PAVEMENT ROAD
---	---	10' CONTOUR INTERVAL
---	---	2' CONTOUR INTERVAL
---	---	SPOT GRADE
---	---	HALL & CURB ELEV.
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CATCH BASIN WITH PROTECTION

TREE LIST		
NO.	DIA.	SPECIES
T1	24"	OAK
T2	30"	PINE
T3	24"	PINE
T4	14"	PINE
T5	20"	PINE
T6	20"	PINE
T7	18"	PINE
T8	20"	PINE
T9	18"	PINE
T10	16"	PINE
T11	12"	ELM
T12	14" TWIN	AILANTHUS
T13	4"	JUNIPER BUSH
T14	24"	OAK W/ JUNIPER RING
T15	24"	MAPLE W/ JUNIPER RING
T16	24"	OAK W/ JUNIPER RING
T17	30"	OAK W/ JUNIPER RING
T18		JUNIPER BUSH
T19	24"	OAK
T20	18"	OAK
T21	10"	JUNIPER BUSH
T22	7"	JUNIPER BUSH
T23	3"	JUNIPER BUSH
T24	4"	JUNIPER BUSH
T25	20"	OAK

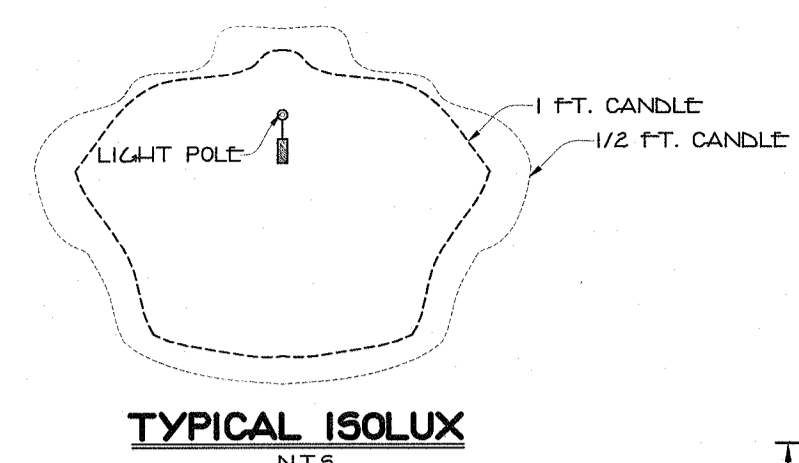
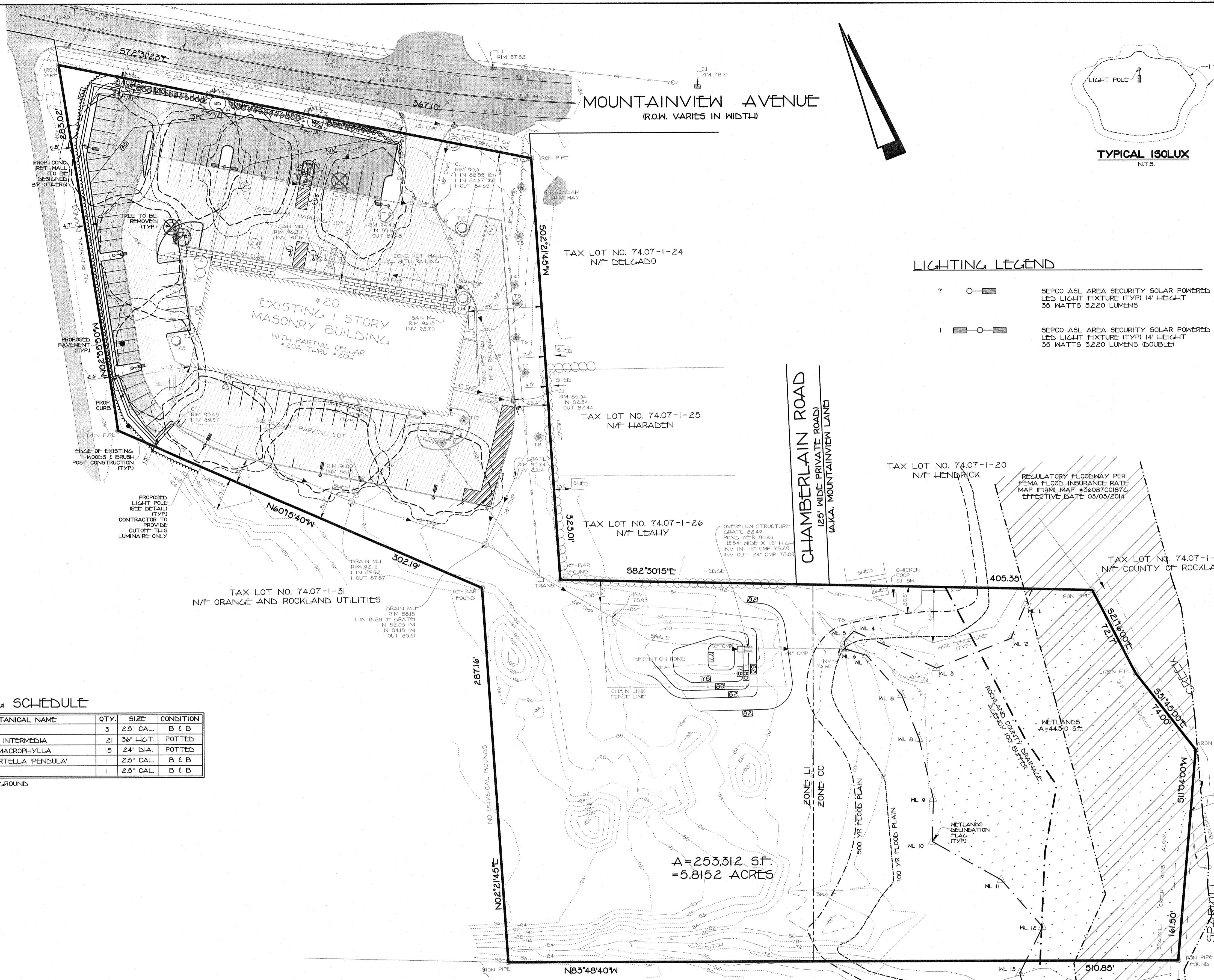
PLANTING SCHEDULE

KEY	COMMON NAME	BOTANICAL NAME	QTY.	SIZE	CONDITION
KD	KOUSSA DOGWOOD	CORNACEAE	3	2.5" CAL.	B & B
FS	FORSYTHIA	FORSYTHIA X INTERMEDIA	21	3 1/2" HGT.	POTTED
H	HYDRANGEA	HYDRANGEA MACROPHYLLA	15	24" DIA.	POTTED
WC	WEeping CHERRY	PRUNUS SUBHIRTELLA 'PENDULA'	1	2.5" CAL.	B & B
CRM	RED MAPLE	ACER RUBRUM	1	2.5" CAL.	B & B

NOTE: ALL TREES TO BE LIMBED TO 8' ABOVE GROUND

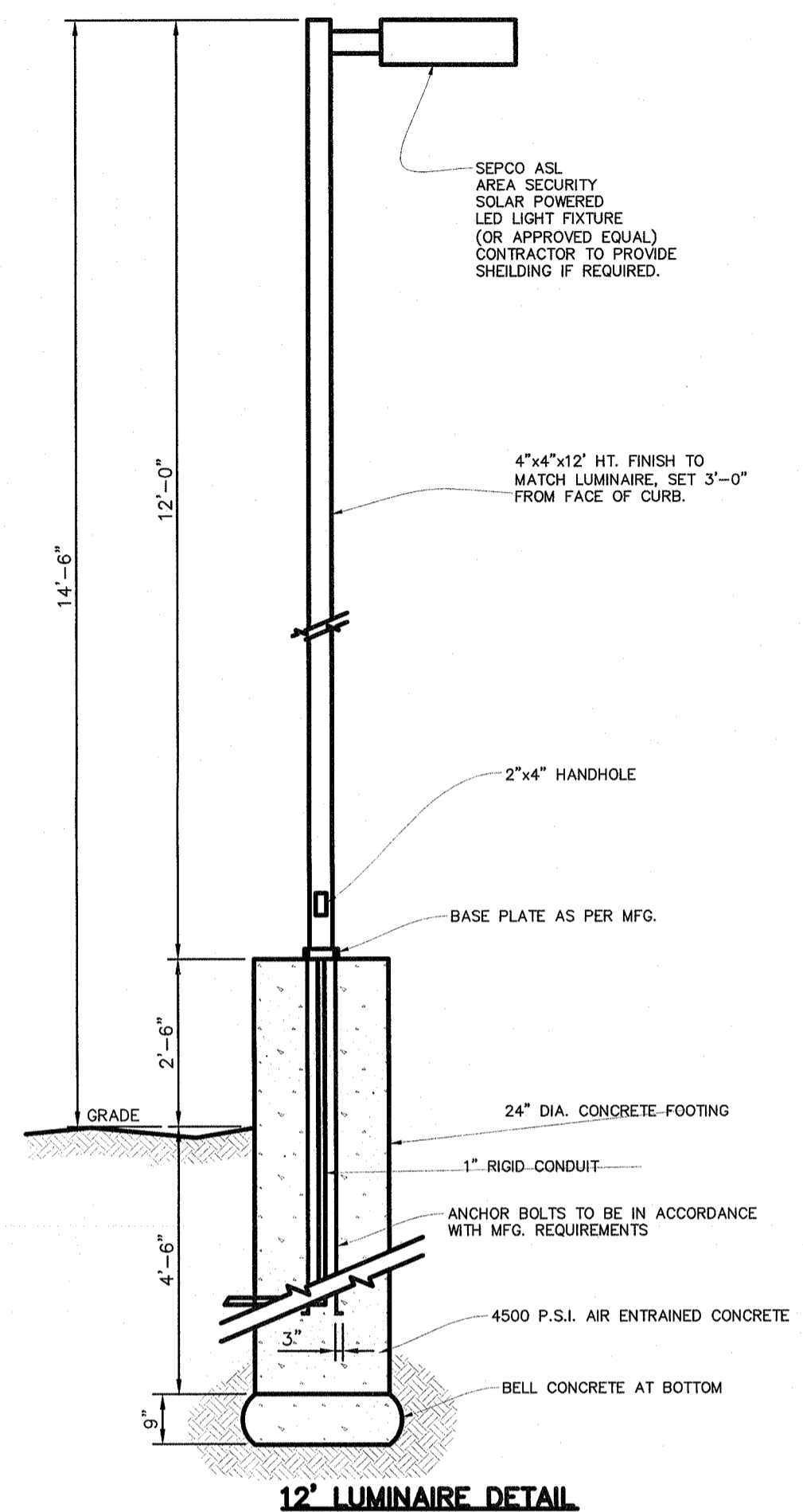


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LIGHTING LEGEND

- 7 [Symbol] SEPCO ASL AREA SECURITY SOLAR POWERED LED LIGHT FIXTURE (TYP) 14' HEIGHT 35 WATTS 3,220 LUMENS
- 1 [Symbol] SEPCO ASL AREA SECURITY SOLAR POWERED LED LIGHT FIXTURE (TYP) 14' HEIGHT 35 WATTS 3,220 LUMENS (DOUBLE)



REVISIONS

NO.	DATE	DESCRIPTION

SITE PLAN
LANDSCAPE & LIGHTING PLAN
FOR
BCH REALTY, LLC
LOCATED IN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

40 20 0 GRAPHIC SCALE 40 80 120

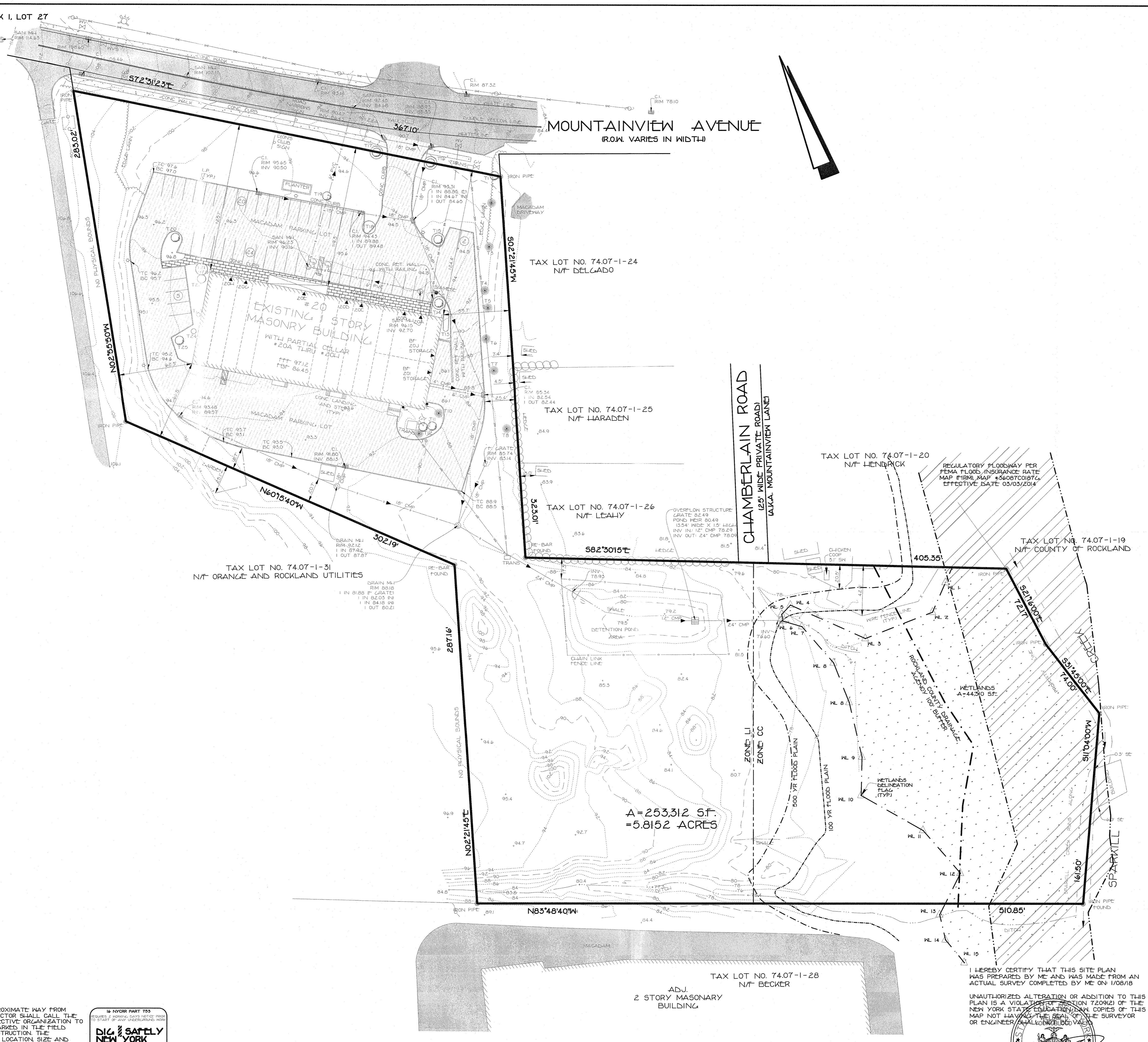
SPARACO & YOUNGBLOOD, PLLC
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SPARACO.STEVE@SELSNY.COM WYLS1@GMAIL.COM

SP-4042
DATE: JAN. 28, 2020
SCALE: 1" = 40'
SHEET: 3 OF 5



TAX LOT: SECTION 74.07, BLOCK I, LOT 27

- DEED REFERENCES:**
 L. 841 / P. 724
 L. 1073 / P. 8
 L. 738 / P. 1155
 L. 610 / P. 242
 L. 515 / P. 512
 L. 1077 / P. 962
 L. 511 / P. 16
 L. 1003 / P. 857
 L. 876 / P. 155
 L. 981 / P. 1065
 L. 500 / P. 516
 L. 383 / P. 8



TREE LIST		
NO.	DIA.	SPECIES
T1	26"	OAK
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T20	18"	OAK
T21	10"	JUNIPER BUSH
T22	7"	JUNIPER BUSH
T23	5"	JUNIPER BUSH
T24	4"	JUNIPER BUSH
T25	20"	OAK

REVISIONS	
REV: ADDITIONAL PARKING	
-10/21/19	

EXISTING CONDITIONS
 FOR
BCH REALTY, LLC
 LOCATED IN
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK
 GRAPHIC SCALE: 1" = 40'

SPARACO & YOUNGBLOOD, PLLC
 CIVIL ENGINEERING * LAND SURVEYING
 SITE PLANNING
 18 NORTH MAIN STREET
 P.O. BOX 518
 HARRIMAN, N.Y. 10926
 TEL: (845) 782-5543
 FAX: (845) 782-5901
 SPARACO.STEVE@SELSNY.COM WYLS1@GMAIL.COM

FILE # SP-4042
 DATE JAN. 28, 2020
 SCALE 1" = 40'
 DWS 4 OF 5

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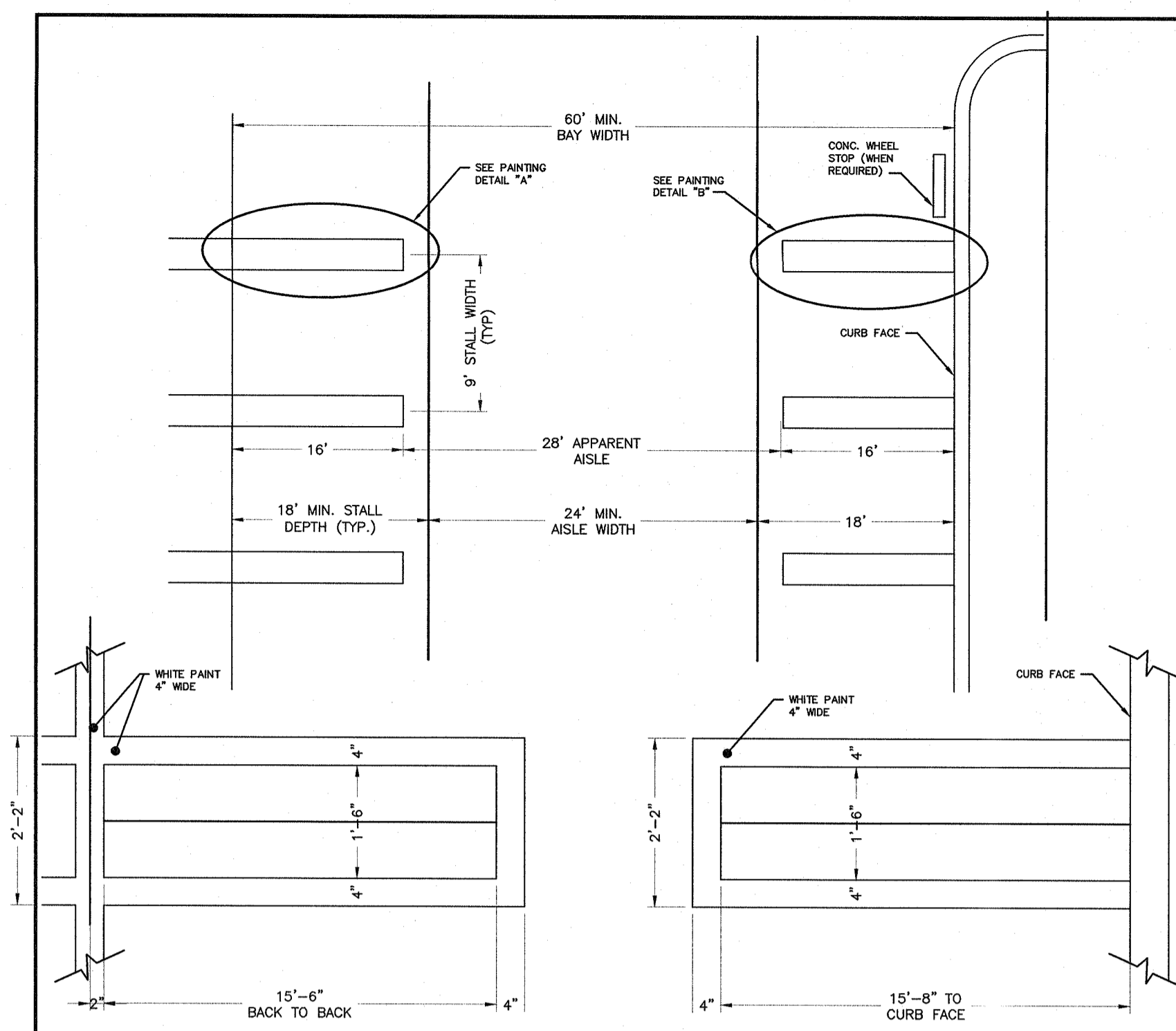
18 NYCRR PART 253
 REGULATION OF SURVEYING, 253.20 (b)(2) (iii)
 TO OBTAIN AN ACTING UNDERGROUND MARKING

DIC SAFETY NEW YORK
 1-800-962-7962

I HEREBY CERTIFY THAT THIS SITE PLAN WAS PREPARED BY ME AND WAS MADE FROM AN ACTUAL SURVEY COMPLETED BY ME ON 1/08/18

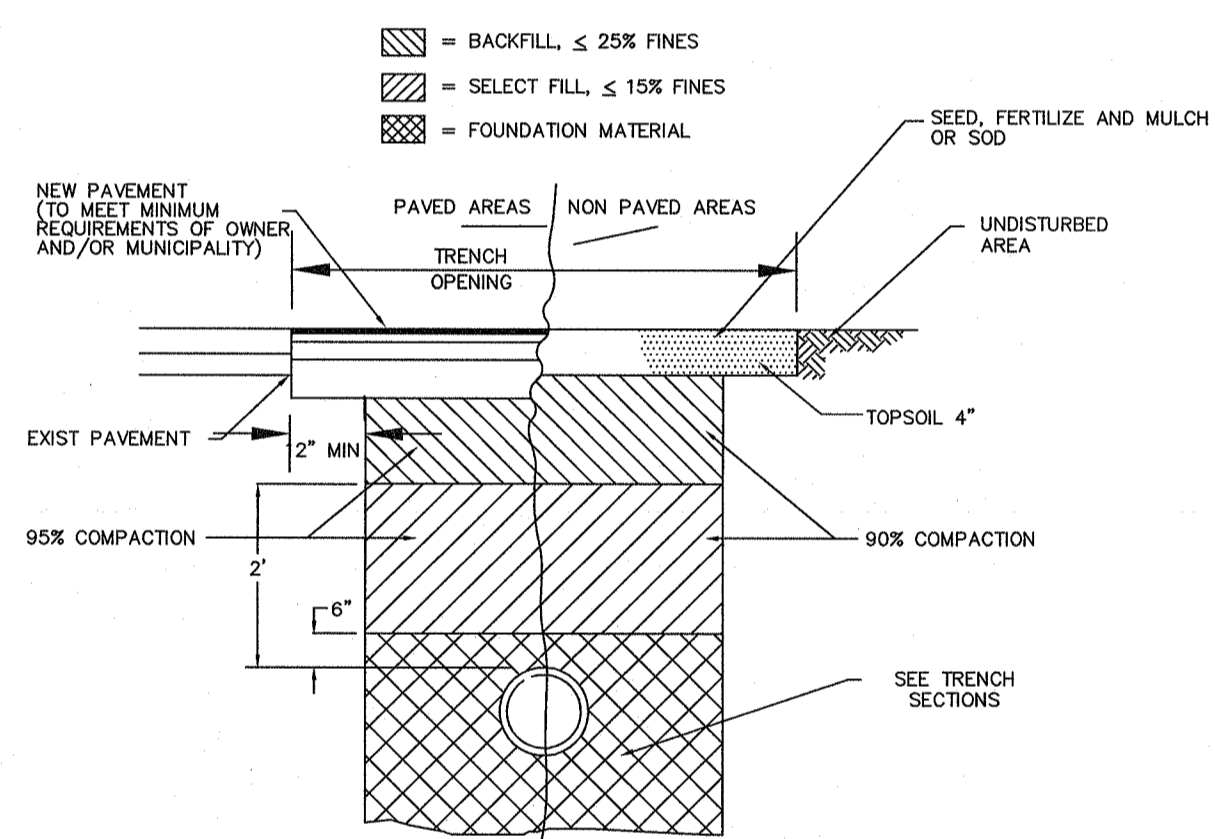
UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 2209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL BE VOID AND INVALID.

WILLIAM D. YOUNGBLOOD, L.S. 00466

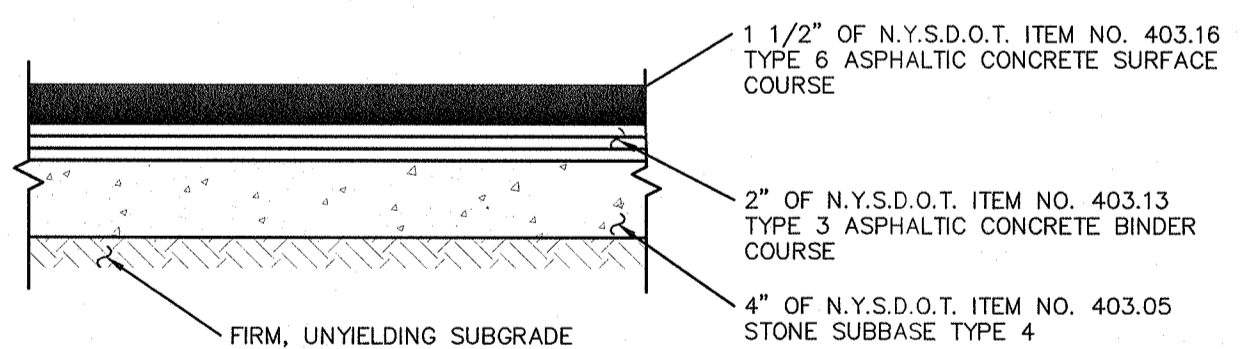


DETAIL "A"
PARKING AND STRIPING DETAIL
N.T.S.

DETAIL "B"
N.T.S.

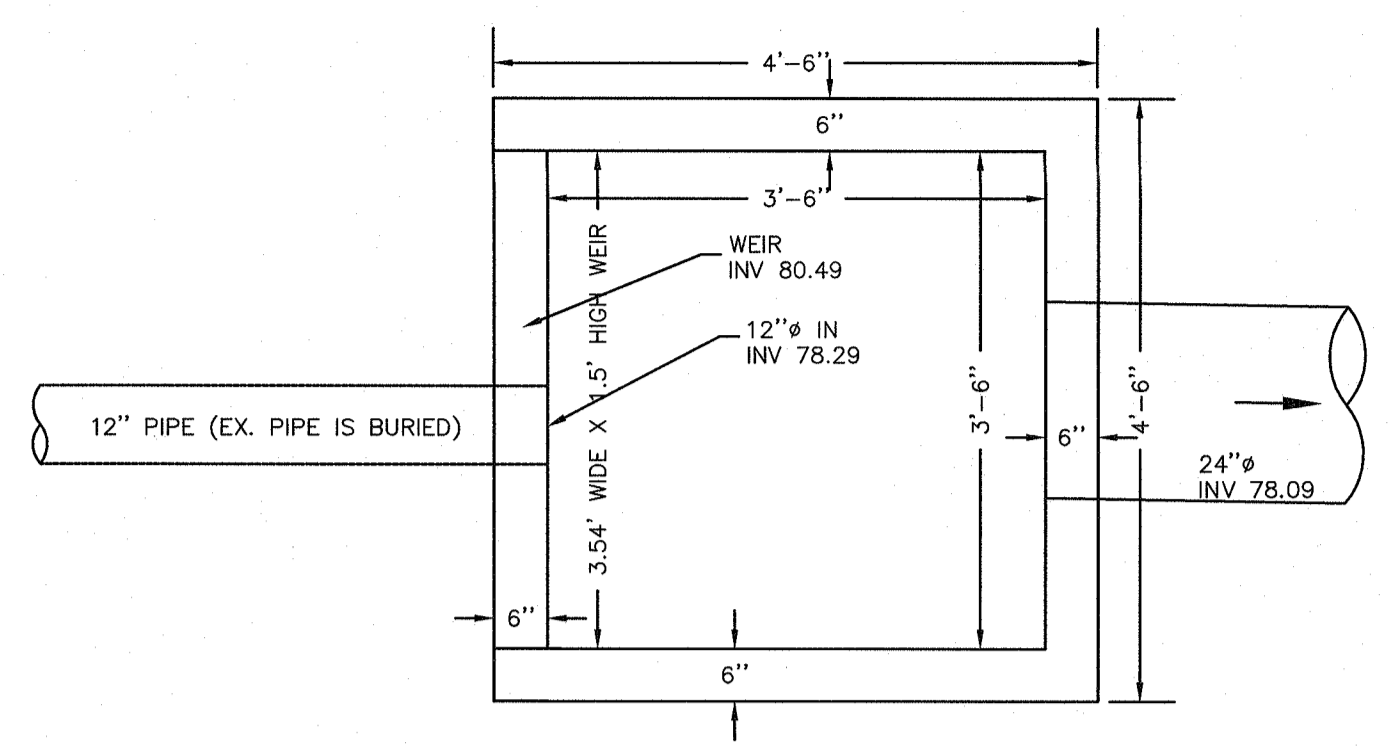


PIPE TRENCH BACKFILL DETAIL
N.T.S.

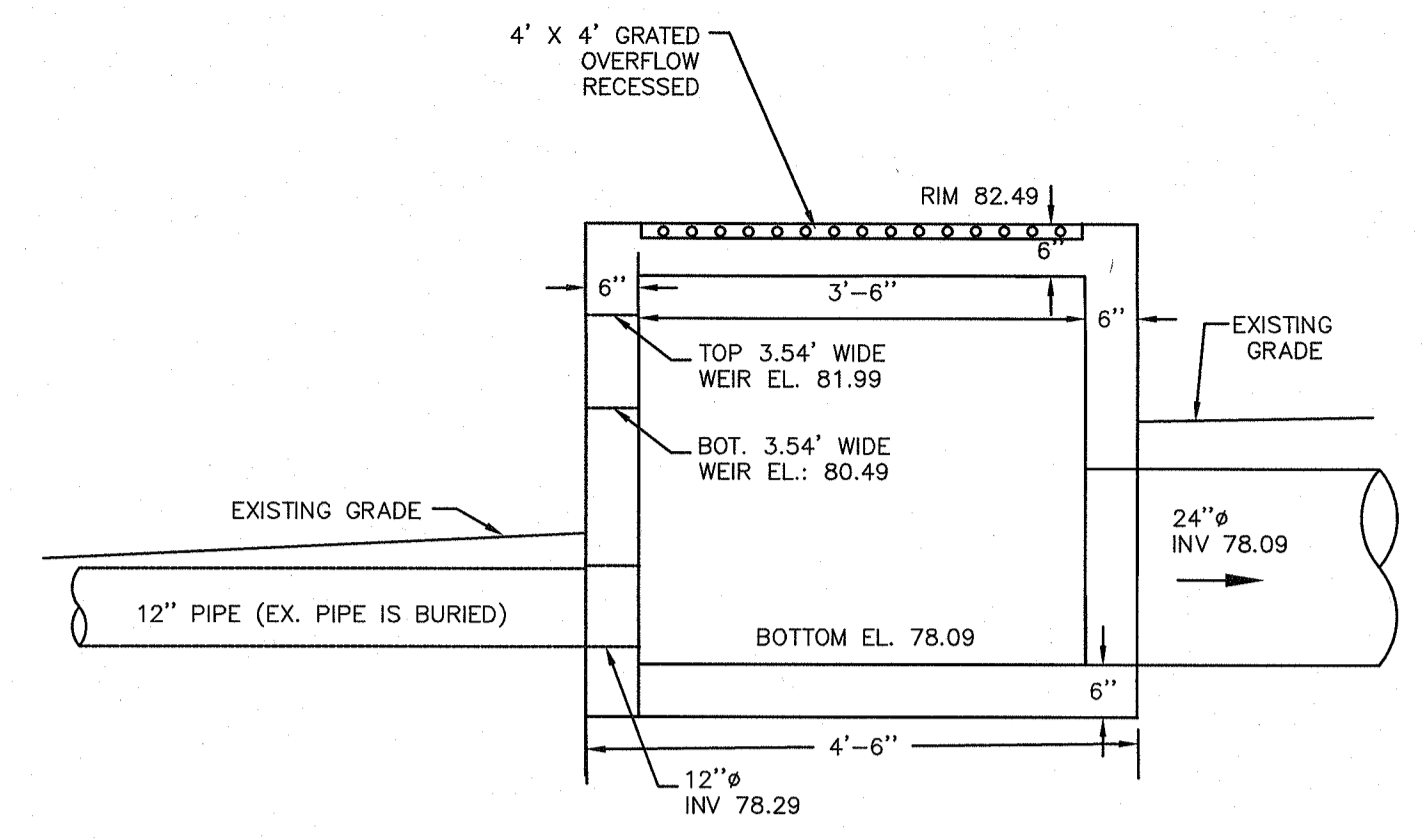


NOTES:
THIS SECTION TO BE UTILIZED AT PARKING LOTS FOR PASSENGER CAR PARKING AND AISLES ONLY. NOT FOR USE AT ROADS, DRIVEWAYS OR LOADING ZONES.

PAVEMENT SECTION: PARKING LOT
N.T.S.

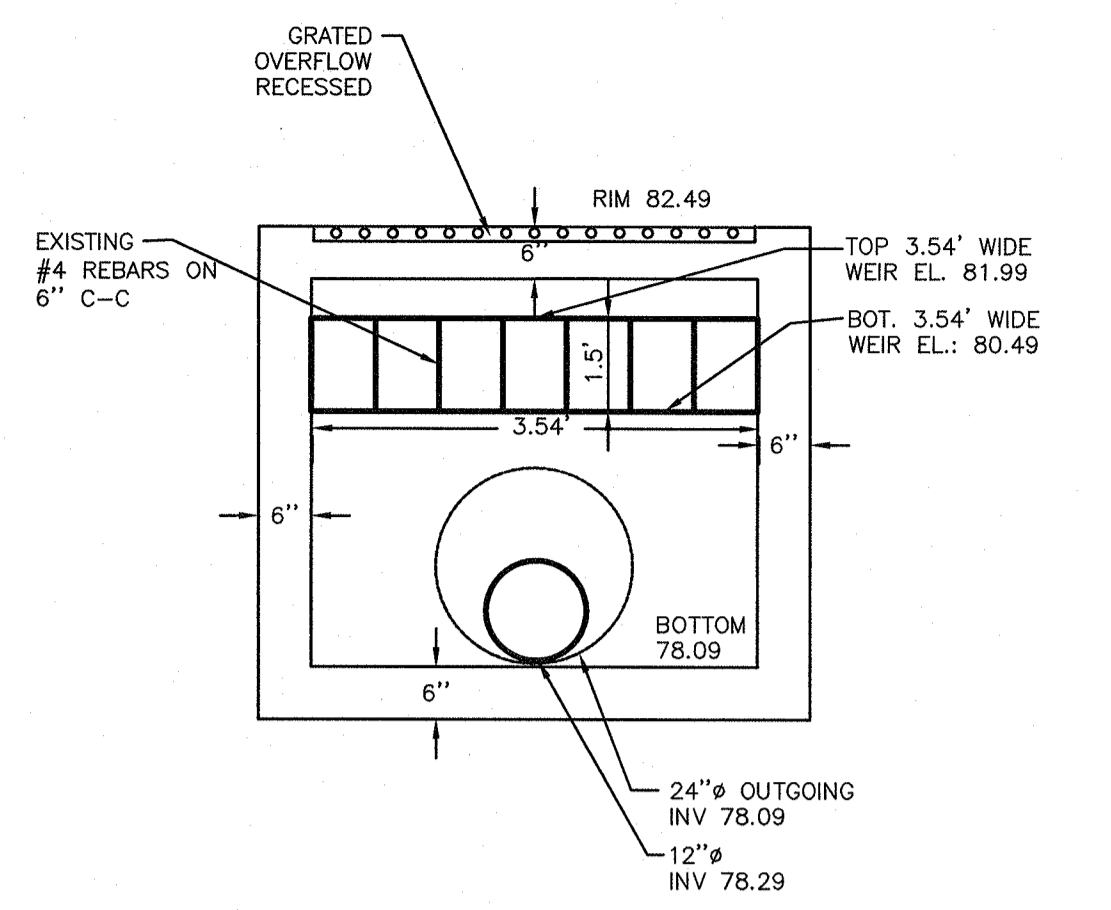


PLAN VIEW

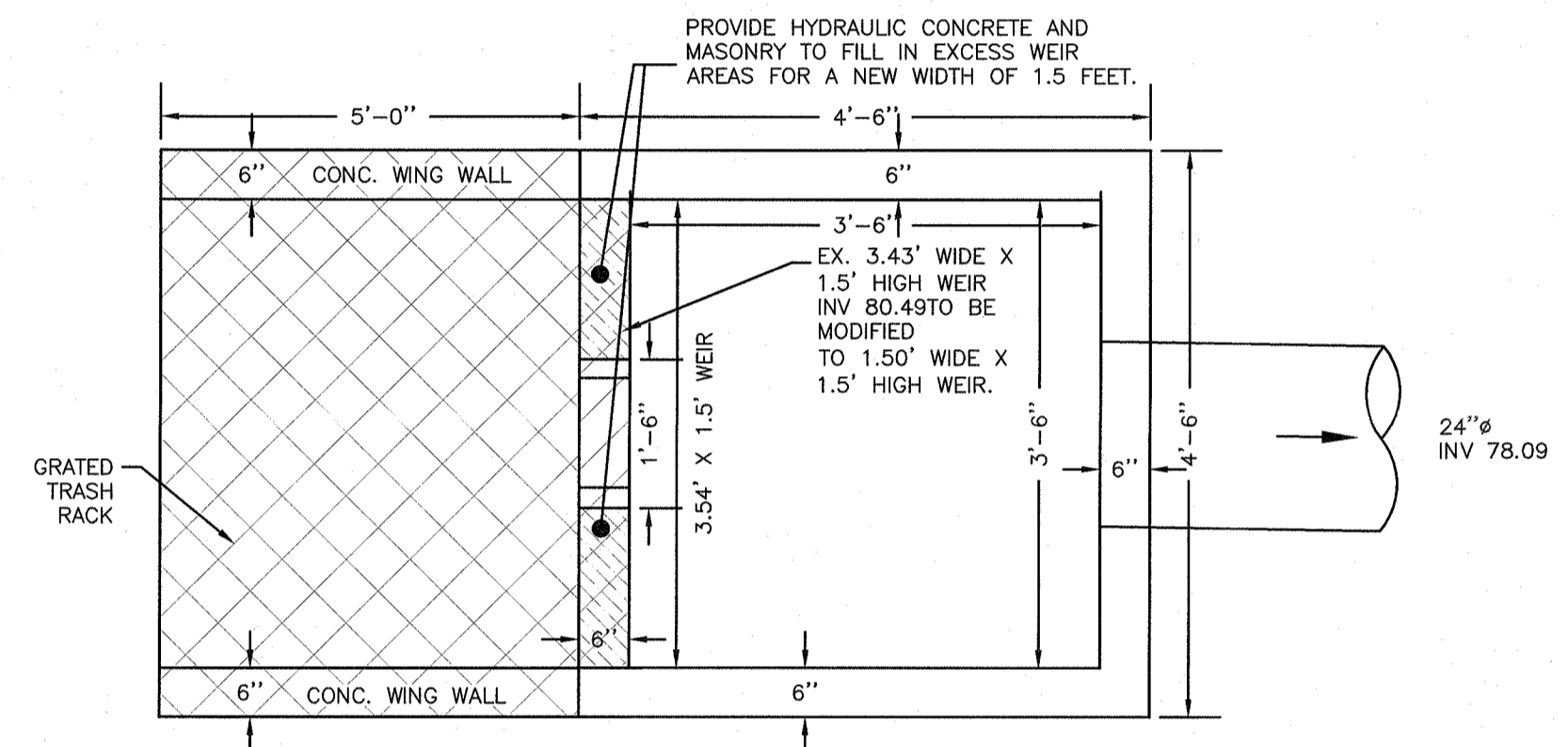


PROFILE VIEW

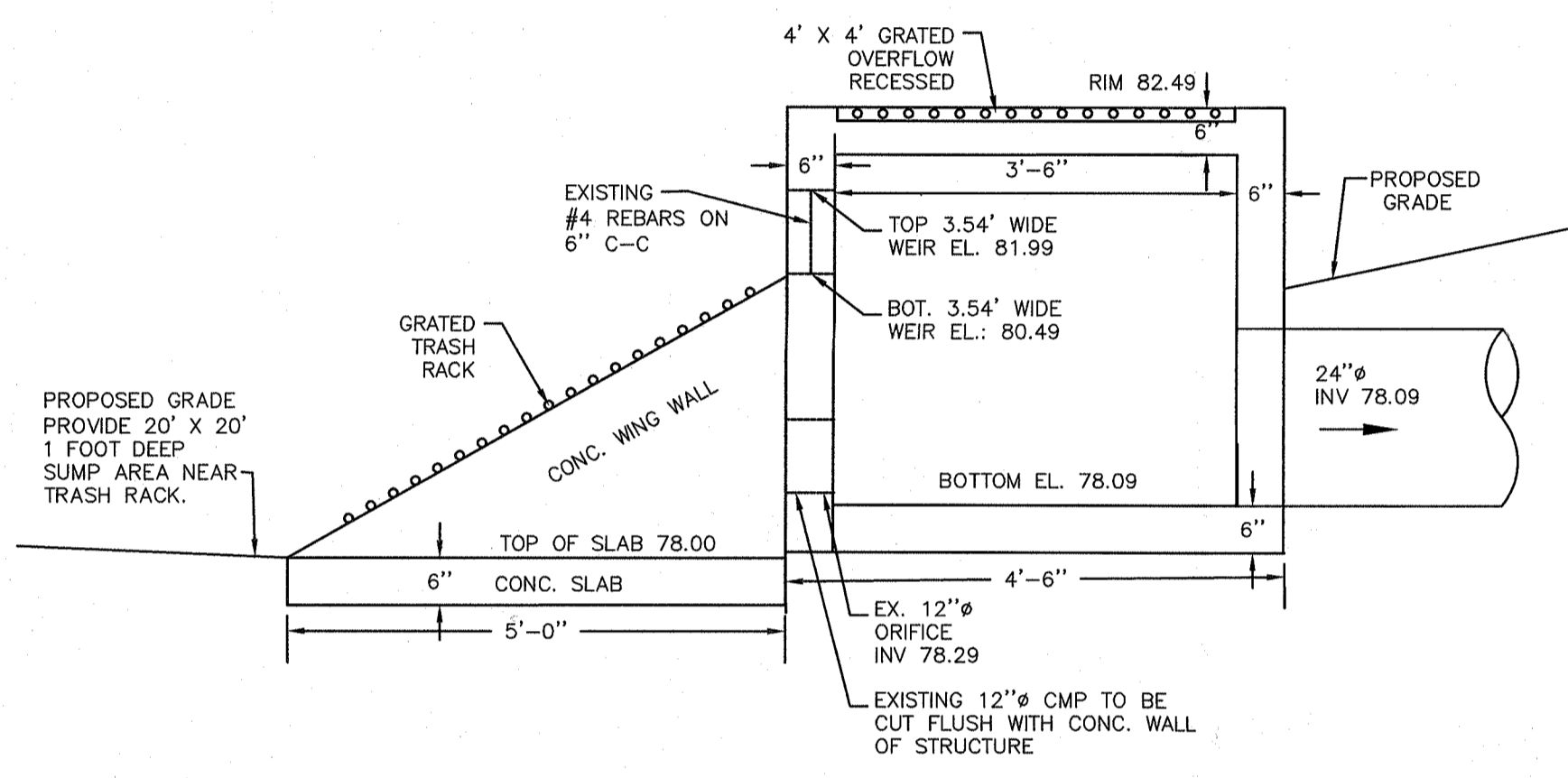
EXISTING DETENTION SYSTEM INLET/OUTLET STRUCTURE DETAIL
N.T.S.



X-SECT VIEW

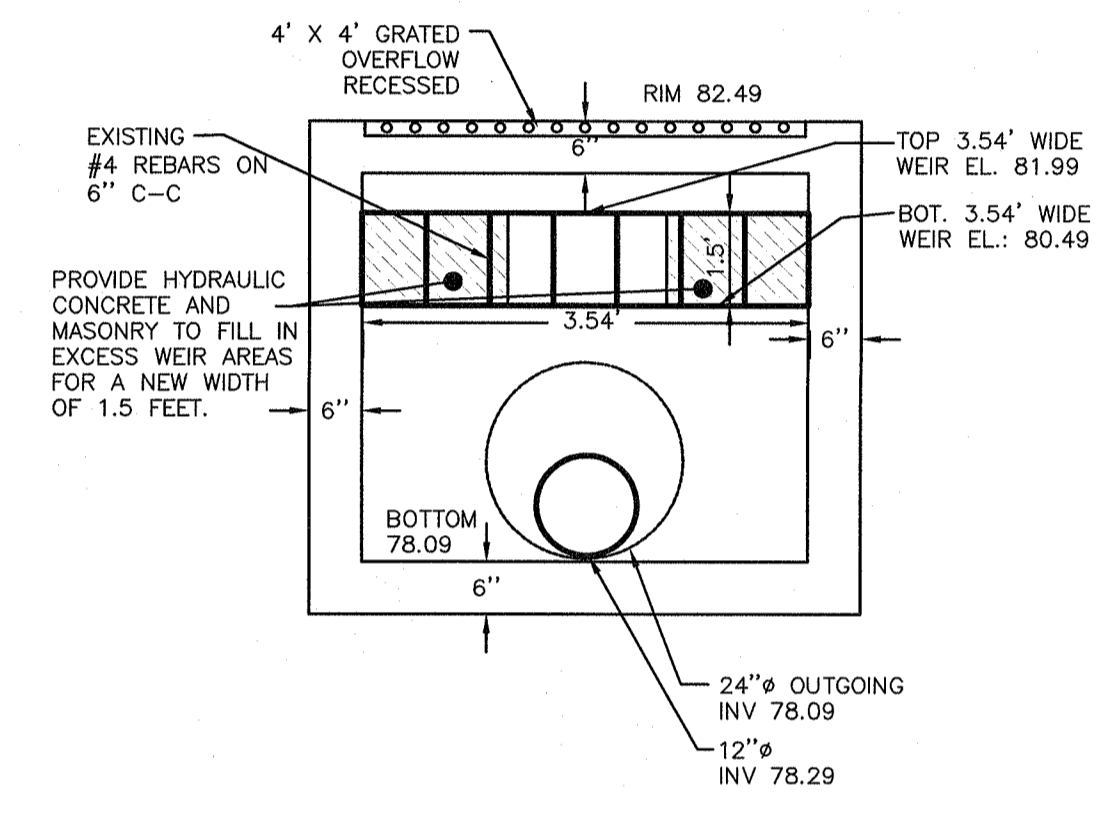


PLAN VIEW



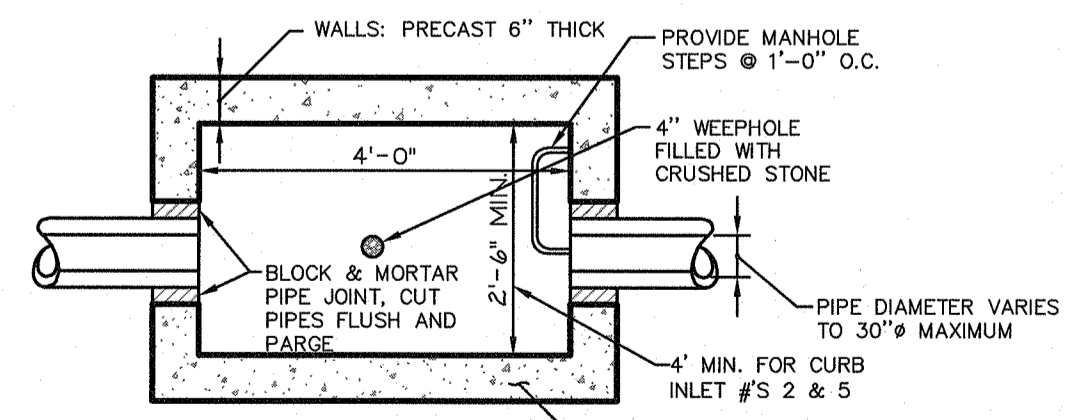
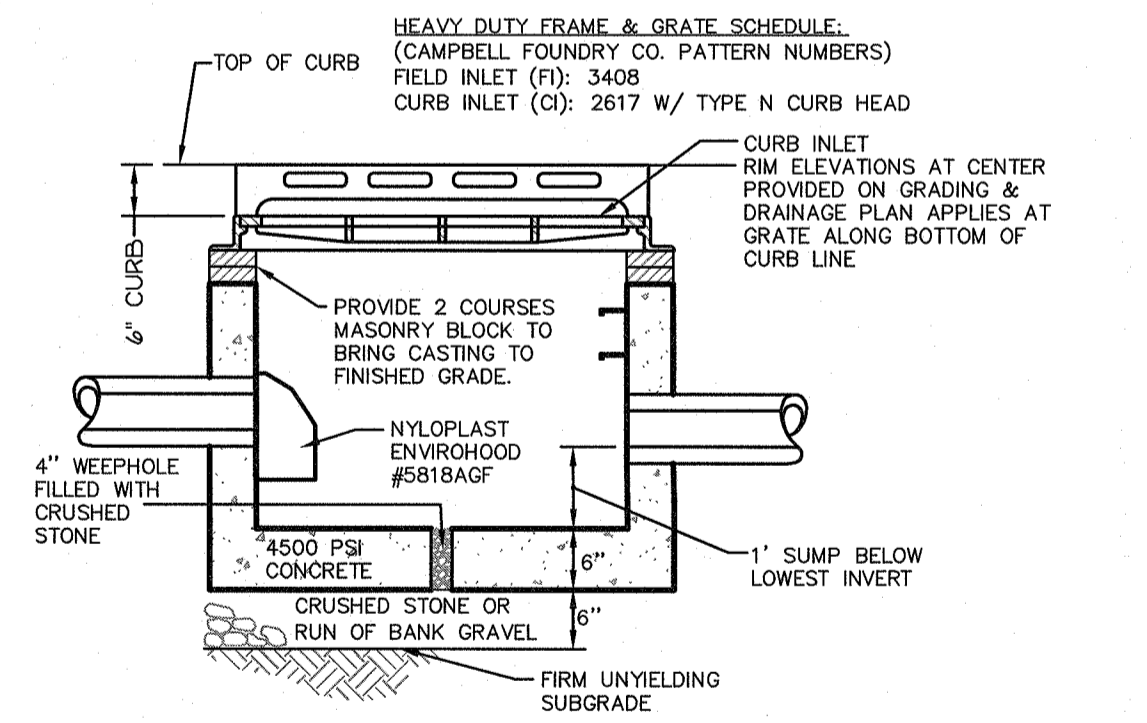
PROFILE VIEW

PROPOSED DETENTION SYSTEM INLET/OUTLET STRUCTURE DETAIL
N.T.S.



X-SECT VIEW

NOTES:
CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ANY CHANGES TO DESIGN ENGINEER FOR APPROVAL BEFORE MANUFACTURING/MODIFICATIONS.



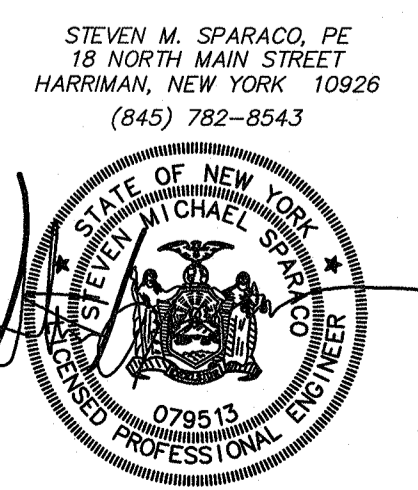
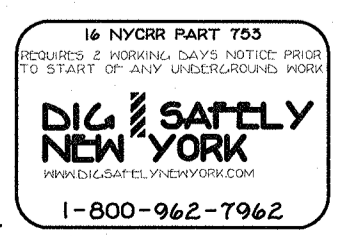
NOTES:
1. CURB SHALL BE CAST IN PLACE.
2. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT TEN FOOT INTERVALS, TO FULL DEPTH OF CURB.
3. UNDERDRAIN MAY BE ELIMINATED IN PARKING LOTS AND OTHER NON-PUBLIC FACILITIES.

CURB DETAIL: CONCRETE
N.T.S.

NOTES:
1. SLOPE CASTINGS TO MATCH SLOPE OF FINISHED PAVEMENT GRADE.
2. MINIMUM STRENGTH CONCRETE 4500 PSI WALL THICKNESS 6" WITH ADEQUATE STEEL REINFORCEMENT TO WITHSTAND H20 HIGHWAY LOAD AND SOIL LOADS.

CATCH BASIN, CURB INLET (CI) WITH TYPE N HEAD & FIELD INLET (FI) DETAIL
N.T.S.

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THIS DRAWING SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



REVISIONS	

DETAILS (SHEET 1 OF 1)
FOR
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LOCATED IN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

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FILE #	SP-4042
DATE	JAN. 28, 2020
SCALE	AS NOTED
DWS	5 OF 5