

**May 27, 2020 Board Items:**

**New Items:**

**PB #20-16: BCH Realty, LLC Site Plan**

Prepreliminary/Preliminary Site Plan and SEQRA Review

20 Mountainview Avenue, Orangeburg, 74.07/1/27; LI & CC zoning districts

**PB #20-17: Lane Resubdivision Plan**

Prepreliminary/Preliminary/Final Subdivision Plan and SEQRA Review

125 Park Avenue, Palisades, 77.20/2/76, 77 & 78; R-15 zoning district

**PB#20-18: Orange Bank & Trust Site Plan & Monument Location**

Prepreliminary/Preliminary/Final Site Plan and SEQRA Review

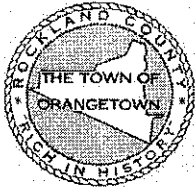
374 South Middletown Road, Nanuet, 64.17/1/78; CO zoning district

**PB#20-19: Onyx Management/ Amazon Delivery Center Plans**

Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review

200 & 400 Oritani Drive & 877 Western Highway, Blauvelt, 65.18/1/1 & 22 and 70.06/1/1.12; LO zoning district

Dated: May 15, 2020



**OFFICE OF BUILDING, ZONING, PLANNING  
ADMINISTRATION AND ENFORCEMENT**  
TOWN OF ORANGETOWN  
20 GREENBUSH ROAD  
ORANGETOWN, N.Y. 10962

**Jane Slavin, RA**  
**Director**

**(845) 359-8410**

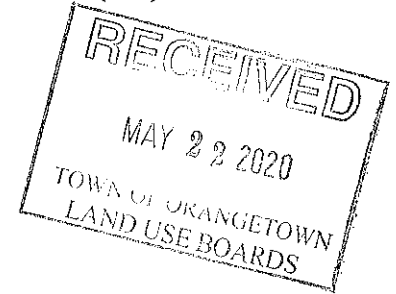
**Fax: (845) 359-8526**

**Date:** May 18, 2020

**To:** Cheryl Coopersmith, Chief Clerk  
Planning Board

**From:** Jane Slavin, RA.,  
Director O.B.Z.P.A.E.

**Subject:** **BCH Realty, LLC Site Plan**  
Prepreliminary/Preliminary Site Plan  
and SEQRA Review  
20 Mountainview Avenue, Orangeburg  
74.07/1/27; LI & CC zoning districts



**PB #20-16**

**Submission Reviewed:**

Proposed site plan for BCH Realty, LLC, as prepared by Sparaco & Youngblood, PLLC  
Dated January 28, 2020.

The applicant is proposing to take over the adjacent tenant space to expand an existing restaurant and expand the existing parking lot. The use is an existing non-conforming use in the LI district.

- 1) The applicant must make application to the Zoning Board of Appeals per Chapter 43, Article IX, section 9.34 Extension or enlargement. *A nonconforming use shall not be extended except as follows: To the extent the district bulk regulations permit, and on application of the Board of Appeals, any use, except a sign, first permitted by right or by special permit, in any district, may be extended up to but not exceeding an aggregate increase of 50% in its floor area or of its land area occupancy if a nonbuilding use. However, this provision may be used only once for each such use.*
- 2) Applicant proposes parking in the front yard; 50' required with 11.4' proposed, side yard; 50' required and +/-4.6' proposed, and rear yard; 50' required and 18.7' proposed. Per Chapter 43, Table 3.11, LI District, Column 7, number 8, *No parking is permitted in any required yard, unless permitted by any board or town agency having jurisdiction. This permission may be granted at the time of site review or as the time of the approval of a commercial subdivision.*

- 3) Per Chapter 43, Article IV, section 6.34, Size of spaces, *a parking space shall be considered a space nine feet wide and 18 long*. The 10 proposed spaces in the rear of the property are indicated at 8' in width. This must be revised to 9'.
- 4) All existing overhead door locations shall be shown. There are currently four (4) loading berth areas, is the intent to eliminate them?
- 5) The basement area must be provided and included in the calculations.
- 6) Plans indicate, "retaining wall as designed by others." Engineering drawings, details and specifications must be provided for the proposed retaining wall, which ranges in height from 2.5 feet to 7.5 feet.
- 7) ACABOR review and approval is required.
- 8) The SEAF appears to be in order.

JS  
5/18/2020



## Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangeburg New York 10962  
Tel: (845) 359-6502 • Fax: (845) 359-6951

March 23, 2020

Planning Board  
Town of Orangetown  
1 Greenbush Road  
Orangeburg, New York 10962  
Attn: Cheryl Coopersmith, Chief Clerk

**Re: BCH Realty LLC – Concaro, LLC Parking Site Plan**

**PB# 20-14**

Gentlemen:

This Department has the following comments/ recommendations.

1. The total area of disturbance (a.o.d.) shall be listed and shown graphically on the plans, as well as mentioned (in table form) in the introductory narrative of the drainage calculations. A full SWPPP MAY be required if a.o.d. is over 1 acre. The a.o.d. shall include all proposed work (e.g. new parking area, utility installation, retaining wall construction, modification to existing detention basin and outlet structure, installation of pretreatment facilities, installation of construction access path to detention basin, etc. – all of this shall be listed in tabular form in drainage calculations.)

2. The drainage calculations supplied are under review. Labeled separation tabs shall be added to the drainage calculations. The calculations supplied mention “pretreatment” oil/ water separators, but their location and total number to be installed is not shown on the drawings. This shall be corrected. Details for said oil/ water separators shall be added to the plans.

3. Additional drainage facilities (catch basins and possible increased drainage pipe size) shall be added to collect the stormwater runoff from the new paved/ parking areas. The drainage calculations shall include an analysis of the existing stormwater infrastructure piping and its capacity to accept (or not accept) the proposed increase in flow from the new parking areas.

4. A proposed drainage plan shall be added to the drawing set. It shall show all existing and proposed stormwater facilities (with top and invert elevations.) Also, pre and post construction cross sections through the existing stormwater basin, shall be added to the plans.

5. A stabilized, permanent construction/ maintenance access path to the existing detention basin shall be shown including a stabilized maintenance path (12 foot minimum width) around the basin to reach the outlet structure, emergency spillway (see our comment #7 below) with erosion control around it. This disturbance shall be added to the overall a.o.d. and “counted” in the table requested in our comment #1. This path shall also be included in the tabulation of total new impervious area.

6. The proposed grading around the existing detention basin is in error. Proposed grade 82 is “tied” to existing grade 84. This shall be corrected. Also, no revised grade 84 is shown. This too shall be corrected.
7. An emergency spillway shall be added to the detention basin which is to be expanded in capacity. A detail for same shall be added to the drawings.
8. The proposed improvements shall extend where the current fencing is around the detention basin. This shall not only be labeled as to be removed, but also relocated around the new extents of the basin. This shall be clearly shown on the drawings.
9. The detention basin plan and details are hard to identify. A “blow-up” of the upgraded/ modified stormwater basin shall be provided on the drawings. Cross-sections, storage volume vs. elevation vs design storm, outlet structure details (with elevations), underdrain details, profiles with elevations, outlet pipe details, 12 foot wide maintenance path (that reaches the forebay/ main pool/outlet structure/ emergency spillway), permanent sediment depth marker with detail, plantings (if utilized for water quality control), emergency overflow spillway with elevations, etc. shall also be provided in the blow-up section and on the drawings.
10. The design of the proposed retaining wall shall be included with the drawings.
11. Profiles for all existing and proposed drainage piping and the upgraded/ modified stormwater basin shall be provided on the drawings.
12. The New York State Department of Environmental Conservation’s number for the Sparkill Creek, as well as its classification, shall be given on the plans.
13. A post construction stormwater maintenance agreement (in accordance with NYSDEC Phase II regulations) for the proposed stormwater systems (catch basins, oil/ water separators, piping, detention basin, etc.) shall be submitted to this Department and the Town Attorney’s office for review and approval. Said agreement shall include a maintenance and management schedule, inspection check list, contact person with telephone number, yearly report to be submitted to this Department, etc.
15. The soil erosion and sediment control plans and details are under review. However, a construction entrance shall be added to the site plan/ SESC plan to access the detention basin.
16. The previous supplied drawings had a detail for the proposed stone retaining wall, along Mountainview Avenue, at the entrance to the site. This detail was removed. The detail shall be placed back on the drawings.
17. The referenced source benchmark (FEMA mon. 230 – note #5, drawing #1) shall be shown on the plans.

18. All existing and proposed easements and dedications shall be shown on the plan, including page and liber or instrument number, intent/ purpose and ownership.

19. Copies of all correspondence (including any and all approvals) with the New York State Department of Environmental Conservation, U.S. Army Corps. of Engineers, the Rockland County Drainage Agency, etc., in connection with this proposed site plan, shall be supplied to the Planning Board and this Department, as they are received.

Very truly yours,



cc: Highway File  
Sewer File



# BROOKER ENGINEERING, PLLC

**NY OFFICE**  
74 Lafayette Avenue  
Suite 501  
Suffern, NY 10901

845.357.4411 Tel.  
845.357.1896 Fax

**NJ OFFICE**  
22 Paris Avenue  
Suite 105  
Rockleigh, NJ 07647

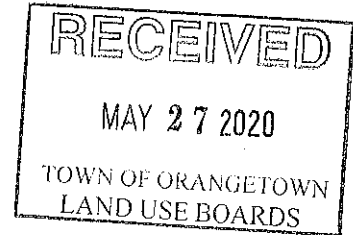
201.750.3527 Tel.

May 27, 2020

Town of Orangetown Planning Board  
20 Greenbush Road  
Orangeburg, New York 10962

Attn: Cheryl Coopersmith, Chief Clerk

Re: BCH Realty Site Plan (tax lots 74.07-1-27)  
Planning Board Drainage Review (For 05/27/2020 Planning Board meeting)  
BBE #OTN0076



Dear Ms. Coopersmith:

As the drainage consultant for the Town of Orangetown Planning Board, we have prepared the following report in support of the BCH Realty Site Plan application to the Town of Orangetown Planning Board:

### Information Reviewed

1. "Site Plan for BCH Realty, LLC", prepared by Sparaco & Youngblood, PLLC, dated January 28, 2020  
Drawings 1-5, signed and sealed by Steven Michael Sparaco, PE
2. "Drainage Report", dated January 28, 2020, prepared by Sparaco & Youngblood, PLLC, signed and sealed by Steven Michael Sparaco, PE
3. Project Application dated August 29, 2018

### Project Description

This is our third drainage review report for this project; our last review was dated January 16, 2019. The property is located at the south side of Mountainview Avenue, approximately 330 feet west of Route 303. There is an existing commercial building in the front of the site. The outdoor storage area previously proposed has been removed from the application. The application currently proposes an expansion of the parking areas in the front and west wide of the building, resulting in an increase of approximately 0.34 acres of new impervious area. Increases in stormwater runoff from the new impervious surface will be directed to the existing stormwater maintenance facility, which will be enlarged as part of the application.

Portions of the Sparkill Creek floodplain are located on the east side of the parcel. No work is proposed in the floodplain or area regulated by the Rockland County Drainage Agency.

### Project Comments

1. Maintenance schedule and responsibilities of the stormwater management basin should be clearly stated on the site plans.
2. The spillway weir at elevation 80.49 has an unobstructed depth of 18 inches; the weir calculations should be adjusted to include the obstruction.
3. Provide a section through the pond with side slopes, outlet structure, and 100-year floodplain.
4. Provide a detail of the emergency overflow weir.

LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • WATER RESOURCES • LAND SURVEYING

Brian Brooker, P.E.	Eve Mancuso, P.E., C.M.E.	Ken DeGennaro, P.E., C.F.M.	Stuart Strow, P.E., C.F.M.
Anthony Riggi, P.E.	Dennis Rocks, P.E., C.F.M.	John Bezuyen, P.L.S.	Hillary Chadwick, P.E. Joseph J. Moran, P.E.
Vincent Kane, P.E.	Nestor Celiz, P.E.	Benjamin Levitz, P.E.	Joseph Nyitray, P.E.

**Drainage Review Recommendation**

The application has provided sufficient information to demonstrate that potential significant adverse impacts with respect to drainage will be mitigated by modifying the existing basin. We therefore recommend that the BCH Realty Site Plan be approved for drainage subject to the above Project Comments.

Very truly yours,



**BROOKER ENGINEERING, P.L.L.C.**

Kenneth DeGennaro, P.E.

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## Planning Board Review Summary

### Project Data

Job Name	Owner	Address	Tax Lot Number
BCH Realty Site Plan	BCH Realty	20 Mountainview Avenue	74.07-1-27
Job Description:		Planning Board No.	BBE Number
Construct parking lot expansion for an existing commercial building.		N/A	OTN0076

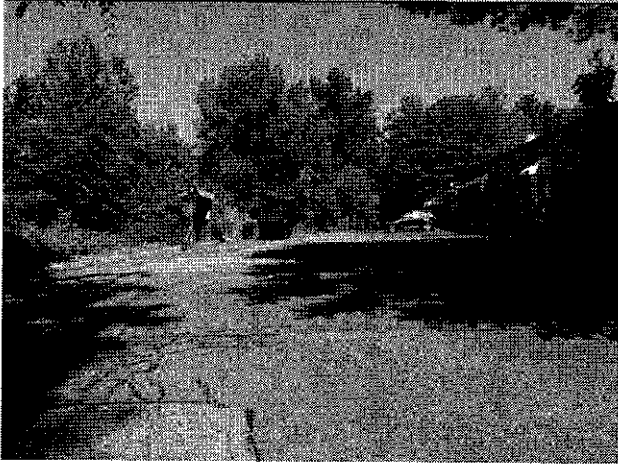
### Planning Board Data

Date of:				Drainage:		
PB meeting	Site Plans	Drainage Calcs.	BBE Review Letter	Approved	Not Approved	Approved w/ Conditions
07/27/2016	10/27/2014	None	07/03/2016		X	
01/22/2019	11/15/2018	11/15/2018	01/16/2019			X
05/27/2020	01/28/2020	01/28/2020	05/27/2020			X

### Construction Data

Area of Disturbance:	<1.0 acres
Erosion Control Plan Required:	Yes
SWPPP Required:	No
Post Construction Stormwater Quantity Required:	Yes
Post Construction Stormwater Quality Required:	No
Description of Required Stormwater Management:	Expand existing basin; modify outlet structure.

### Photographs



Description: Standing behind existing building, looking west at existing parking area to be restriped.

Date: 07/06/2016



Description: Standing southeast corner of the existing parking lot, looking south at local ponding area uphill of wetlands.

Date: 07/06/2016



Description: Standing near existing detention facility, looking northeast.

Date: 07/06/2016



Description: Standing in middle of site (south of Chamberlain Road ROW) looking east towards Route 303.

Date: 07/06/2016



Description: Standing near existing detention facility, looking northeast.

Date: 1/16/2019



Description: Standing near existing detention facility, looking east.

Date: 01/16/2019

**DEPARTMENT OF PLANNING**

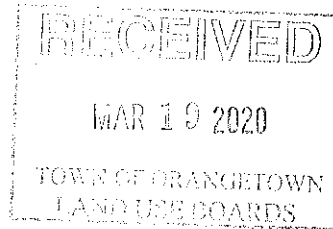
Dr. Robert L. Yeager Health Center  
50 Sanatorium Road, Building T  
Pomona, New York 10970  
Phone: (845) 364-3434 Fax: (845) 364-3435

**Douglas J. Schuetz**  
Acting Commissioner

**Arlene R. Miller**  
Deputy Commissioner

March 10, 2020

Orangetown Planning Board  
21 Greenbush Road  
Orangeburg, NY 10962



**Tax Data:** 74.07-1-27

**Re: GENERAL MUNICIPAL LAW REVIEW:** Section 239 L and M

**Map Date:** 1/28/2020

**Date Review Received:** 2/14/2020

**Item:** *BCH REALTY LLC - CONCARO, LLC (O-1231K)*

Site plan for the expansion of a parking lot at an existing commercial center located on 5.815 acres in the LI and CC zoning districts.

Southern side of Mountainview Avenue, approximately 370 feet west of NYS Route 303

**Reason for Referral:**

South Greenbush Road (CR 11), Western Highway (CR 15), NYS Route 303, Sparkill Creek, Clausland Mountain Park, federal wetlands

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

***\*Recommend the following modifications***

- 1 A review must be completed by the County of Rockland Drainage Agency, and any required permits obtained.
- 2 A review must be completed by the County of Rockland Department of Health, any comment or concerns addressed, and any required permits obtained.
- 3 The lighting plan must demonstrate that the intensity of the candle lumens is less than 0.1 at the property line, specifically along the northwestern edge of the site.
- 4 Retaining walls that are over four (4) feet in vertical height shall be designed by a licensed New York State Professional Engineer and be in compliance with the NYS Fire Prevention and Building Code. Design plans shall be signed and sealed by the licensed NYS Professional Engineer.
- 5 Prior to the start of construction or grading, all soil and erosion control measures must be in place for the site. These measures must meet the latest edition (November 2016) of the New York State Guidelines for Urban Erosion and Sediment Control.
- 6 There shall be no net increase in the peak rate of discharge from the site at all design points.

**BCH REALTY LLC - CONCARO, LLC (O-1231K)**

  
\_\_\_\_\_  
Douglas J. Schuetz  
Acting Commissioner of Planning

cc: Supervisor Teresa Kenny, Orangetown  
New York State Department of Transportation  
Rockland County Department of Health  
Rockland County Department of Highways  
Rockland County Drainage Agency  
Rockland County Division of Environmental Resources  
United States Army Corps of Engineers  
  
Sparco & Youngblood, PLLC

*\*NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

*The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.*

*In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.*

*Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.*

*Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.*



# Rockland County

HEALTH

**CENTER FOR ENVIRONMENTAL HEALTH**

Dr. Robert L. Yeager Health Center  
50 Sanatorium Road, Building D  
Pomona, New York 10970  
Phone: (845) 364-2608 Fax: (845) 364-2025



Public Health  
Prevent. Promote. Protect.

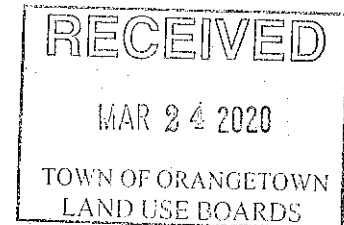
**EDWIN J. DAY**  
County Executive

**PATRICIA S. RUPPERT, DO, MPH, CPE, DABFM, FAAFP**  
Commissioner of Health

**SAMUEL RULLI, PE**  
Director, Environmental Health

March 16, 2020

Ms. Cheryl Coopersmith  
Town of Orangetown Planning Board  
20 Greenbush Road  
Orangetown, NY 10962



Re: BCH Realty LLC-Concaro, LLC  
Site Plan Review  
Tax lot 74.07-1-27

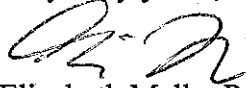
Dear Ms. Coopersmith:

We have received a Notification of Intent to Act as Lead Agency, a Short Environmental Assessment Form (EAF), other supporting documentation and plans as prepared by Sparaco & Youngblood, PLLC dated January 28, 2020, for the above referenced project. This office has no objection to the Town of Orangetown Planning Board acting as Lead Agency for this project. Other comments are as follows:

1. The applicant is to contact this department to discuss what, if any amendments to the existing food permit for the restaurant are required. Jeanne Longo can be reached at (845) 364-2601.
2. Should the Board require amendments/additions to the existing stormwater management system to remediate the increase in impervious surface, application is to be made to the RCDOH for review of the system for compliance with the County Mosquito Code.

If you have any questions regarding this matter, do not hesitate to call.

Very truly yours,



Elizabeth Mello, P.E.  
Senior Public Health Engineer  
(845) 364-2616

cc: Arlene Miller, Rockland County Department of Planning  
Sparaco & Youngblood, PLLC  
Jeanne Longo, RCDOH (via email)



# Rockland County

Ed Day, Rockland County Executive

## ROCKLAND COUNTY SEWER DISTRICT NO. 1

4 Route 340  
Orangeburg, New York 10962  
Phone: (845) 365-6111 Fax: (845) 365-6686  
RCSD@co.rockland.ny.us

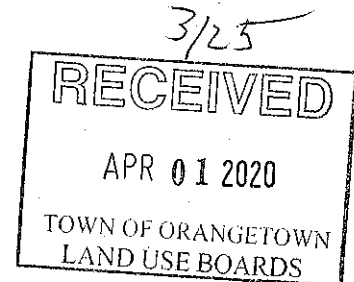
**George Hoehmann**  
*Chairman*

**Michael R. Saber, P.E.**  
*Assistant Director/Acting Executive Director*

March 19, 2020

Ms. Cheryl Coopersmith  
Town of Orangetown Planning Board  
20 South Greenbush Road  
Orangeburg, NY 10962

Re: BCH Realty LLC-Concaro, LLC  
20 Mountainview Avenue, Orangeburg  
Tax Lot 89/74.07-1-27 (formerly 30-77-748.2/1/1)



Dear Ms. Coopersmith:

Our office has received and reviewed a site plan that was last revised on January 28, 2020, which Sparaco & Youngblood prepared for the above referenced project. We thank you for the opportunity to comment on this application. Our comments are as follows:

1. Rockland County Sewer District No. 1 does not object to the Planning Board serving as lead agency for this review.
2. Rockland County Sewer District No. 1 does not object to the plan as shown. This project does not affect any sanitary sewers within the District. We request no future correspondence for this site.

Please inform us if any developments in this project change to affect the District. If you have any questions, please contact this office at 845-365-6111.

Very truly yours,

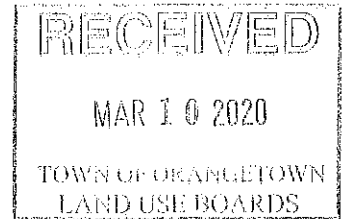
Joseph LaFiandra  
Engineer II

cc: M. Saber  
Helen Kenny-Burrows – Rockland County Department of Planning  
Elizabeth Mello, P.E. – Rockland County Department of Health  
Shajan Thottakara, P.E. – Rockland County Drainage Agency

File: TOO 74.07-1-27 – BCH Realty  
Reader

**Rocklandgov.com**

Town of Orangetown  
**Bureau of Fire Prevention**  
20 Greenbush Road  
Orangeburg, N.Y. 10962  
Ph (845)365-0204\*fax (845)365-0241



March 10, 2020

**BCH REALTY LLC-CONCARO LLC**

1. Locations of fire lanes will include all paved areas other than approved parking spaces shown on site plan and will be stripped and signed per NYS Fire and Town Fire Code.

A handwritten signature in black ink that reads "Michael B Bettmann".

Michael B Bettmann  
Chief Fire Inspector  
Town of Orangetown  
[mbettmann@orangetown.com](mailto:mbettmann@orangetown.com)

**Town of Orangetown Planning Board**  
**Planning Board Meeting: Wednesday, Marh 25, 2020**

**Location: Greenbush Auditorium, 20 South Greenbush Road,  
Orangeburg, New York 10962**

**Project: BCH Realty LLC – Concaro, LLC: Parking Site Plan Review  
(Prior Site Plan Withdrawn PB#16-47)**

**Location:** The site is located at 20 Mountainview Avenue, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.07, Block 1, Lot 27 in the LI & CC zoning districts.

**Response to request that the Town of Orangetown Planning Board  
BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:**

**On behalf of RC Health Dept (involved  
agency), I acknowledge receipt of the Lead Agency Notice in this matter.**

The above named involved agency hereby (please check one):

**CONSENTS** that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

**DOES NOT CONSENT** to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that \_\_\_\_\_ serve as intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

**TAKES NO POSITION** on Lead Agency designation in this matter

Dated: 3/16/20

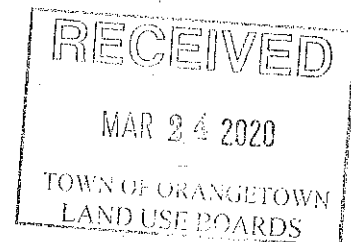
RC Health Dept  
Agency Name

By: [Signature]

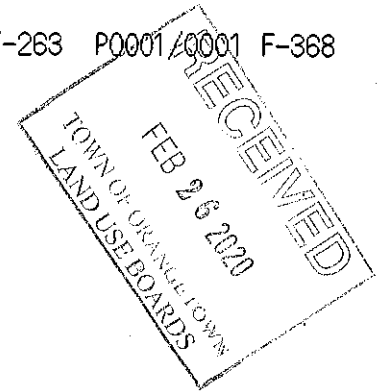
Signature Liz Mello

Printed Name of Signer

Please return within 30 days by  
Fax: (845) 359-8526  
E-mail: ccoopersmith@aol.com







**Town of Orangetown Planning Board  
Planning Board Meeting: Wednesday, Marh 25, 2020**

**Location: Greenbush Auditorium, 20 South Greenbush Road,  
Orangeburg, New York 10962**

**Project: BCH Realty LLC – Concaro, LLC: Parking Site Plan Review  
(Prior Site Plan Withdrawn PB#16-47)**

**Location: The site is located at 20 Mountainview Avenue, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.07, Block 1, Lot 27 in the LI & CC zoning districts.**

**Response to request that the Town of Orangetown Planning Board  
BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:**

**On behalf of Rockland County Planning Dept (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.**

**The above named involved agency hereby (please check one):**

**CONSENTS** that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

**DOES NOT CONSENT** to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that \_\_\_\_\_ serve as \_\_\_\_\_ intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

**TAKES NO POSITION** on Lead Agency designation in this matter

Dated: 2/26/2020

Rockland County Planning Dept  
Agency Name  
By: [Signature]  
Signature  
Michael Kezner  
Printed Name of Signer

Please return within 30 days by  
Fax: (845) 359-8526  
E-mail: ccoopersmith@aol.com

**Town of Orangetown Planning Board**  
**Planning Board Meeting: Wednesday, Marh 25, 2020**

**Location: Greenbush Auditorium, 20 South Greenbush Road,  
Orangeburg, New York 10962**

**Project: BCH Realty LLC – Concaro, LLC: Parking Site Plan Review  
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**Response to request that the Town of Orangetown Planning Board  
BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:**

On behalf of Orangetown ZBA (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

**CONSENTS** that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

**DOES NOT CONSENT** to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that \_\_\_\_\_ serve as \_\_\_\_\_ intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

**TAKES NO POSITION** on Lead Agency designation in this matter

Dated: 2/19/2020

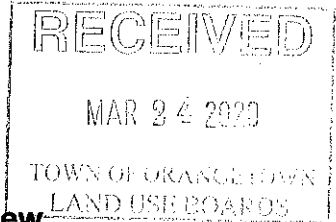
Orangetown ZBA  
Agency Name

By: [Signature]  
Signature

Insh Castelli Acting Chair  
Printed Name of Signer

Please return within 30 days by  
Fax: (845) 359-8526  
E-mail: ccoopersmith@aol.com

**Planning Board Meeting of March 25, 2020  
Town of Orangetown**



**Project: BCH Realty LLC – Concaro, LLC: Parking Site Plan Review  
(Prior Site Plan Withdrawn PB#16-47)**

**Location:** The site is located at 20 Mountainview Avenue, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.07, Block 1, Lot 27 in the LI & CC zoning districts.

**Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.**

**If your agency does not have any comments at this time, please respond to this office by sending back this sheet.**

- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at [ccoopersmith@orangetown.com](mailto:ccoopersmith@orangetown.com), or
- Fax to the Town of Orangetown Planning Board @845 359-8526

- Comments Attached (or to be provided prior to Meeting date noted above)
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

Dated: 3/16/20

RC Health Dept  
Agency Name  
By: Liz Mello  
Please Print Name

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Dated: 02.20.20

Rockland County Hwy Dept

Agency Name

By: Dyan Rajasingham

Please Print Name

**Planning Board Meeting of March 25, 2020  
Town of Orangetown**

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Dated: 3/9/20

SUREZ  
Agency Name  
By: BILL PREHODA  
Please Print Name

**Planning Board Meeting of March 25, 2020  
Town of Orangetown**

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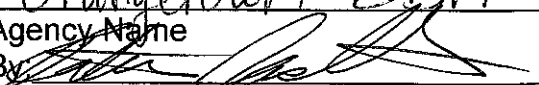
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Dated: 2/19/2020

Orangetown ZBA  
Agency Name  
By:   
Please Print Name

Trish Castelli, Acting Chair