

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2020 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: _____

ASSIGNED _____

INSPECTOR: _____

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: DePaola

Street Address: 116 South Highland Ave
Pearl River NY 10965

Tax Map Designation:
Section: 68.14 Block: 3 Lot(s): 22
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the left side of South Highland Ave, approximately 100 feet North of the intersection of Sandhage Dr., in the Town of ORANGETOWN in the hamlet/village of Pearl River.

Acreage of Parcel <u>2.02</u>	Zoning District <u>R-40</u>
School District <u>Pearl River</u>	Postal District _____
Ambulance District _____	Fire District _____
Water District _____	Sewer District _____

Project Description: (If additional space required, please attach a narrative summary.)
Residential addition needing side yard variance in
an R-40 zone

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 8/20/20 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

Applicant: Joseph DePaola Phone # 845-558-4410

Address: 116 South Highland Av Pearl River NY 10965

Property Owner: SAME Phone #

Address:

Engineer/Architect/Surveyor: Perry M. Petrillo Phone # 201-307-6153

Address: 9 Park Ave Park Ridge NY 07656

Attorney: Phone #

Address:

Contact Person: Joseph DePaola Phone # 845-558-4410

Address: 116 South Highland Av Pearl River NY 10965

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of: (Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- State or County Road, Long Path, Municipal Boundary, State or County Park, County Stream, County Facility

List name(s) of facility checked above:

Referral Agencies:

- RC Highway Department, RC Drainage Agency, NYS Dept. of Transportation, NYS Thruway Authority, Adjacent Municipality, Other, RC Division of Environmental Resources, RC Dept. of Health, NYS Dept. of Environmental Conservation, Palisades Interstate Park Commission

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____ / _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

 N/A

SWIS PRINT KEY

NAME

ADDRESS

PAGE # 1

392489 68.14-3-16
392489 68.14-3-17
392489 68.14-3-22
392489 68.14-3-24
392489 68.14-3-25

Blaise Ferrara
Lauren A Katz
Joseph A DePaola III
Charles Calderon
George K Hadeler

28 Butternut Dr, Pearl River, NY 10965
20 Butternut Dr, Pearl River, NY 10965
116 S Highland Ave, Pearl River, NY 10965
82 So Highland Av, Pearl River, NY 10965
72 S Highland Ave, Pearl River, NY 10965

**PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.
APPLICATION FOR BUILDING / DEMOLITION PERMIT**

TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: <u>R-40</u>	OFFICIAL USE ONLY	ACREAGE: <u>1.92</u>
Inspector: _____	Date App Received: <u>2/10/2020</u>	Received By: <u>LAZ</u>
Permit No. <u>40792</u>	Date Issued: _____	
CO No. _____	Date Issued: _____	
Permit Fee: <u>\$852</u>	Ck# <u>390</u>	Paid By: <u>Joseph DePaola</u>
GIS Fee: <u>\$20</u>	Ck# <u>389</u>	Paid By: _____
Stream Maintenance Fee	Ck # _____	Paid By: _____
Additional Fee: _____	Ck# _____	Date Paid _____
1st 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____
2nd 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application,

PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 116 South Highland Ave Pearl River NY 10965

Section: 68.14 **Block:** 3 **Lot:** 22

Property Owner: JOSEPH DEPAOLA

Mailing Address: 116 South Highland Ave

Email: live4tonight@optonline.net **Phone #:** 845-558-4410

Lessee (Business Name): _____

Mailing Address: _____

Email: _____ **Phone #:** _____

Type of Business /Use: _____

Contact Person: Home owner Joseph DePaola **Relation to Project:** Homeowner

Email: live4tonight@optonline.net **Phone#:** 845-558-4410

Architect/Engineer: Perry M. Petrucci **NYS Lic #** 024375

Address: 9 Park Ave Park Ridge NJ **Phone#:** 201-307-6153

Builder/General Contractor: Homeowner **RC Lic #** _____

Address: _____ **Phone#:** _____

Plumber: _____ **RC Lic #** _____

Address: _____ **Phone#:** _____

Electrician: Ralph Nanno **RC Lic #:** _____

Address: PO-Box 731 Monsey NY 10952 **Phone#:** 914-980-8501

Heat/Cooling: Blind Air Mechanical Corp **RC Lic#:** P-1097

Address: 16 Fisher Ave Nanuet NY 10954 **Phone#:** 845-624-5000

Existing use of structure or land: Home Single Family Residential

Proposed Project Description: Kitchen, dining room, bedroom, bathroom renovation + addition

ADDITION TO DePAOLA RESIDENCE

116 SOUTH HIGHLAND AVE
ORANGETOWN, ROCKLAND COUNTY, NY 10965

PROJECT DATA

LOT:	22	REMARKS
BLOCK:	3	
USE GROUP:	R-3	
CONSTRUCTION TYPE:	5B	

BY:	CAH	DATE:	12/14/20	REVISION/DESCRIPTION					
ISSUE FOR ZONING BOARD OF APPEALS									

ZONING SCHEDULE

ZONE (R40 District)	REQUIRED	EXISTING	PROVIDED
LOT AREA	40,000 S.F.	85,813.2 S.F.	85,813.2 S.F. (NO CHANGE)
LOT WIDTH	150'	150'	150' (NO CHANGE)
STREET FRONTAGE	100'	20'	20' (NO CHANGE)
BUILDING HEIGHT	8" PER FT FROM LOT LINE MAX	DISTANCE FROM FROM FRONT PROPERTY LINE (AT STREET) = 652' 652 X 8" = 434' MAX BLDG HEIGHT.	DISTANCE FROM FROM FRONT PROPERTY LINE (AT STREET) = 639' 639 X 8" = 426' MAX BLDG HEIGHT.
FLOOR AREA RATIO	0.15	0.078	0.110
SETBACKS			
FRONT	50'	350.80'	339.00'
SIDE	30'	79.11' / 39.59'	70.81' (VARIANCE)
SIDES (TOTAL)	80'	79.11'	70.81' (VARIANCE)
REAR	50'	120'	120' (NO CHANGE)

COMPUTATIONS

EXISTING FLOOR AREA RATIO:	
EXISTING BASEMENT FLOOR AREA:	2,495 SF
EXISTING FIRST FLOOR AREA:	2,667 SF
PREVIOUSLY APPROVED DETACHED GARAGE:	1,536 SF
EXISTING TOTAL FLOOR AREA:	6,698 SF
EXISTING LOT AREA:	85,813.2 SF
EXISTING FAR (6,698 SF / 85,813.2 SF):	0.078
PROPOSED FLOOR AREA RATIO:	
PROPOSED BASEMENT FLOOR AREA:	3,487 SF
PROPOSED FIRST FLOOR AREA:	3,604 SF
PROPOSED SECOND FLOOR AREA:	850 SF
PREVIOUSLY APPROVED DETACHED GARAGE:	1,536 SF
PROPOSED TOTAL FLOOR AREA:	9477 SF
PROPOSED LOT AREA:	85,813.2 SF
PROPOSED FAR (9477 SF / 85,813.2 SF):	0.110

APPLICABLE CODES

1. 2015 INTERNATIONAL BUILDING CODE - NY STATE EDITION
2. 2015 INTERNATIONAL EXISTING BUILDING CODE - NY STATE EDITION
3. 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE - NY STATE EDITION
4. 2015 INTERNATIONAL ENERGY CONSERVATION CODE - NY STATE EDITION
5. 2015 INTERNATIONAL FUEL GAS CODE - NY STATE EDITION
6. 2015 INTERNATIONAL FIRE CODE - NY STATE EDITION
7. 2015 INTERNATIONAL MECHANICAL - NY STATE EDITION
8. 2015 INTERNATIONAL PLUMBING CODE - NY STATE EDITION
9. 2014 NATIONAL ELECTRICAL CODE - NY STATE EDITION
10. ACCESSIBILITY - ICC A117.1

GENERAL NOTES

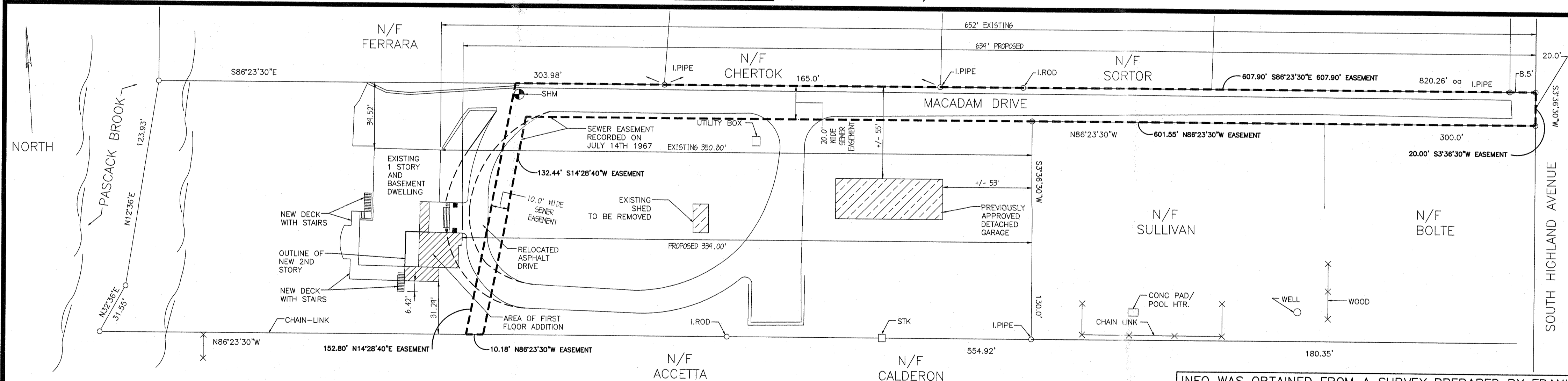
1. ALL CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION, ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
2. IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR ANY OTHER DOCUMENTS, EACH CONTRACTOR CONCERNED, SHALL WITHIN (7) DAYS AFTER RECEIVING SUCH DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS, NOTIFY THE ARCHITECT, IN WRITING OF SUCH ERROR OR OMISSION. IN THE EVENT OF THE CONTRACTORS FAILURE TO GIVE SUCH NOTICE, HE WILL BE HELD RESPONSIBLE FOR THE RESULT OF ANY SUCH ERROR OR OMISSION AND THE COST OF RECTIFYING THE SAME.
3. ALL CONTRACTORS SHALL HAVE AND MAINTAIN CONTRACTORS LIABILITY PROPERTY DAMAGE INSURANCE, AND WORKMANS COMPENSATION INSURANCE. ALL PHASES OF THE CONSTRUCTION SHALL COMPLY TO LOCAL, STATE, AND FEDERAL SAFETY LAWS.
4. ALL ELECTRICAL WORK SHALL COMPLY TO THE NATIONAL ELECTRICAL CODE.
5. ALL PLUMBING WORK SHALL COMPLY TO THE NATIONAL STANDARD PLUMBING CODE.
6. ALL HEATING, VENTILATION AND AIR CONDITIONING WORK, INSTALLATION AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE.

DRAWING LIST

ARCHITECTURAL

- T-1 TITLE SHEET
- A-1.0 BASEMENT FLOOR PLAN
- A-1.1 FIRST FLOOR PLAN
- A-1.2 SECOND FLOOR PLAN AND ROOF PLAN
- A-2.0 EXTERIOR ELEVATIONS
- A-2.1 EXTERIOR ELEVATIONS

PLOT PLAN (SCALE = 1" = 40')



SUBJECT TO:
 • AN EASEMENT FOR INGRESS AND EGRESS FROM SO. HIGHLAND AVE. 20' X 300'
 • S/SEWER EASEMENT

INFO WAS OBTAINED FROM A SURVEY PREPARED BY FRANK M. HOENS N.Y.S. P.L.S. LICENSE No. 49314 DATED 04/13/2011. SEWER EASEMENT DEPICTED RECORDED ON 07/14/1967.

ABBREVIATIONS

<p>A.C.T. Acoustic Ceiling Tile Adjust. Adjustable A.F.F. Above Finish Floor @ At Anch. Anchored Adj. Adjacent Alum. Aluminum Alt. Alternate Approx. Approximate Bm. Beam B.C. Brick Course Bldg. Building Blk. Block Blkg. Blocking Bot. Bottom Cab. Cabinet Cem. Cement Cl. Center Line Clg. Ceiling C.J. Control Joint</p>	<p>Cl. Closet Conc. Concrete Bldg. Building Blk. Block Blkg. Blocking Bot. Bottom Cab. Cabinet Cem. Cement Cl. Center Line Clg. Ceiling C.J. Control Joint Cl. Closet Conc. Concrete Col. Column Constr. Construction C.O. Clean Out C.O.D.P. Clean Out w/ Deck Plate Cont. Continuous Contr. Contract C.T. Ceramic Tile</p>	<p>Crs. Course Ctr. Counter Det. Detail D.F. Drinking Fountain D.H. Double Hung Dn. Down Diag. Diagonal Dwg. Drawing Ea. Each Elev. Elevation Equip. Equipment Exist. Existing Exp. Expansion Exh. Exhaust El. Elevation EQ. Equal E.W.C. Electric Water Cooler Ext. Exterior F.D. Floor Drain F.F. Finished Floor F.A.I. Fresh Air Intake</p>	<p>Flash Flashing F.E. Fire Extinguisher Fin. Finish Flr. Floor Found. Foundation F.R.T. Fire Retardant Treated Ga. Gauge Galv. Galvanized G.C. General Contractor Gl. Glass Gyp. Bd. Gypsum Wall Board Htr. Heater Horiz. Horizontal Hgt. Height H.M. Hollow Metal I.D. Inside Diameter Insul. Insulation Info. Information Int. Interior Jt. Joint</p>	<p>Lam. Laminate Lav. Lavatory Lg. Long Mas. Masonry Mat. Material Max. Maximum Mech. Mechanical Mfr. Manufacturer Min. Minimum M.O. Masonry Opening Mtd. Mounted N.I.C. Not In Contract #, No. Number Nom. Nominal O.C. On Center O. D. Outside Diameter Opng. Opening Opp. Opposite Plast. Plastic Pcs. Pieces Prop. Property</p>	<p>Part. Partition Perf. Perforated Pl. Plate Ptd. Painted Pr. Pair Q.T. Quarry Tile R. Riser R.D. Roof Drain Re. Bars Reinforcing Bars Recept. Recteical. Reinf. Reinforced Req'd. Required Rm. Room Sched. Schedule Sect. Section Sht. Sheet Sim. Similar Sq. Ft. Square Foot Specs. Specifications Stiff. Stiffeners Stl. Steel</p>	<p>Stor. Storage Struct. Structure Susp. Suspended T. Tread T.C. Terra Cotta Thk. Thick Toil. Toilet T.O.P. Top Of Plate Typ. Typical U.O.N. Unless Otherwise Noted V.C.T. Vinyl Composite Tile Vert. Vertical V.T.R. Vent Thru Roof W/ With Wd. Wood W.F. Wide Flange W.I.C. Walk In Closet W.L.C. Wall Covering W/O Without W.W.F. Welded Wire Fabric</p>
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DESIGN LOADS

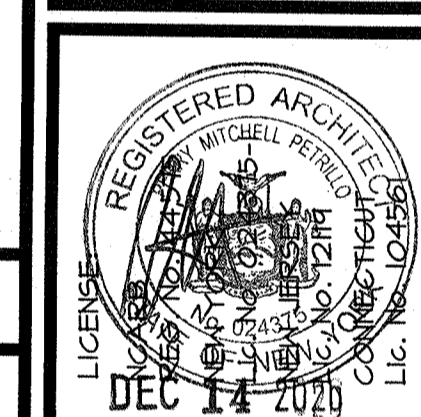
ROOF LOADS:
 DEAD LOADS = WEIGHTS OF BUILDING COMPONENTS
 LIVE LOAD = 30 PSF

ATTIC LOADS:
 DEAD LOADS = WEIGHTS OF BUILDING COMPONENTS
 LIVE LOADS = 20 PSF IN AREAS > 42" CLEAR HEIGHT

SECOND FLOOR (BEDROOM) LOADS:
 DEAD LOADS = WEIGHTS OF BUILDING COMPONENTS
 LIVE LOAD = 30 PSF

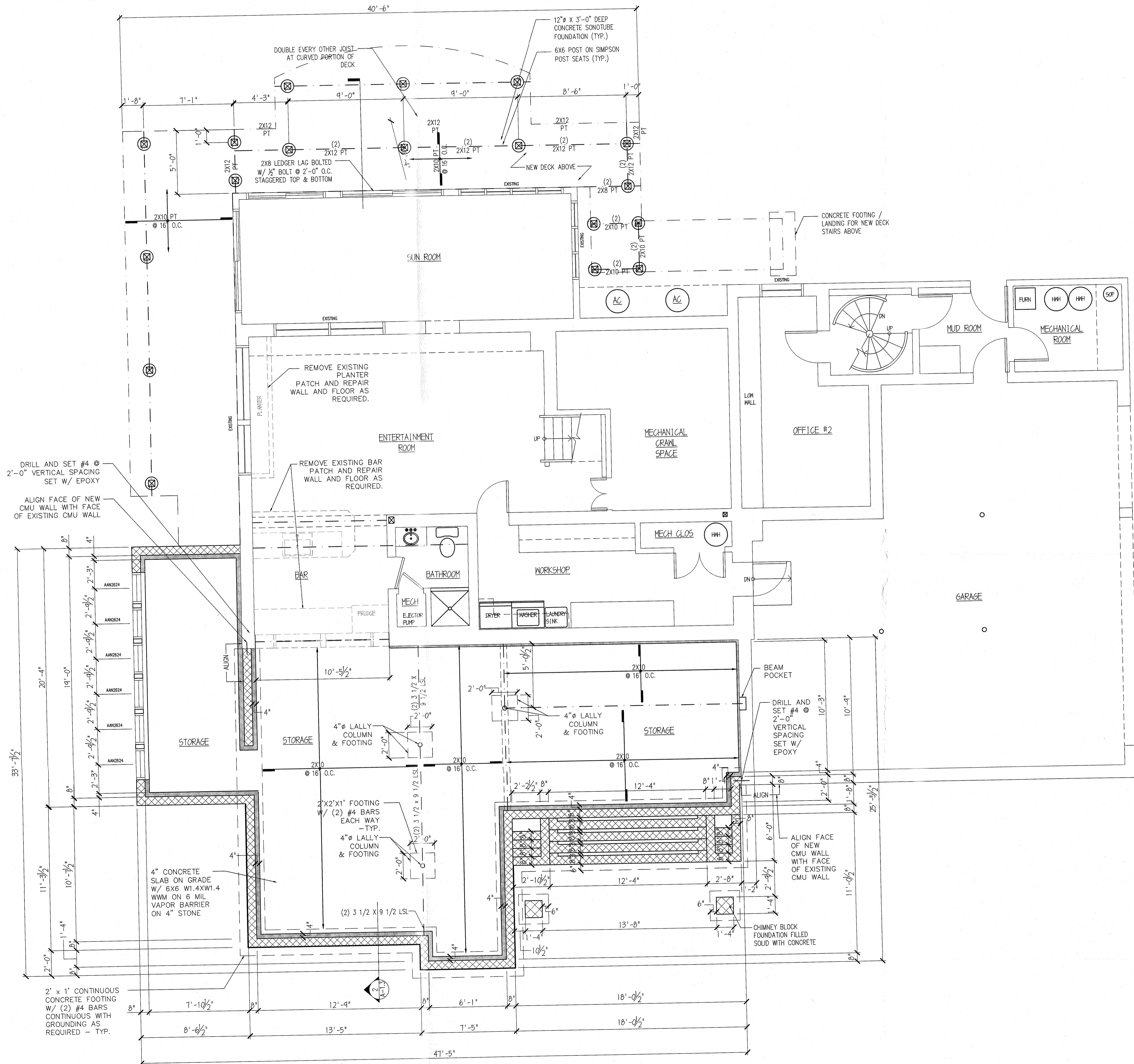
FIRST FLOOR LOADS:
 DEAD LOADS = WEIGHT OF BUILDING COMPONENTS
 LIVE LOAD = 40 PSF

PERRY M. PETRILLO ARCHITECTS PC
 9 Park Avenue
 Park Ridge, New Jersey 07656
 Telephone: (201) 307-6153
 Facsimile: (201) 307-6158



DePAOLA RESIDENCE
 116S HIGHLAND AVE, ORANGETOWN, NY 10965
 ROCKLAND COUNTY, NEW YORK

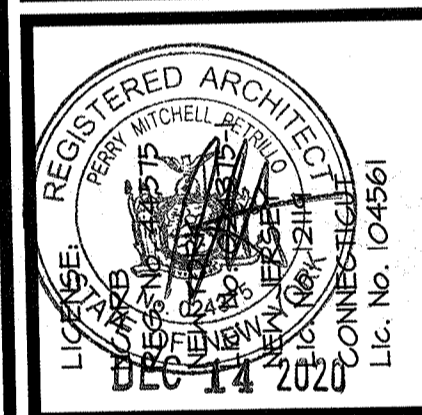
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DRAWN BY: CAH
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SCALE: AS NOTED
JOB NO: 19.176
SHEET: <b style="font-size: 2em;">T-1



1 Foundation / Basement Floor Plan
Scale: 1/4" = 1'-0"

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		12/14/20	CAH

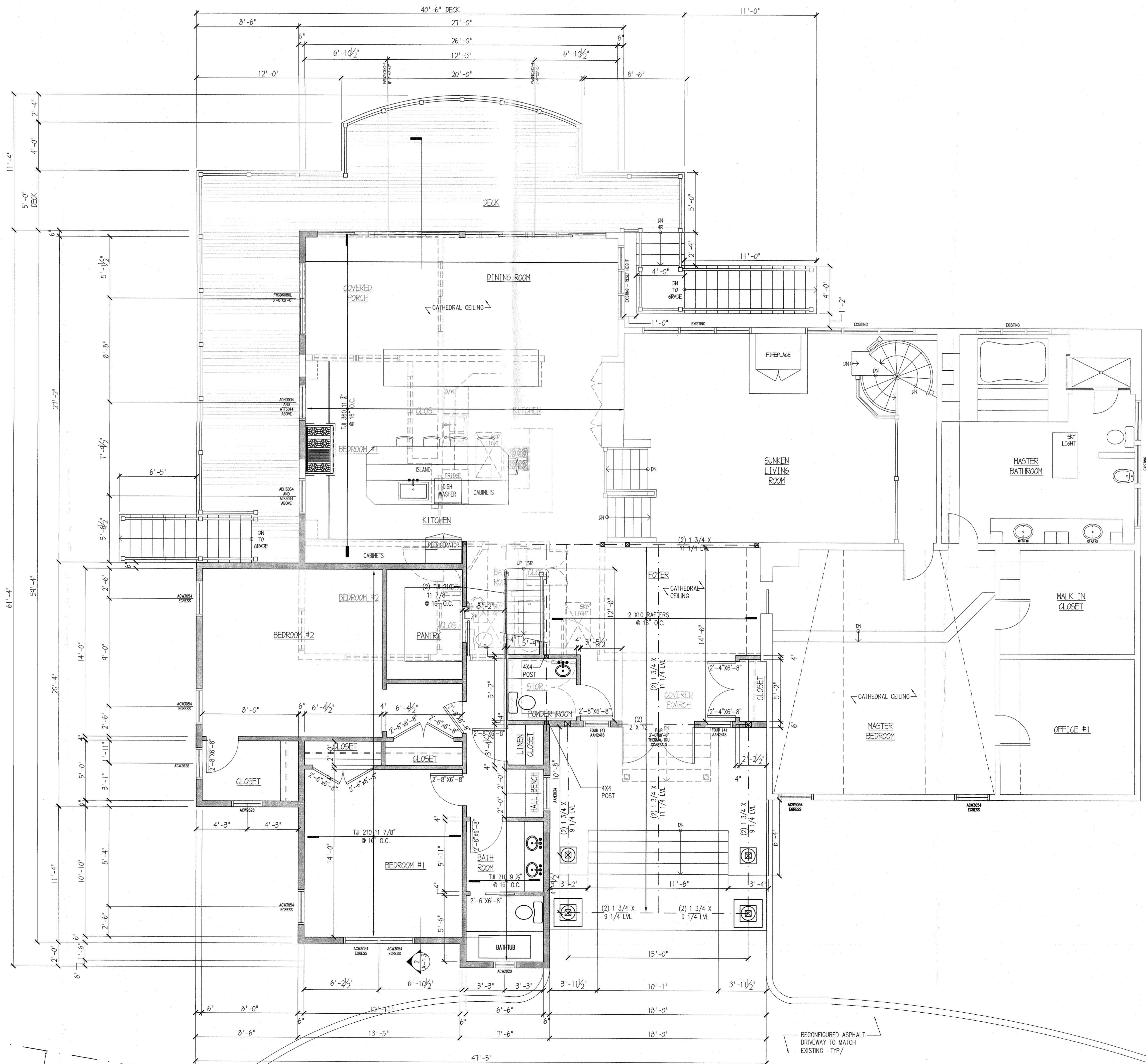
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PROJECT:
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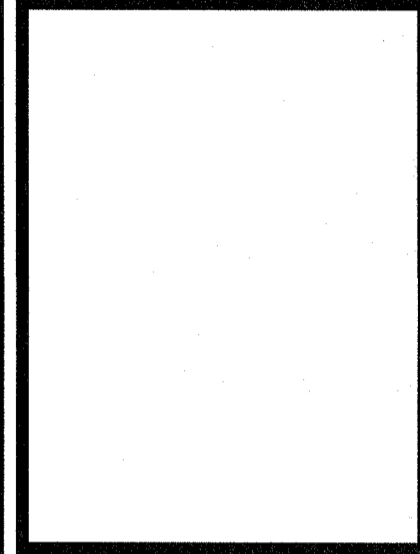
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 CAH
 DATE:
 10/04/19
 SCALE:
 AS NOTED
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 SHEET:

A-1.0



1 First Floor Plan
Scale: 1/4" = 1'-0"

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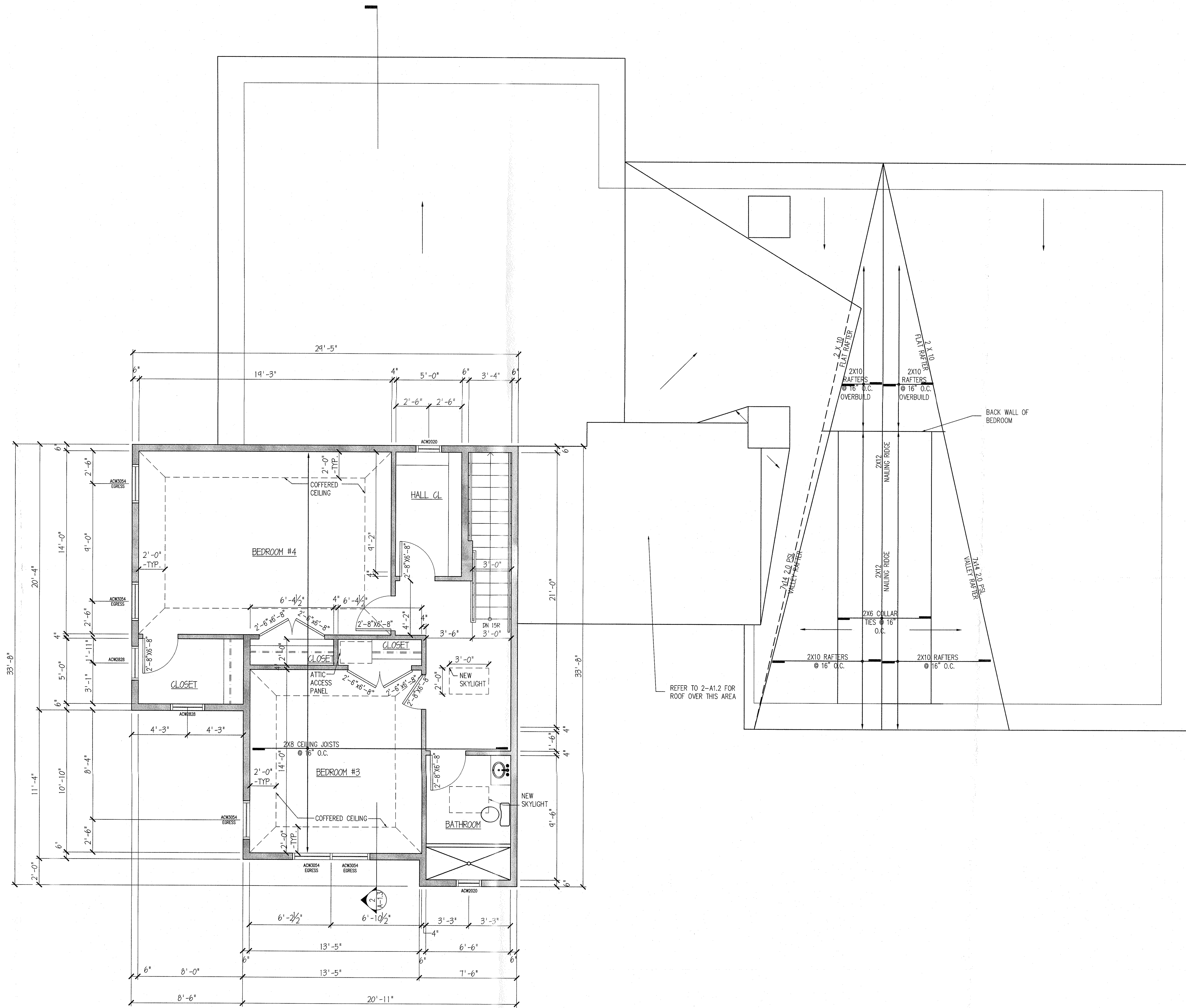
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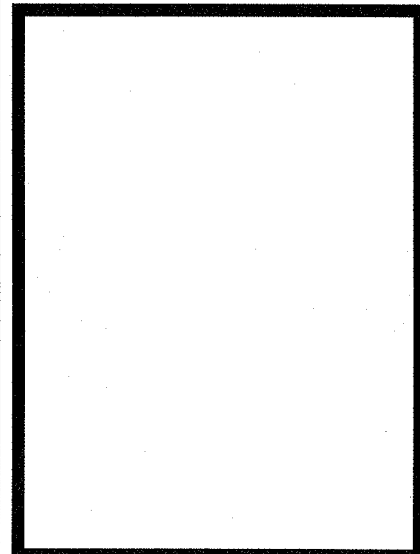
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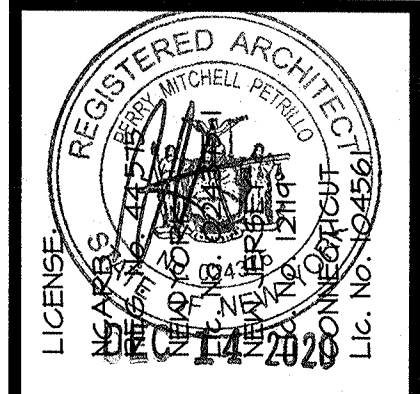


1 Second Floor Plan
Scale: 1/4" = 1'-0"

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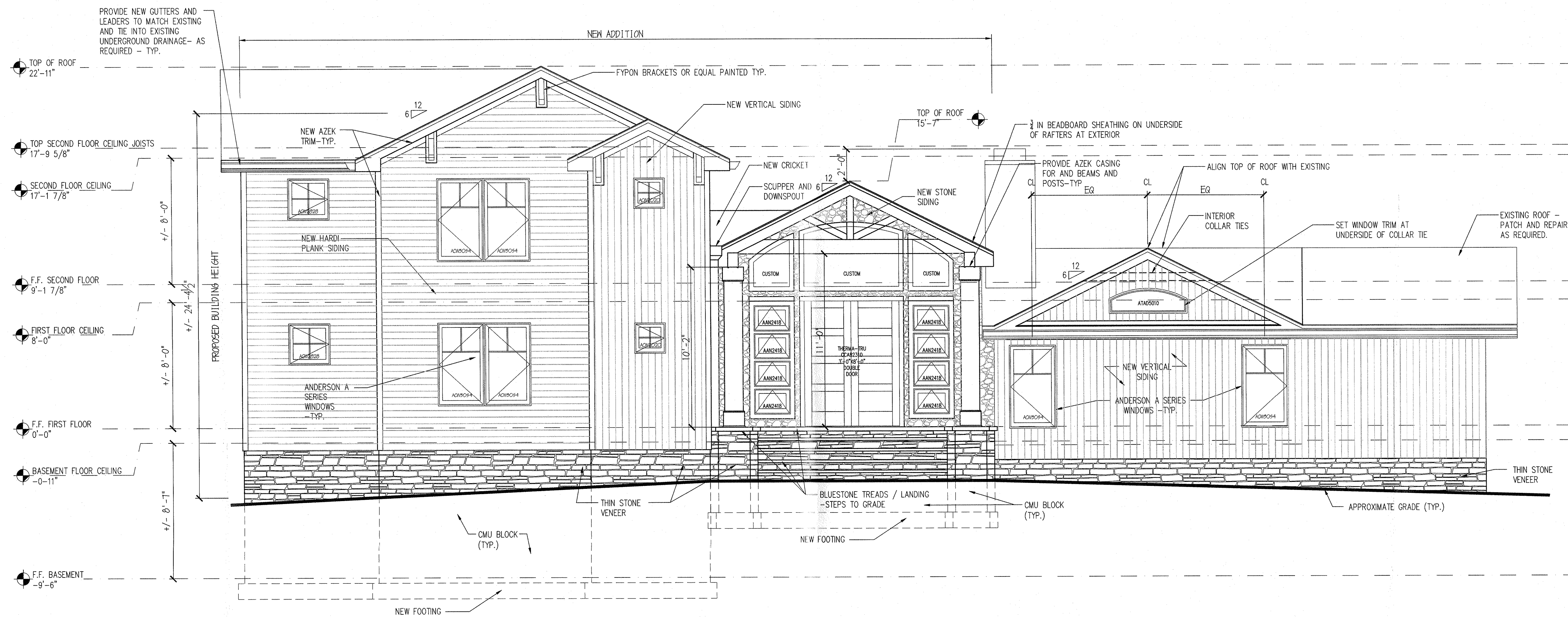
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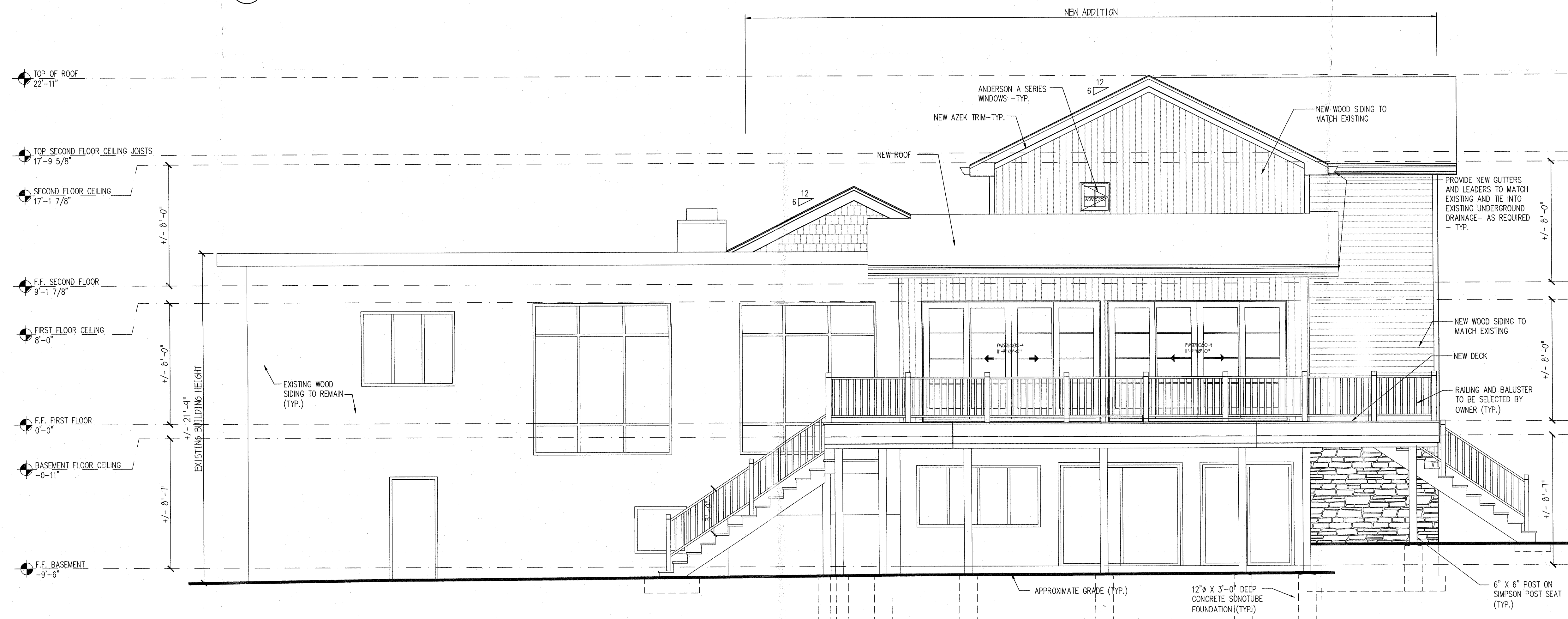
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DePaola Residence
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DRAWING:
 2nd FLOOR PLAN AND
 ROOF PLAN
 DRAWN BY:
 CAH
 DATE:
 10/04/19
 SCALE:
 AS NOTED
 JOB NO:
 19.176
 SHEET:

A-1.2

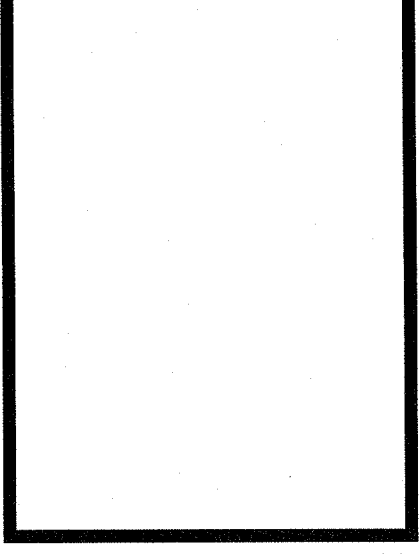


1 Proposed Front Elevation
Scale: 1/4" = 1'-0"



2 Proposed Rear Elevation
Scale: 1/4" = 1'-0"

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DATE:	12/14/20
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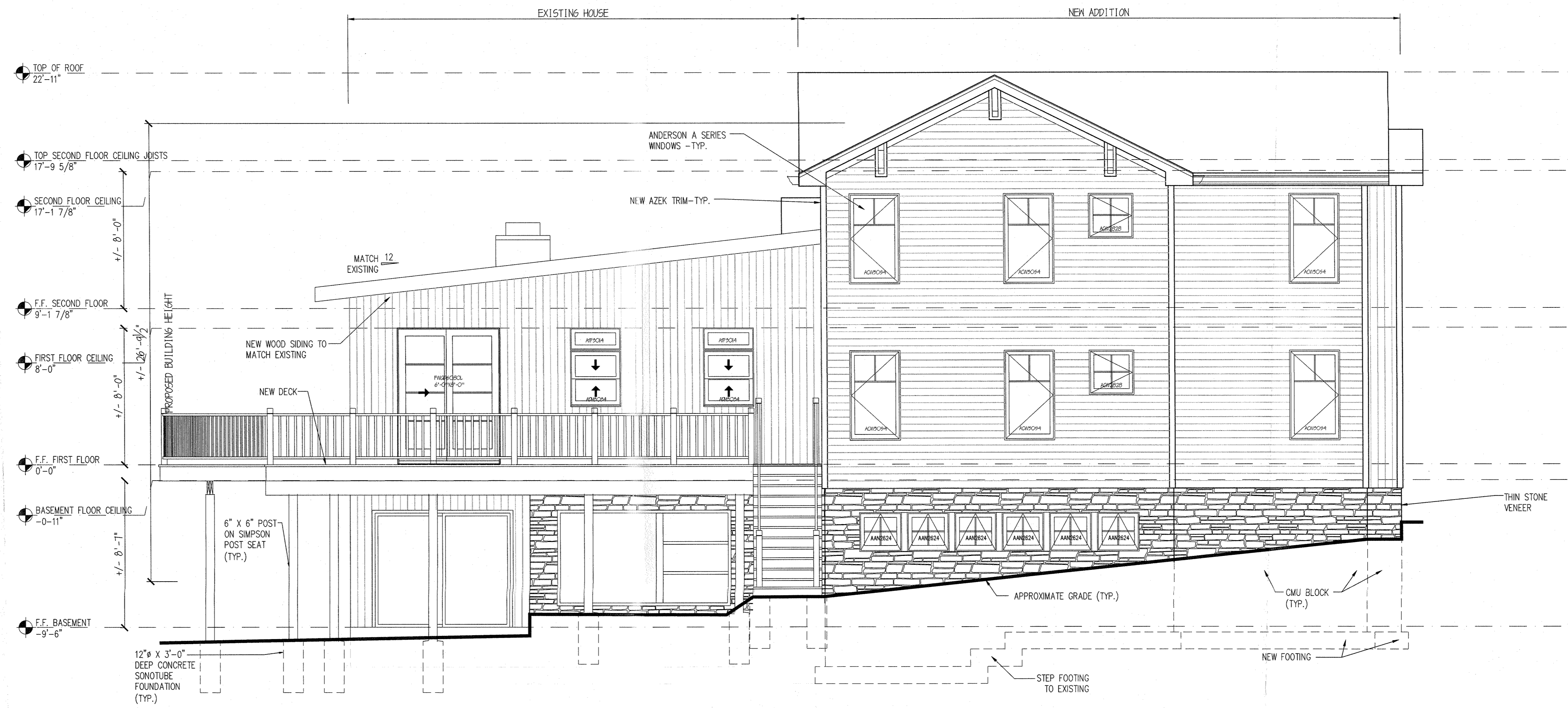
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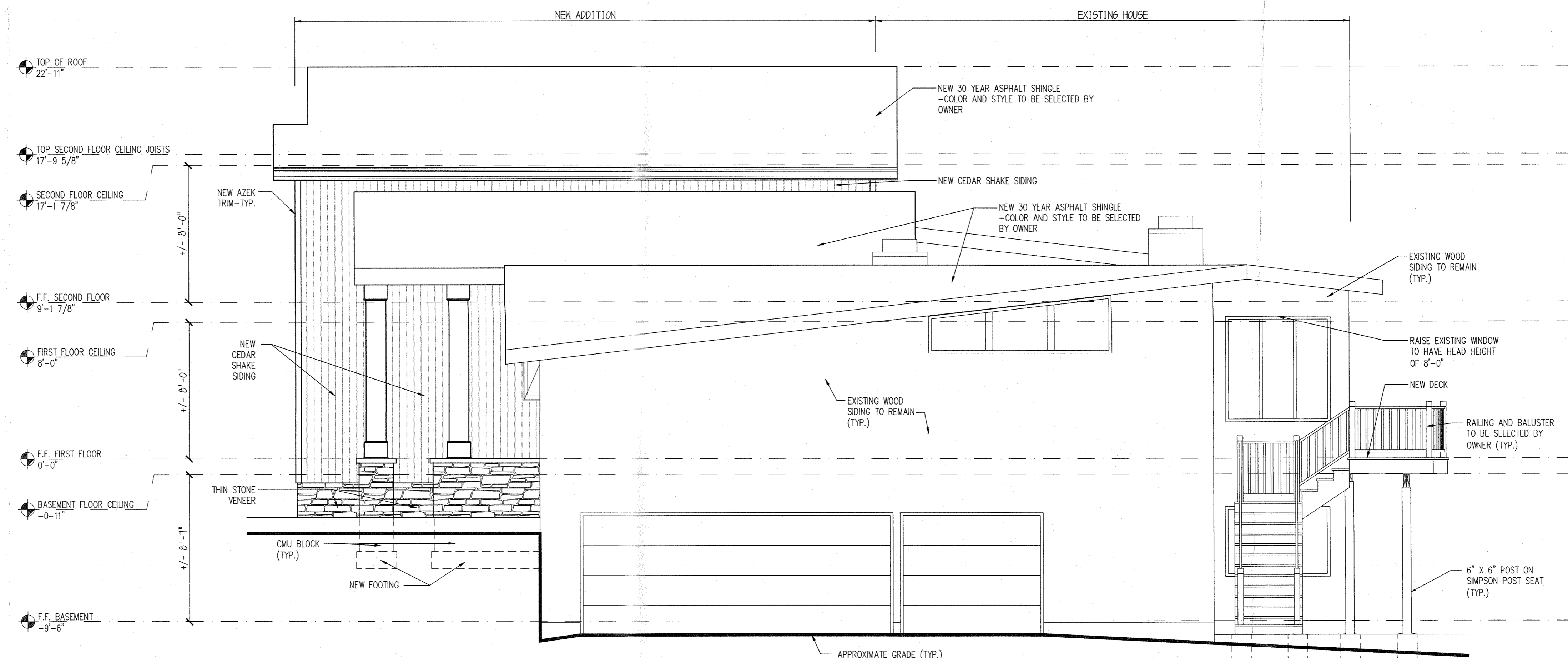
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EXTERIOR ELEVATIONS
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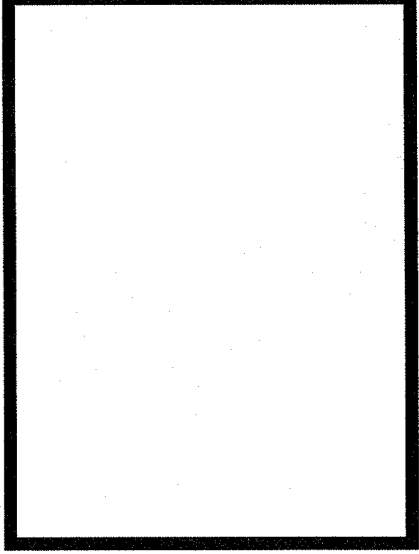


1 Proposed Left Elevation
Scale: 1/4" = 1'-0"

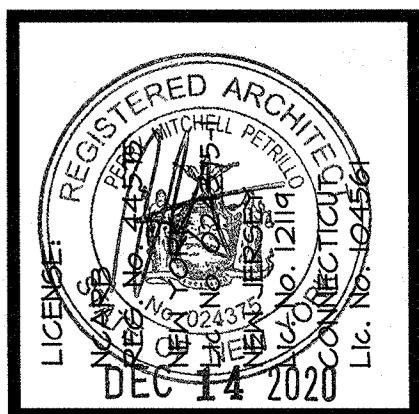
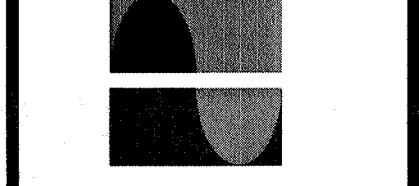


2 Proposed Right Elevation
Scale: 1/4" = 1'-0"

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DePAOLA RESIDENCE
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 ROCKLAND COUNTY, NEW YORK

PROJECT: DePAOLA RESIDENCE
 DRAWING: EXTERIOR ELEVATIONS
 DRAWN BY: CAH
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 SCALE: AS NOTED
 JOB NO: 19.176
 SHEET:

A-2.1