Name of Municipality: TOWN OF ORANGETOWN

n	O	
Date	Submitted:	
-	Odlo III II Cood I	

2020 LAND USE BOARD APPLICATION

	Please checkCommercialPlanning BoardZoning Board of AppealsSubdivisionNumber of LotsSite PlanConditional UseSpecial PermitVariancePerformance Standards ReviewUse VarianceOther (specify):	Residential Historical Board Architectural Board Consultation Pre-Preliminary/Sketch Preliminary Final Interpretation PERMIT#: ASSIGNED INSPECTOR:
Project Na	me: Donahue Addition	
Street Add	Iress: 46 Bauer St. Tappan, NY	
Tax Map D	Section: 77.08 Block Section: 77.08 Block	C: 2 Lot(s):20 C: 2 Lot(s):20
Directiona	I Location:	
On the East	side ofSt.	, approximately
300	feet south of the inters	ection of Kings Highway, in the
Town of O	RANGETOWN in the hamlet/village	of
Scho Amb	eage of Parcel_19 col District_South Orangetown collance District_South Orangetown er DistrictSuez	Zoning District Postal District Tappan Fire District Tappan Sewer District Orangetown
•	escription: (If additional space require 00 square foot addition to the south side of	d, please attach a narrative summary.) the house, attaching to the garage. Moving the kitchen
the back of t	he house and adding a full bathroom and n	naster bedroom to the upstairs. We are converting the h
from a three	bedroom to a five bedroom	
	ned agrees to an extension of the statutor, /2020 Applicant's Signature:	

APPLICATION REVIEW FORM

Applicant: Micha	ael Donahue		Pho	one # <u>8458213116</u>	
Address: 46 Baue	er St.		Tappan	NY	10983
Addi 633	Street Name & Number	(Post Office)	City	State	Zip Code
Property Owner	. Michael Donahu	e	Ph	one # <u>8458213116</u>	
				NY	10983
Address: 46 Bau	Street Name & Number	(Post Office)	City	State	Zip Code
Engineer/Archit	ect/Surveyor: _	Jzziah Coope	er	Phone #	58211472
Address: 403 E. 3	32nd St.		Patterson	NJ	07504
Address: 403 E. 3	Street Name & Number	(Post Office)	City	State	Zip Code
Attorney:			Phone #		
Address:	Street Name & Number	(Post Office)	City	State	Zip Code
	onest value a value	(i osi osinoo)	Ouy	Otale	2.p 0040
Contact Person	Michael Donahu	e	Phone #_	3458213116 	
Address: 46 Baue	er St.		Tappan	NY	10983 Zip Code
IF ANY ITEM IS C	CHECKED, A REVI	This proper (Che	ty is within 500 ck all that apply)	Y Commissioner of L, M, N, AND NN.
State or	r County Road		St	ate or County Park	<u> </u>
Long Pa			Co	ounty Stream	
List name(s) of fa	al Boundary acility checked at	oove:	Co	ounty Facility	
Referral Agencies	s:				
RC DrainaNYS DeptNYS Thru	ray Department age Agency of Transportation way Authority Municipality	_	RC Dept. NYS Dep Palisades	on of Environmental of Health t. of Environmental C Interstate Park Con	Conservation

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE. (IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdi	ivis	ion:
	1)	Is any variance from the subdivision regulations required?
	2)	Is any open space being offered? no If so, what amount?
	3)	Is this a standard or average density subdivision? no
If site p	. *	
		Existing square footage 1524
		Total square footage 2513
		Number of dwelling units single
If speci		permit, list special permit use and what the property will be used for.
Enviro	nme	ental Constraints:
and net a	rea i	pes greater than 25%? If yes, please indicate the amount and show the gross
		eams on the site? If yes, please provide the names.no
Are there no	wet	lands on the site? If yes, please provide the names and type:
Project	· Hi	story:
•		ct ever been reviewed before? ^{no}
		a narrative, including the list case number, name, date, and the board(s) you appeared
. •		ne status of any previous approvals.
pelore, a	ija u	le status di arry providuo approvale.
List tax m	nap s	section, block & lot numbers for all other abutting properties in the same ownership as
this proje	ct.	
	S	ection 77.08 block 2 lot 20



OFFICE OF BUILDING, ZONING, PLANNING, ADMINISTRATION AND ENFORCEMENT TOWN OF ORANGETOWN

20 Greenbush Road Orangeburg, N.Y. 10962

Jane Slavin, R.A. Director

(845)359-8410

Fax: (845) 359-8526

APPEAL TO ZONING BOARD OF APPEALS

Date: April 27, 2020	
Applicant: Robert Stout for Michael Donahue	
Address: 46 Bauer Street, Tappan, NY 10983	
RE: Application Made at: same	
Chapter 43, Table 3.12, RG, Column 11, rear yard required is 25', propo	sed 18'-5 1/2". Variance required
Section:	20
Please be advised that the Building Permit Application, which you subm	itted on
March 19, 2020 , has been denied. I have enclosed a Xerox copy of yo at the bottom the reason for denial.	
In Accordance with Zoning, Chapter 43 Section 10.322 the time to a Building Inspector or Similar administrative office is thirty (30) day determination with the Town Clerk.	ppeal a determination of a
The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist appear before the board.	you in the preparation necessary to
Sincerely.	
Tane II	4-27-2020
Signature of Director NØTE: PLEASE KEEP FOR YOUR RECORDS 12-31-18-CCC	Date CC: Rosanna Sfraga Liz Decort

Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE. TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE. APPLICATION FOR BUILDING / DEMOLITION PERMIT TOWN OF ORANGETOWN

PERMIT EXPIRE	TWO (2) YEARS FROM DATE OF ISSUANCE.
	SIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE. I FOR BUILDING / DEMOLITION PERMIT TOWN OF ORANGETOWN Phone: (845) 359, 8410, East; (845) 359, 8526
	FOR BUILDING / DEMOLITION PERMIT TOWN OF ORANGETOWN
	NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526
	FFICIAL USE ONLY ACREAGE:
Increasion AIM Date As	-1.01
	Date Issued:
CO Ng.	Dato iosucu.
Permit Fee: <u>\$2292</u> Ck#_	5476 Paid By RWS Home; LC
GIS Fee: <u>\$20</u> Ck#_	5C175 Paid By
Stream Maintenance Fee Ck #_	Paid By
	Pate Paid By
1 st 6 mo. Ext.: Ck #	Exp. Date: Paid By
2 nd 6 mo. Ext.: Ck #	Exp. Date: Paid By 19 7/120 Exp. Date: Paid By 19 7/120
	"\\"\"\"
	PPLICANT COMPLETES: for instructions for completing this application,
PAGES 2, 3 and PAGE 4 must	be reviewed and PAGES 3 & 4 must signed by the applicant.
Property Location: 46 Bauer St. Tappan, NY	10983
Section: 77.08 Blooms	ick: 2 Lot: 20
Property Owner: Michael Donahue	
Mailing Address: 46 Bauer St, Tappar	NY 10983
Email: mk.donahue1@gmail.com	Ohana #1(845) 821-3116
Lessee (Business Name):	· · · · · · · · · · · · · · · · · · ·
Mailing Address:	
	Phone #:
Type of Business /Use:	
Contact Person: Robert Stout	Relation to Project:G.C.
Email: rstout@rwsbuild.com	Phone#:845-551-2055
Architect/Engineer:	NYS Lic #
Address:	Phone#:
Builder/General Contractor: RWS Homes I	
Address: 228 E Route 59 #174 Nanuel	NY 10954 Phone#.845-551-2055
Plumber: All County Mechanical Inc	RC Lic # ⁰¹⁰⁹¹
Address: 67 N. Middletown Rd. Nanu	et, NY 10954 Phone#:(845) 527-7397
Electrician: James Murphy Electric	RC Lic #.00566
Address: 30 Old School Ln. Orangeb	rg, NY 10962 Phone#:(845) 558-7022
Heat/Cooling: All County Mechanical	RC Lic#: 01091
Address: 67 N. Middletown Rd. Nanu	
Existing use of structure or land: Single F	
Proposed Project Description: 7.05	munition and a kitchen in stellar
Proposed Square Footage:	Estimated Construction Value (\$): 120,000
	PARTMENT COMPLETES BELOW
PLANS REVIEWED:	
PERMIT REFERRED / DENIED FOR:	HAPTER 43. TABLE 3.12 COI. 11: RY REGID
PERMIT REFERRED / DENIED FOR:	= 25 , Propose P = 18-5/2"
	J. 4/27/2020
	15
	D 1

GENERAL REQUIREMENTS

GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRICE TO

GENERAL CONTRACTOR SHALL FAMILYARIZE HIMSELF WITH SITE WORKING CONDITIONS, MOURS OF LESAL OPERATION AND RELATED FERFORMANCE CRITERIA, GENERAL CONTRACTOR SHALL CONTRACTO UZZIAH COOPER UR. RACHITECT REGARDING ANY DEVIATIONS OR FIELD CONDITIONS CONFLICTING WITH THE DRAWINGS.

ALL WORK SHALL BE SERFORMED IN ACCORDANCE WITH AFPLICABLE CODES ORDINANCES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION, GENERAL CONTRACTOR SHALL SE RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, AND CERTIFICATE(S) OF OCCUPANCY, INSURANCES AND BONDS AS REQUIRED

ALL MATERIALS SPECIFIED OR USED TO EXECUTE THIS PROJECT SHALL BE DELIVERED . STORED AND INSTALLED PER MANIFACTURERS INSTRUCTIONS AND SPECIFICATIONS.

ANY DESIRED SUBSTITUTION, OR DEVIATIONS FROM CONTRACT DOCUMENTS MILL REQUIRE MRITTEN APPROVAL FROM UZZIAH COOPER JR. ARCHITECT PRIOR TO INSTALLATION.

REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW MOR SHOWN ON THE DRAWINGS. FATCH AREAS OF DEMOLITION PLUSH AND SMOOTH TO ADJACENT SURFACES, READY FOR APPLICATION OF FINISHES.

SHUTDOMYS AND INTERRIPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER FRICH TO INFLEMENTATION. THE SC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPSKADED WITH THE FROPER PROVIDER IN A TIMELY MANNER.

PROVIDE SHORING, STABILIZATION AND BRACING AS REQUIRED, PROVIDE PROFERTY , SITE AND FRESONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE

PROVIDE MEATHER PROTECTION IN A TIMELY MANNER TO PROTECT THE SITE, PREMISES, MATERIALS, INSTALLED MORK AND PERSONNEL.

all mechanical electrical, and flumbing systems and services to be complete and operational installations shall not conflict nith fixtness or construction serven increasaglier of the conflict and plumbing norms famile be performed by licensed serven increasaglier of the conflict and plumbing norms famile be performed by licensed

THE GENERAL CONDITIONS FOR THIS PROJECT ARE "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, 1997 EDITION", AVAILABLE FROM ARCHTECT.

THE GC SHALL COORDINATE THE WORK OF ALL TRADES.

THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL MAJOR SUBCONTRACTORS WITHIN 2 MEEKS OF AMARD FOR OWNER APPROVAL.

SUBMIT MONTHLY APPLICATIONS FOR PAYMENT OR AS INDICATED IN GAINER-CONTRACTOR AGRREMENT IN AIA GTO2 FORMAT PROVIDE UNIT PRICES AND ALLOMANCES AS FER OWNER-CONTRACTOR AGREEMENT.

ALL DELIVERIES, STAGING AND AVAILABLE UTILITIES SHALL BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION

PROVIDE REMOVALS AND PROFER, LEGAL DISPOSAL OF ALL WASTE. LEAVE FROJECT IN "BROOM-CLEAN" CONDITION.

WORK IN HARMONY WITH INDEPENDENT CONTRACTORS HIRED BY THE OWNER

MIERE NO SPECIFICATION IS GIVEN, THE MINIMUM STANDARD FOR INSTALLATION SHALL ACCORDING TO THE NATIONAL ASSOC. OF HOME BUILDERS "RESIDENTIAL CONSTRUCTION PERFORMANCE GUIDELINES" CURRENT EDITION.

THE GC AND EACH OF HIS SUBCONTRACTORS SHALL HAVE A MINIMUM OF 5 YEARS OF RELATED MORK EXPERIENCE ON PROJECTS OF A SIMILAR NATURE.

WHERE CONFLICTS OR POSSIBLE CONTRADICTORY INFORMATION ARE SHOWN, THE BASIS OF THE BID SHALL BE BASED ON THE MORE EXPENSIVE MEANS.

CONTRACTOR SHALL PROVIDE SEGREGATED ACCOUNTING RELATED TO ENERGY SAVINGS FOR OWNERS TAX GREDIT PURFOSES, THIS INCLUDES, BUT IS NOT LIMITED TO W IOR DOORS, INSULATION, ROOF SHEATHING, HVAC SYSTEMS, CAULKING, WEATHERSEALS, OT WATER PRODUCTION, ENERGY SAVING LAMPS.

CONTRACTORS' INPUT AND RECOMMENDATIONS ARE MELCOMED AND ANTICIPATED, CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE A BETTER RESULT THAN INDICATED HERBIR NOR THE SAME COST AND TIME SUCH CHANGES SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER,

CONTRACTOR AND HIS SHECONTRACTORS SHALL MAINTAIN WORKMENS COMPENSATION AND ADEQUATE LIABILITY INSURANCE FOR THE ENTIRE DURATION OF THE PROJECT PLUS 2 YEARS. OWNER HALL BE RESPONSIBLE FOR PROPERTY INSURANCE ON VALUE OF BUILDING PLUS CONSTRUCTION INCLUDING FIRE AND VANDALISM (BUILDERS RISK INSURANCE) DURING THE COURSE OF CONSTRUCTION

2. SITEMORK

FROVIDE FROTECTION OF ALL TREES AND PLANTING THAT MAY BE AFFECTED BY THE CONSTRUCTION ACTIVITIES.

PROVIDE SILT PENCE AT ADJACENT AREAS TO EXCAVATION # . GRADING AND

STOCKPILE ALL TOPSOIL AS DIRECTED BY OWNER, REGRADE, AND RE-SEED ALL DISTURBED AREAS.

ASSURE MINIMUM I/4" FER 1'-0" FOSITIVE DRAINAGE AWAY FROM STRUCTURE.

SOIL SHALL BE EXCAVATED AS REQUIRED, FIELD VERIFY 2 TONSF BEARINS CAPACITY, AND BE FREE OF DEERIS, WASTE, FLORING WATER, VEGETATION OR OTHER DELETERIOUS MATTER, NOTIFY ARCHITECT OF SUSTANDARD SOIL CONDITIONS.

SUBSTANDARD SOIL CONDITIONS MUST BE REMOVED TO A DEPTH OF ADEQUATE BEARING CAPACITY AND THEN REPLACED WITH ENSWERRED COMPACTED FILL MIGH SHALL CONSIST OF GLEAN MELL GRADED SAND AND GRAVEL COMPACTED TO 45% DENSITY, 91.ACED IN 5'. LIFTS MITH EACH LAYER AND BASE EARTH LAYER THOROUSHLY COMPACTED BY MAKING J. PASSES WITH A VIBRATORY PLATE.

AREAS MITHN 6' OF EXISTING CONSTRUCTION (AHOSE SOIL HAS NOT BEEN DISTURBED MITHIN 30 YEARS) SHALL SE CONSIDERED SACKPILL AND REGIRES ADDITIONAL SOIL TAMPING TO DEMONSTRET 98% COMPACTION AT SOIL SPARING FACE.

PROVIDE CLEAN FILL X-ERE REQUIRED TO MATCH ADJACENT GRADES AS REQUIRED, OR AS SHOWLOW THE DRAWINGS, BACKFILLING SHALL BE PERFORMED IN δ^* LIFTS AND COMPACTED TO A CHIEVE RECOMMENDED ACT DENSITIES.

LOCATE UNDERGROUND UTILITIES BEFORE EXCAVATION, OBTAIN REQUIRED APPROVALS AND INSPECTIONS.

CALL BEFORE YOU DIG, BIT, OR EXCAVATE I-800-462-7462, CONFIRMATION NUMBER MUST BE FROUDED

OUTLINE SPECIFICATIONS

the very and the second of the second

DD NOT BASKFILL AGAINAT TOWNSHOWS LITTLY NOTACING TOWARD JUITNOAR TON CO

GRAYEL FOR DRAMAGE, TO BE CLEAN BANK-RUN - STONE KEEF EXCAYATION CLEAR OF WATER BY PLAYING OR OTHER AFPROYED MEANS.

IGO GAL, DRYACLI, TO BE 4 \times 4' \times 4' OF 2' MIN GRAVEL, NO FINES , TOP 12" ESLOW GRADE. PILLY WRAPPED IN FILTER FASRIC MITH 6" P/C. NLET AND MARKER STONE "O' MIN ANAM FROM HOUSE I FROM HOUSE I FROM PLOSE I FROM FILES I FROM PLOSE I FROM

IBOO GAL DRYWELL TO BE STIDIAM X 6" HIGH PERFORATED FREGAST CONCRETE W PRECABLE ONC. LD. M. MANIOLE AND LETTINS RISK. ARAP PRECABLE DRYNELL M. 11. THICK LATER OF PERSONNELL A SIDES AND SELOM, PROVIDE FILTER FARRIC LAYER SEPARATOR. INFLUENT PERSONNELL AS IDES AND SELOM, PROVIDER FACE LAYER SEPARATOR.

550 GAL DRYWELL TO BE EVO INFILTRATOR BY 'CULTES' OR SOVAL MODEL 530 RECHARGER H-ZD MITH 418 GALLON CAPACITY EURROADED BY 12" LAYER OF 1 GRAVEL ON ALL SIDES, BOTTOM AND TOP, FULLY MRAPPED IN FILTER FASRIC FED BY 6" FVC NLET SEE DETAILS.

REMOVE, BALL & BURLAS AFFECTED PLANTINGS AND WATER AND MAINTAIN DURING CONSTRUCTION, REPLANT ACCORDING TO CAMERS DIRECTIONS, NEW PLANTINGS AND RELATED GRADING AND TOPSOILD TO BE COORDINATED WITH DANERS INSTALLER

SUBGRADE SFRINKLER IRRIGATION SYSTEMS TO BE REPAIRED/REPLACED TO PROPER WORKING ORDER WHEN ENCOUNTERED, PROVIDE AGUASTAT AND TIMER FER OWNERS DIRECTION.

- I. THE DESIGN, MIXING, TRANSPORTING, AND CURING OF ALL STRUCTURAL CONCRETE SHALL COMPROM TO THE RECUIREMENTS OF THE "SUITURE CODE REQUIREMENTS FOR COMPROM TO THE RECUIREMENTS OF THE "SUITURE CODE REQUIREMENTS FOR ENTENDRICED CONCRETE", THE ACI. 2 STIRUMENTAL CONCRETE SHALL POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 3,000

- TOM.
 AGGREGATES SHALL CONFORM TO ASTM CDS, THE COARSE COMPONENT EITHER WASHED OF AGAVEL OR CRUSHED STONE, FINE AGGREGATE SHALL BE LEAN NATURAL SAND.
 PORTLAND CEMENT SHALL BE IN COMPLIANCE WITH AGGN CIGO, TYPE 15.
 DEPORNED REINFORCINS STEEL SHALL BE IN ACCOMPANCE WITH AGGNAGIS, GRADE 50.
 STANDARD DETAILS FOR HOOKS, BEING, AND DEVELOPMENT LENSTHE SHALL BE IN CONFORMANCE WITH THE "CONCRETE REINFORGINS STEEL HANDEOCK", THE CREI
- SMOOTH WIRE FABRIC REINFORGEMENT SHALL BE IN COMPLIANCE WITH ASTM AIBS.
- SHEETS ONLY NO ROLLS, PER ACI ASTM AIDS.

 GROUT SHALL BE NON-METALLIC AND NON-SHRINK, AND POSSESS A 25-DAY
 COMPRESSIVE STRENGTH OF 5,000 PSI.
- VINEADING JIRENGTO TO TOLOU POL.

 VERNANSION AND MONTONE SHALL BE STAINLESS STEEL "KMIK BOLTS" AS MANUFACTURED BY
 THE HILTI CO, NEW RE-BAR DOWELS SECURED TO EXISTING CONCRETE WITH "HIT C-IOO"
 ADHESIVE AND MONTONS
- ADHESIVE ANCHORS, PROVIDED HIS DEPENDING AS REQUIRED TO 3-6 DELOW GRADE, OR TO EQUAL IZE DETHIS OF NEW AND ADJACENT FOOTINGS TO PREVENT UNDERMINING, SEQUENCE 3" WIDE POARS TO AVOID DANAGE TO 3 TRIVELTIRE.
- IS BLABS ON GRADE FOR MALKS OR PATIOS SHALL BE 4' (6" AT DRIVENAYS) AIR-ENTRAINED 3000 PSI WITH 6x6 WAT REINFORCEMENT ON 4" COMPACTED GRAVEL BASE. ENTRAINED 3000 PS; WITH 5% WAY REINFORCENENT ON A COMPACTED GRAVEL BA PROVIDE EXPANSION JOINT A 17 ° JC., TOOLED FLAS CONTROL JOINT A 15 ° OC. FLOAT FINISH INDOOR EXPOSED SLABS, BROOM FINISH EXPERIOR EXPOSED SLABS, APPLY CURING COMPOUND, FINISH IN ACCORDANCE WITH ACI 3%. 2. OBSERVE MINIOM REBAR CONCRETE COVER PER ACI STANDARDS. 5. CONCRETE SHALL POSSESS A MAXIMM SLUMP OF 3.5". 6. FROVIDE ADECUATE MEATHER PROTECTION FROM EXCESS COLD, HEAT OR WIND PER ACI, GUIDELINES AND PER ASTM COL. 5. COORDINATE WITH RELATED TRADES FOR EMBEDS, SLEEVES, OFENINGS, CHASES AND RELATED FORMING REQUIREMENTS.

- RELATED FORMING REQUIREMENTS.

 16. VERIFY CONCRETE HAS NOT EXCEEDED MAXIMUM ALLOYABLE MOISTURE CONTENT BY
- PRESCRIBED MOISTURE TESTING PER FLOORING MANUFACTURER DIRECTION 17. BOTTOM OF CONCRETE FOOTINGS TO BE MIN. 12" BELOW LOCAL PROSTLINE AND SEAR ON 2 TON PSF MIN, UNDISTURBED SOIL, IF FIELD CONDITIONS ARE NOT SUPPLIENT, NOTIFY ARCHITECT BEFORE PROCEEDING, DO NOT STEP MORE THAN TWO FEET HORIZONTAL TO ONE FOOT VERTICAL.

COMPLY WITH PUBLICATIONS OF THE BRICK INSTITUTE OF AMERICA (BIA) FOR ALL MASONRY WORK, HASONRY WORK, HALL NOT PROJEED NEEDE VERTH CONDITIONS ARE, OR ARE EXPECTED TO PROJUCE ANBIENT TERMPERATURES BELOW 40F WITHOUT PROPER TENTING/HEATING OR OTHER MEANS OF PROTECTION.

CONCRETE MASONRY UNITS TO BE SOLID FILLED AT TOP COURSE, PROVIDE HORIZONTAL CONTROL OF COMES, PROVIDE HORIZONTAL TRUSS REINFORCING EVERY OTHER COURSE. LOAD BEARING UNITS (ASTM C-40, GR. U-1), FILLED SOLID NITH GROUT FOR FULL HT, AT BEARING POINTS-12" BOTH SIDES OF SUPERINFORD LOAD, GROUT SHALL SE LEAN WITH 8 TP 10" SUIMM, WE'RI USING COUL AS FOUNDATION WALLS, GROUT SHALL SE LEAN WITH 8 TP 10" SUIMM, WE'RI USING COUL AS FOUNDATION WALLS, GROUT SHALL SE LEAN WITH 8 TO SOTTOM COURSE FULL PROVIDE PULLY GROUTED CORES AT VERTICAL, REDAYS, 90 NOT BACKFILL SINTE, MAXIMM STRENSTH HAS BEEN ATTAINED AND FLOOR JOISTS ARE INSTALLED, RUNNING BOND FATTERN UNLESS NOTED OTHERWISE.

USE TYPE M MORTAR FOR BELOW GRADE MASONRY, TYPE N ELSEWHERE, MORTAR SHALL BE SUFFICIENTLY FLASTIC AND MASONRY UNITS SAHLL BE PLACED TO FORM A TIGHT LOINT OF AFFROX, B/6* OR TO MATCH EXISTING.

FRECAST CONCRETE WITS TO BE FABRICATED PER ASTM C 1964, WITH ALL REDURED STANLESS STEEL STRAFS, PINS OR OTHER ANY-DOTAGE DEVICES, COLOR TO BE NATURAL BUFF, SLOPE HORIZONTAL SURFACES AT LEAST INLE, PROVIDE DRIPS ON PROJECTINS ELEMENTS, FROVIDE FULL TOCLED MORTAR JOINTS.

EXTEND CHIMNEY WITH MATCHING ERICK (NOTE TEXTURE AND GOLDR.) PROVIDE ANAHORS WHERE REO, USE TYPE IN MORTAR, PROVIDE MORTAR WASHING TOP, EXTEND FLUES TO NEW HEIGHT, PROVIDE CAP AND SCREEN.

BRICKWORK SHALL MATCH EXISTING FATTERN (UN.C.) WITH TYPE BY STANDARD BRICKS PROVIDE 2: X 2: MOCKUF FOR AFFROVAL OF EACH BRICK TYPE PROVIDE SPECIAL SHAPES WEER REQUIRED TO PREVENT OUT SURFACES FROM EMPOSURE, PROVIDE TES, FLASHING AND MEEPHOLES WEERE REQUIRED.

BRICK VENEER TO BE ANCHORED TO WALL FRAMING AT 16" HORE. 6 VERTICALLY MAXIMUM, FASTEN ALL ANCHORS SECURELY TO STUDE.

PROVIDE LINTELS PER SCHEDULE, MINIMUM & SEARING AT BOTH ENDS

THIN BRICK VENEER SYSTEM BY: "AMBRICO" (SOC 248 8280) EZ-AAUL SYSTEM AITH GALYANIZED 2" X 4" ET-MALL PANEL, EZ-MALL MASTIC AND 112" SEJERE MEATHERING ERICK FROM IGLEN GERY CORPT AND AND GROUT FROM TAMER CO MORTAR MIX. SUBMIT SAMPLE ERICK AND 3 X 2" MOCKUP FOR APPROVAL.

FLAGSTONE AND SLATE PAVERS TO BS: 1.72° TH, TO MATCH EX, $\phi_{\rm A}$ 2° STONE-DUST SETTING SEDS, FLITER FABRIC ON 4° THICK SED OF 3/4° GRAVEL SUS-SASS ON COMPACTED SOIL.

BRICK TO BE 2 I/4 TH SET ON 2" STONE DUST ON FILTER FABRIC, ON 4" THICK SED OF S/4" GRAVEL SUB-SASE ON COMPACTED BOIL. PROVIDE 6" \times 16 GA 59KED RETAINING EDGINS AT BX CSX FUNNING PARALLEL TO PART.

MASONRY CHIMBEY AND FIREFLACES, MERRE SHOWN ON THE PLANS, SHALL BE SRICK OR STONE AHERE EMPOSED AND LIND IN A PILL BED OF CEMENT MORTHAR LIND TROUDE LINTS, FLUES TO BE FIRE LIAM SIZE SHOWN ON THE JAMS, PROVIDE CAST ROW DAMPER

AS FIT AND CLEAN OUT DOORS, IRROINDE FOR PROPER CLEARANCES MITH COMBUSTIELE CONCERNOTION, IR REIENTE AIT ALL CLEARANCES MITH VONGOMBLET ELE MATERIALL CONTRACTOR FALL ESSER FORER CLEARANCES OF CHIMNEY AND FREEDLACE FIR NIME SULDING AND ENERGY CODES.

FRE FAB CHIMEM AND PREPLACE INSTALLATION OF FREFAS FLIES AND FIRST-ACES SHALL BS NIGHT ACCORDANCE AITH MANFACTIRES SITEOFICATION INSTALL PRESECTOR AR RECURSOR OF CODE FIRST-ACE SHALL BE WITH FREFAS WITH COMPANIELS FLIES AND SHALL BS ILLISTED NOTE 2 CLEARANCE AHERE RECURSOR TO COMPUSITIONE WATERIAL OR FER CODE.

FIREFLAGES SHALL HAVE TEYPERED GLASS FIRE DOORS AND CLOSABLE COMBUSTION AIR INTAKE DUOTS AND COMPLY AITH NYS, EVERSY CODE.

DAMPROOFING: FOUNDATION MALL SHALL SE DAMPROOFED WITH (2) SOATS OF ASPHALT AATERROOF NO OVER Y CEMENT BARGE (BLOCK WALL) OR CEMENT WASH (FOURED WALL) FROM DE L'ERROBATED FIRE FOOTNS DRAIN LAID IN IL D'STORE AITH LAYER OF SALT HAY AND FILTER PASKS OVER, DRAIN TO OUTFLOW ABOUT SROOM OR STONE DRYALL.

5. METALS

- THE DESIGN, FAST CATION, TRANSPORTATION, AND ERECTION OF ALL STRUCTURAL STEEL
- SHALL SE IN CONFORMACE WITH THE "STEEL CONFORMACE WITH THE "STEEL CONFORMACE WITH THE "STEEL CONFORMANCE WITH THE "STEEL CONFORMANCE WITH THE "STEECTION AND THE STEECTION AND THE STEECTION AND THE COSE". THE AMS DIES WELDEN SELECTIONS SHALL SE EFOXY FOR SMAN, WELDEN SHALL SELECTION FOR SMAN,
- AND LOW MYDROGEN. BLDING ELECTRODES SHALL SE ETOXX FOR SMAW, AND LOW HYDROGEN FOR FIELD.

- 2. WELDING ELECTRODES SHALL SE ETOXX FOR SMAX, AND LOW HYDROSEN FOR FELD WELDING.
 4. STRUCTURAL STEEL FOR HOT ROLLED PLATES ANGLES CHANNELS SHALL BE ASTM AS6, STRUCTURAL STEEL FOR HOT SECTION BEAMS SHALL BE 50 KS) A-492.
 5. STRUCTURAL STEEL FOR SHALL BE IN CONFELANCE NITH ASTM ASO, WHERE USED FOR COLUMNS, THE CENTER VOID SHALL BE STRUCTURAL FELLOP SOLID.
 6. STRUCTURAL BEING SHALL BE MANUFACTURED TO ASTM ASOT, GRADE B.
 7. STRUCTURAL SELD SHALL BE MANUFACTURED TO ASTM ASOT, GRADE B.
 6. ALL STRUCTURAL SELD SHALL BE MANUFACTURED TO ASTM ASOT, GRADE B.
 6. ALL STRUCTURAL SELD SHALL FEE MANUFACTURED TO ASTM ASOT, GRADE B.
 6. PRIMINE STAND THE STRUCTURAL SELE SHALL BE "4-55 VERSARE FRIMER." AS MANUFACTURED BY THE TIMENCE CO.
 6. STEEL SHALL BE SHEED ASTME.
- MANUFACTURED BY THE THEMEC CO.

 5. STEEL RAILINGS TO SE REARRICATED FER ASTM ASO I ASTM ASS FROM \$ BAR-STOCK
 AT BALUSTERS, 2° 30. TUBE INVELS, 2° SHAFED HANDRALINGS, BALL CAPS AT MEVELS
 PROVIDE FOXY CROUT SEEVE MICHORAGE WITH AS THAN EMPERMENT, RAILINGS MIST
 WITHSTAND 2007ALF AS GUARDRAILS, 50°/L/F AS HANDRAILS,
 I ALUMININ ARAILINGS MAD OF EXTRIDED BAR OR TUBE FER ASTM B221, ALLOY
 6068-T5/T52 STAINLESS STEEL TUBING FER ASTM ASSA, SUBMIT 2° X. 2° MINIMUM
 SAMPLE FOR AFFREYOWAL OF EACH FINISH CLEAR AND/CLE ANA GROWN
 12. LIGHT GAUSE METAL FRAMING SHALL BE IN ACCORDANCE WITH AMERICAN IRON AND
 STEEL INSTITUTE FUBILICATIONS.
- STEEL INSTITUTE PUBLICATIONS 13. PROVIDE 1/2" THI STEEL STIPPENER PLATES AT POINT LOADS, PROVIDE 1/2" THI STEEL BEARING AND BASEPLATES AT COLUMN LOCATIONS, BEAM POCKETS AT POUNDATION

6. WOOD AND PLASTICS

WALLS.

- THE DESISN, TRANSPORTATION AND ERECTION OF ALL STRUCTURAL LUMBER SHALL BE IN CONFORMANCE NITH THE THIREFT CONSTRUCTION MANUAL. THE AITC AND "NAUVAL FOR MODD FRANE CONSTRUCTION" FER ANSERICAN FORSET AND FAFEN ASSOC, LATES
- ALL STRUCTURAL LUMBER SHALL BE MACHINE RATED FOR THE FOLLOWING PROPERTIES: 2. ALL STRUCTIVAL LIMPER SHALL BE MACHINE RATED FOR THE POLLOWING PROPERTIFIED; 1850 791 RV) = 15 F91 E = 1850 000 P91 F(T) = 375 P91 F(C) = 335 P91 FERREND; F(C) = 325 P91 F(PARA).

 3. ALL LIMPER SHALL BE KIND ORDED TO MAXIMUM MOISTURE CONTROL OF 15%.

 4. SILLES, MAILERS AND LEDGERS MAY BE CONSTRUCTION GRADE.

 5. THE DESIGN TRANSPORTATION AND BEECHTON OF ALL PLYMODO SHALL BE IN ACCORDANCE INTH PROVISIONS OF THE AMERICAN FLYMODO ASSOCIATION.

 6. PLYMODO FOR FLOORS AND MALLS SHALL BE "STRUCTURAL I INT-DFPA".

 7. PLYMODO FOR FLOORS AND MALLS SHALL BE "STRUCTURAL I INT-DFPA".

 7. PLYMODO FOR ROOFS SHALL BE "STRUCTURAL I EXT-DFPA".

 8. JOISTMARTER HANGERS SHALL BE "STRUCTURAL I EXT-DFPA".

 8. JOISTMARTER HANGERS SHALL BE "STRUCTURAL I INT-DFPA".

 8. JOISTMARTER HANGERS SHALL BE "STRUCTURAL I EXT-DFPA".

 9. JOISTMARTER HANGERS SHALL BE "STRUCTURAL I BY "DFPA".

 9. JOISTMARTER HANGERS SHALL BE "STRUCTURAL I BY "DFPA".

 9. JOYNODO DE BURNERS SHALL BE "STRUCTURAL I BY "DFPA".

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 9. JOYNODO DE BURNERS

- PLYMOOD OVER JOISTS 6" O/C. MIN ISD NAILS
- PLYNCOD OVER JOISTS 6" O/G, MN IBD NAILS
 PLYNCOD POVER MALL STUDS 6" O/G & INTERIOR MEMBERS; MIN IBD NAILS
 NAILS 4" O/G & PAREL EDGES; MIN IBD NAILS
 ALL STRUCTURAL LURGER THAT IS EXPOSED TO MEATHER, IN CONTACT WITH THE FOUNDATION OR WITHIN IB" OF EARTH SHALL BE ACC-PRESSIVE TREATED PRESERVATIVE, PRESSIVE TREATMENTS SHALL BE IN ACCORDANCE WITH THE RECUIREMENTS OF THE AMERICAN WOOD PRESSERVES' ASSOC, PASTENERS (INSED WITH PRESSURE TREATED WOOD SHALL BE STAINLESS ASSOC, PASTENERS (INSED WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR GALVANIZED G-185 PROCESS
- II. FLYWOOD SHEATHING SHALL BE 5/6" THICK RAPIANT BARRIER CDX AT ROOFS 1/2" THICK CDX AT WALLS INDICATED, AND 3/4" THICK CDX AT FLOORS, ALL PLYWOOD SHALL BE APA RATED AND INSTALLED IN STACEPRED PATTERS, CONSTRUCTION ADRESIVE POX ALL FLYWOOD SUSFLOORING TO BE PER APA AF6-O.

DO NOT CUT HOLES IN DIMENSIONAL LUMBER FRAMING EXCEEDING 1/3 OF DEPTH WITH OUT CONTACTING ARCH. FOR REINFORCEMENT INSTRUCTIONS, DO NOT OUT HOLES OR NOTCHES AITHN 2" OF 100 OF BOTTOM OF MEMBER HOLES AND NOTCHES IN ENGINEERED FRAMING SHALL BE IN ACCORDANCE WITH MAINT, RECOMMENDATIONS.

INSTALL PRESSORE TREATED SILL PLATES AT TOP OF FOUNDATION WALL ANCHO WITH 1/2" DIA D' LONG ANCHOR EQLIS AT 6" OC. MAX. OVER SILL SEAL PROVIDE METAL TERMITE SHIELD AT BASE OF SILL PLATES.

CROSS BRIDGE JOISTS AT MIDSPAN OR 8" O.C., CORNER BRACE AS REG. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS.

FIRESTOP PENETRATIONS AND FIRE BLOCK ALL WALLS AND CEILING/WALL INTERSECTION PROVIDE DOUBLE JOISTS AND HEADERS AT FLOOR OFFINNSS AND BELOW PARALLEL PARTITIONS.

MINIMUM BEARING SHALL 5E 41 ON MASONRY AND I $1/2^{\circ}$ ON WD OR STU FOR DIM, LUMBER, AND AS RECOIMMENDED BY ENGINEERED LUMBER MANUF.

PRE-FAS MOOD TRUSSES SHALL COMPLY WITH THE TRUSS PLATE INSTITUTES "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED MOOD TRUSS CONSTRUCTION", SUBMISHOP DRAYMONS FOR APPROVAL.

PROVIDE DOUBLED LOISTS BELOW INTERIOR PARTITIONS RUNNING PARALLEL WITH THE FINISH CARPENTRY TO COMPLY WITH AMERICAN MOODWORK INSTITUTES "ARCHITECTURAL MOODWORK OJALITY STANDARDS" PREMIUM QUALITY LEVEL.

MOLDING PROFILES AS NOTED IN PINISH SCHEDULE, USE CLEAR POPLAR OR PINE, ALLOW

EXPOSED ENDS OF POSTS BEAMS OR RAFTERS TO BE COATED WITH WATER REPELLANT PRESERVATIVE CONTAINING 3-IODO-2PROPYNYL CARBAMATÉ COMBINED WITH INSECTICIDE CONTAINING CHLOROPYRIFOS AS ITS ACTIVE INSPEDIENT.

BUILDING DEPARTMENT NOTES

ZONING SCHEDULE

ACTUAL LOT AREA (SE)

CRITERIA

LOT WIDTH

LOT DEPTH

HEIGHT

LOT FRONTAGE

RONT YARD S.B. (1

SIDE YARD S.B. (1)

SIDE YARD S.B. (2)

TOTAL SIDE YARD

REAR YARD 5.B.

BUILDING COV.

F. A. R.

BASEMENT

FLOOR AREA RATIO:

ST FL LIVEABLE AREA

BASEMENT

ROOFED PORCHES

GARAGE

2ND FL LIVEABLE AREA

OTAL F.A.R. / LOT AREA

F. A. R. (SF)

VOLUME (CF)

BUILDING COV. (SF

LOT COVERAGE (SF)

LOT COVERAGE (SF)

IRST FLOOR AREA (SF)

SECOND FLOOR AREA (SF)

TOTAL LIVING AREA (SF)

JARAGE AREA (SF)

BASEMENT AREA (SF)

LOT AREA (SF)

AVG LOT WIDTH

60-55-471.20

USE GROUP: R-3

10.000.00

N/A

N/A

N/A

N/A

N/A

0.300

2400.00

21200

776

748

1524

776

8,000.00 MINIMUM LOT AREA: 10,000 SF

80.001

N/A

20.00

33.63

53.63

N/A

N/A

N/A

M/A

0.330

2636.00

1200

494

989

776

776

288

0.330

2636

REQUIRED EXISTING PROPOSED VARIANCE

8,000.00 NO CHANGE

CLASS: 5B

NO CHANGE

N/A

NO CHANGE

NO CHANGE

20.00

33.63

53.63

NO CHANGE

N/A

N/A

N/A

N/A

0.461

3686.00

1270

1243

2513

776

EXISTING (SF) ADDED (SF) TOTAL PROP (SF)

494

0

61

1050

0.131

ADDED TOTAL PROP

THIS PROJECT INVOLVES A PROPOSED TWO STORY ADDITION TO AN EXISTING TWO STORY FRAME DWELLING.

THERE IS ONE VARIANCE REQUESTED: WE ARE REQUESTING A 0.461 FLOOR AREA RATIO

USE GROUP:

/ARIANCE IN LIE OF 0.300 REQUIRED..

CONSTRUCTION TYPE: 5B UNPROTECTED

I.R.C. CODE INFORMATION GROUND SNOW LOAD= 45 LBS FROST LME DEPTH=42" MIN BELOW

25'-O" SETBACE

BAUER ST

PLOT PLAN

SCALE : 1" = 20'-0" SURVEY INFO TAKEN FROM PETER F. TERRAFRANÇA, R.A. DATED: 19-16-56

SEAL & SIGNATURE

ministration of the second

EX GARAGE

SITE PLAN & ZONING DATA

NO

NO

NO

YES.

NO

NO

NO

NO

NO

NO

YES

1270

1243

776

109

3686

0.451

TERMITE DAMAGE=MEDIUM TO HEAVY DECAT DAMAGE=SUGHT TO NED UN WINTER DESIGN TENR.= 7' ICE SHELD GUDERLAYREG = YES

PROJECT NO:

1 OF 4

EX DECK

SY SETEACE

UZZIAH B. COOPER IR.

10-27-18 CHECKED BY IJΖ SCALE: SHEET NO AS NOTED DRAWING NO: T-001 ARCHITECT NY 036003

PLOT PLAN ZONING & NOTES

PROPOSED ADDITION FOR: MICHAEL & KATHERINE DONAHUE

> 46 BAUER STREET TAPPAN, NY 10983

SECTION: 60 BLOCK: 55 LOT: 471.20

UZZJAG COOPER JR. DESIGNS 403 E 32ND St. Paterson NJ 07504 845-821-1472 UzziahCooperRA@hotmail.com

12-01-19 REDESIGN AS PER OWNER 01-07-19 ISSUED FOR BUILDING PERMIT 10-27-18 INITIAL DESIGN DATE SUBMISSIONS / REVISIONS

THERMAL AND MOISTURE PROTECTION

7.7

SATT NEULATION TO SE FISERGLASS BATTS W/ AITH VAFOR BARRIER RUP WALLS R CELLYGE/ROOF OR PLOORS/CEILING IN UNHEATED SPACES BELOW, VAFOR BARRIER TO WARM \$05. PIRE-RETARDANT WHERE REQUIRED.

RIGID INSULATION TO BE POLY SOCYANIZATE: 2" AT SLAB EDGE AND FNON PERIMETER (24) DOM: AND (24) N.

VAPOR BARRIER TO 55 6 MIL POLYETHELENS, OVERLAP AND TAPE SEAMS,

FLASH ALL ADJOINING SURFACES AND FENETRATIONS WITH METAL FLASHING AND SEAL.

#ROYING SIMILAR DRIF EDGE, SECURE TO ADJACENT SURFACES WITH FASTENERS TO RESIST
SECURED WIND LOADS, FASTICATE, FASTEN AND SEAL FER SMAJONA, STANDARDS, PROVIDE
SULT UP METAL-PLASHED CRICKETS AG REGÆRED.

FROVIDE FAINTABLE SILICONE SEALANT IN COLOR TO MATCH ADJACENT WHERE REQUIRED. PROVIDE BACKER RODS WHERE NEEDED, INSTALL FER ASTM 6920.

PROVIDE THROUGH-WALL AND FLOOR FIRESTOFFING FOR FENETRATIONS THROUGH FIRE-RATED ASSEMBLIES PER ASTM E BIH BY TREMCO OR SM FIRE PRODUCTS.

MOOD SIDNG TO BE REBUTTED AND REJOINTED RED CEDAR SIDNG, T' EXPOSURE, FULLY BACK-PRIMED, USE NO I. BLUE LASEL, ONLY. INSTALL FER CEDAR SHAKE AND SHINSLE SUREAU MANUAL.

PREMIM VINYL SIDING BY "ALCOA", MASTIC SERIES, CEDAR SHAKE PATTERN CD-TOP, INSTAL PER ASTN 03679, OB MIN. THICKNESS WITH MATCHING FACTORY PRINSED FOLTESTER-COATS ALMINIM TRIM ONLY WIERE CALLED FOR IN THE DRAWINGS, PROVIDE SAMPLES IN TEXTURE SELECTED, IN STANDARD COLOR RANGE FOR AFFROVAL USE MAXIMUM LENSTHS TO REDUCE THE NUMBER OF SEAMS, OVERLAF SHOULD BE ORIENTED AWAY FROM MAIN APPROACH TO

PROVIDE FRE FINISHED ALUM GUTTERS AND LEADERS WITH SELASH BLOCKS OR CONNECTIONS O DRIVELLS (V.LE) PROVIDE ALUMINUM DRIP EDGE AT THE EDGE OF ASSHALT SHINGLE ROOF PROVIDE SCREEN BASKETS AND SCREENED GUTTER COVERS. PROVIDE CORRIGATED HOPE BOOT AT GRADE TO JOIN SUBGRADE PIPING.

PROVIDE RIDGE VENT, CAVITY BAFFILES AND EAVE VENTS. 誌 MIN, VENT TO SF RATIO.

ASFAULT LAMINATED ROOF SHINGLE BY "TIMEERLINE", 40 YEAR, 3 TAB ARCH, ASPHALT ON BO'' ROOF FELT AT SLOPES 5.12 AND OVER, 1951 ICE 1 WATER SHIELD AT BOTTOM 36" FROM GUTTER AND AT VALLEYS BELOW 3.12 1951 ICE 1 WATER SHIELD THROUSHOUT PROVIDE SHINSLE SAMPLE FOR APPROVAL, INSTALL FER A.R.M.A. RESIDENTIAL ASPHALT ROOF MANJAL,

COPPER STANDING SEAM ROOFING TO BE 16 OZ, WITH LOCKING SEAMS SPACED 16" O.C. INSTALLED IN ACCORDANCE WITH COPPER DEVELOPMENT ASSOC, STANDARDS, PROVIDE ALL NECESSARY CLOSURE PIECES, BRACKETS, CLIPS AND UNDERLATMENTS AS REO. PROVIDE SEPARATOR MEMBRANET OF FREVENT GALVANIC ACTION WITH NON-COMPATIBLE METALS.

6. MOOD AND PLASTICS

- THE DESIGN, TRANSPORTATION AND ERECTION OF ALL STRUCTURAL LUMBER SHALL BE IN CONFORMANCE WITH THE "TIMBER COMBRIGHTON MANUAL", THE ATIC AND "MANUAL FOR WOOD PRANKE CONSTRUCTION" FER AMERICAN FOREST AND PAPER ASSOC, LATEST EDITION, ALL STRUCTURAL LUMBER SHALL BE MACHINE RATED FOR THE POLLOWINS PROPERTIES: F(S) = 1305 PSI (FI) = 1305

- PLYMOOD FOR FLOORS AND WALLS SHALL BE "STRUCTURAL I INT-DEPA" PLYMOOD FOR ROOFS SHALL BE "STRUCTURAL I EXT-DFPA

- 1. PLYMOOD FOR ROOPS SHALL BE "STRUCTURAL I EXT-OFFA"

 3. JOIST/RATTER HANGES SHALL BE 19 6 AGE GALVANIZED STEEL IND BY TECO OR SIMPSON, USE COMPATIBLE NAILS AS RECOMENDED BY MANUF.

 4. NALINDS SCHEDULES SHALL BE AS POLLOWS, UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS.

 FLYMOOD OVER MAIL STIDS 6" O/C, MIN ISD NAILS

 FLYMOOD OVER WALL STIDS 6" O/C @ INTERIOR NEMBERS, MIN ISD

 NAILS 4" O/C @ PANUE LEDSES, MIN IND NAILS

 10. ALL STRUCTURAL ILMBER THAT IS EXPOSED TO WEATHER, IN CONTACT INTH THE FOUNDATION OR MITHIN 16" OF EARTH SHALL BE ACCOPRESSURE TREATED PRESERVATIVE, PRESSURE TREATMENT SHALL BE IN ACCORDANCE MITH THE ROUNSEMENTS OF THE AMERICAN MOOD PRESSERVERSY ASSOC. PASSIBLES UNSED MITHIN THE RECOMBENIS OF THE AMERICAN MOOD PRESSERVERSY ASSOC. PASSIBLES UNSED WITH THE RECOMBENES OF SHALL BE STAINLESS STEEL OR GALVANIZED G-105 PROCESS.
- PLYWOOD SHEATHING SHALL BE 5/6" THICK RADIANT BARRIER CDX AT ROOFS 1/2" THICK CDX AT WALLS INDICATED, AND 3/4" THICK CDX AT FLOORS, ALL PLYWOOD SHALL BE APA RATEO AND INSTALLED IN STAGGERED PATTERN, CONSTRUCTION ADHESIVE FOR ALL FLYWOOD SUBFLOORING TO BE FER APA APG-01.
- 12. ENSINEERED LUMBER BY TRUS-JOIST MCMILLAN INSTALLED FER MANUFACTURERS

DO NOT CUT HOLES IN DIMENSIONAL LUMBER FRAMING EXCEEDING 1/3 OF DEPTH WITH OUT CONTACTING ARCH, FOR REINFORCEMENT INSTRUCTIONS, DO NOT CUT HOLES OR NOTCHES WITHIN 27 OF FOR OF BOTTOM OF MEMBER HOLES AND NOTCHES IN ENGINEERED FRAMINS SHALL BE IN ACCORDANCE WITH MAINST, RECOMMENDATIONS.

INSTALL PRESSURE TREATED SILL PLATES AT TOP OF FOUNDATION MALL ANOHD WITH $I/2^\circ$ DIA, δ° LONG ANCHOR BOLTS AT δ° O.C. MAX. OVER SILL SEAL, FROVIDE METAL TERMITE SHIELD AT SASE OF SILL PLATES.

CROSS BRIDGE JOISTS AT MIDSPAN OR 8" O.C., CORNER BRACE AS REQ. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW FOSTS.

FIRESTOP PENETRATIONS AND FIRE BLOCK ALL WALLS AND CEILING/MALL INTERSECTIONS AND WHERE REQUIRED BY CODE.

PROVIDE DOUBLE JOISTS AND HEADERS AT FLOOR OPENINGS AND BELOW PARALLEL PARTITIONS

MINIMUM BEARINS SHALL BE 4" ON MASONRY AND 1 1/2" ON MD OR STL FOR DIM, LUMBER, AND AS RECOMMENDED BY ENGINEERED LUMBER MANUF.

FRE-FAB MOOD TRUSSES SHALL COMPLY WITH THE TRUSS PLATE INSTITUTES "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED MOOD TRUSS CONSTRUCTION", SUBMIT SHOP DRAMINGS FOR APPROVAL

FROVIDE DOUBLED JOISTS BELOW INTERIOR PARTITIONS RUNNING PARALLEL WITH THE JOISTS.

FINISH CARPENTRY TO COMPLY WITH AMERICAN WOODWORK INSTITUTES "ARCHITECTURAL MODDWORK GUALITY STANDARDS"-FREMIUM QUALITY LEVEL

MOLDING FROPILES AS NOTED IN FINISH SCHEDULE, USE CLEAR POPLAR OR PINE, ALLOW MOOD TO SEASON ON SITE, SCARF JOINTS.

OUTLINE SPECIFICATIONS

EXPOSED EXIOS OF POSTS, SEAMS OR RAFTERS TO SE COATED WITH WATER REPELLANT PRESERVATIVE CONTAINING 5-1070-29R09*NYL CARBAMATE COMBINED WITH INSECTICIDE CONTAINING CHLOROPYRIFDS AS ITS ACTIVE INGREDIENT.

PROVIDE MATER-PROOFING AT THE DITBIDE OF THE FOUNDATION MALLE SOMBISTING OF ENUTHERS' 4000 (OR EDIAL) SO MIL SHEET WITH WHY ASPHALTIC PROTECTION BOARD AND DIFFLED DRAINAGE BOARD.

and the control of th

APPLY COLD-APPLIED ASPHALT EMASSION DAMPPROOFING TO THE CAVITY FACE OF MASSINRY BACKUP FOR MASCARY CAVITY MALLS, USE PRIMER PLUS ONE COAT AT A RATE OF I

FILL ALL SMALL CAVITIES IN FRAMING, AND ANVILAR PIFE PENETRATIONS WITH "GREAT STUPP" EXPANDABLE URETHANE SEALANT FOAM.

PROVIDE FIRE PUTTY SEALANT AT HOLES FOR PIPES, CONDUITS AND SIMILAR PENETRATIONS

LOW SLOPE ROOFINS TO BE BY "SIFLAST" OR EQUAL, PARADIENE 20/20 SES MEMBRANE AND COLD APPLIED ADHESIVE AND VERAL COPINS PROVIDE I/2" PERLITE BD ON TAPERED RIGID INSLATION WERE REO.

INSULATE MECHANICAL SERVICE LINES AND EOUP, IN ACCORDANCE WITH BEST INDUSTRY AND TRADE FRACTICES.

MINDOWS ARE FELLA MINDOWS, VINYL GLAD (MATCH EXISTING) V.I.F. INSIL., LOW E (34 U MAX.) GLAZING MITH SCREENS, EXTENSION JANCS AS READT, MOTE DIFFERENT MALL THICLS), FINISH AS SELECTED ST OWNER OR AS REQUIRED TO MATCH EXISTING, MINDOW ARDWRAKE FINISH AS SELECTED ST OWNER. TEMPERED GLASS WERE REQUIRED ST CODE, PROVIDE MINDOW ACCEPTUATE OR REVIEW BEFORE FUNCHAET, ALL MINDOWS TO BE TRATIFIES STRIPPED, FLASHED AND CAULKED.

HARDMARE AS MANUFACTURED BY, HINGES-"STANLEY", LOCKSETS AND LATCHSETS-"YALE", SELF-CLODING HINGES-"BONNER", SLIDING DOOR SETS & POCKET SLIDERS-"HAGER", SELF-"HERESTRIPING & THRESHOLDS-"FEVKO", DOOR STOPS & BIFOLD DOOR SETS- "STANLEY", FINISH AS SELECTED OR AS REQUIRED TO MATCH HASTING, HARDWARE PUNCTIONS FER BUILDERS HARDMARE MANUFACTURERS ASSOCIATION STANDARDS.

EXT. DOORS ARE BASED ON "MORGAN" EXTERIOR GRADE I 3/4" PINE 7000 SERIES, WITH ADJOINING SIDELIGHTS AS SHOWN, WITH FRAME, (OR AS NOTED ON DRAWINGS).

INTERIOR DOORS ARE BASED ON "MORGAN" INT. GRADE I 3/6" ___ PANEL PINE IOCO SERIES WITH FRAME. (OR AS NOTED ON DRAWINGS)

STEEL DOORS FOR EXTERIOR USE SHALL BE INSULATED 14 6A, FRAMES, AND 16 STEEL FACE DOOR, INTERIOR USE SHALL BE 16 6A, FRAMES WITH 18 6A, STEEL PACE DOOR,

UNLESS NOTED OTHERWISE ALL GYPSUM MALLBOARD TO BE 1/2 TYPE X. USE MR. (GREENBOARD)
TYPE X. AT ALL MALLS ADJACENT TO PLUMSINS FISTURES. SCREVED AND GUIDD FER LEVEL 5
GYPSUM ASSOCIATION STANDARDS. USE MOLD RESISTANT AT ALL SUBGRADE LEVELS AND
NON-CONDITIONED SPACES (MOLD-TOUGH BY USE OR EQUAL).

FROVIDE CORNER BEADS, CASING BEADS AND TRIM AS REQUIRED TAPE AND SPACKLE ALL

STUCCO PORTLAND CEMENT FLASTER TO BE 3 COAT ON EXPANDED DIAMOND LATH, PROVIDE CONTROL. JOINTS AT 30' MAX AND AT FLOOR LEVEL JUNCTURE, ALIGN MITH NEARBY MINDOW OR DOOR EDGE, PROVIDE SCREEDS, CORNER BEADS, AND ACCESSORIES FOR COMPLETE INSTALLATION FER PORTLAND CEMENT ASSOCIATION STANDARDS,

MOOD FLOOR TO BE 3/4"X 2, 1/4" T 16. OAK TO MATCH EXISTS (SEE FIN, SCHEDJW) BLDG FELT AND CAMITY INSULTABLE RED, ALLON MOOD FLOOR MATERIAL TO SEASON ON SITE FER MANF, GUIDELINES, ALLON CAP' AT EDEST FOR EXPANSION PER MANFAURERES

CERAMIC TILE TO BE THINSET METHOD ACCORDING TO CERAMIC TILE INSTITUTE STANDARDS. PROVIDE COVE, BUILLINGED AND SPECIAL SHAPED TILE, GROUT AND SEAL, USE GROUT AS RECOMMENDED BY TILE HANNE, COLOR TO BE SELICED, SEAL GROUT, PROVIDE MARQUE SADDLES AT PL. TILE USE MUDSET TILING APPLICATION FOR SHOWER ENCL TO DRAIN W FULLY BONDED PVC LINEA-PAN BELCY.

USE 1/2" CEMENT BACKER BOARD BEHIND CER, TILE AT TUB/SHAR SURROUNDS.

PROVIDE WATERPROOF VINY'L MEMBRANE (OR EQUAL) BELOW CER. 4 MARBLE FLOOR TILE, TURK

PAINT SHALL BE "FRATT AND LAMBERT" EXTERIOR LATEX, FLAT-SIDING SATIN; FOR TRIM AND DOORS, INTERIOR GMS, ESGENEL LUSTER: MALLS SATIN; TRIM AND DOORS, FREP ALL SIRFACES FRE MANE, INSTRUCTIONS PRIME AND PAINT ALL SCHEDILED SURFACES 2 COATS MIN. COLORS TO BE SELECTED, PROVIDE 2" X 2" MOCKUP FOR AFFROYAL OF EACH COLOR. APPLY PAINT WITHIN AREAS LIGHTED AT A MINIMUM IOD FOOTCANDLES.

FROVIDE IO% ATTIC STOCK TILE & PAINT FOR FUTURE CANER USE.

TOILÉT ACCESSORIES FROVIDED BY OWNER, INSTALLÉD BY GC, PROVIDE BLOCKINS AND ANCHORAGE WHERE REQUIRED.

KITCHEN CABINETS AND VANITIES SHALL BE PREMI, GRADE, 3/41 PLYKO FINISH CONSTRUIN STOCK SIZES WITH FILLER PANELS AS REQ. (KRAFTMAHD OR EQUAL) SOLID RECESSED PANEL SHAKER STYLE DOORS, W. PULL EXTENSION HEAVY DUTY DRAWER GLIDES., RECYCLING BINS, ROLL-OUT SHELVES AND ACCESSORIES AS REO'D LIGHT HONEY FINISH FINIS, SUBMIT SAMPLE DOOR FOR APPROVAL, INSTALL CASINETS FER AM SECTION 1700, STRAIGHT, LEVEL AND FREE OF DISTORTION TO ALLOW FOR INSNOUMBERED OPERATION, CABINET HARDWARE SHALL COMPLY WITH BHMA AIBS.4.

FROVIDE CABINET SHOP DRAWINGS FOR REVIEW AND APPROVAL.

KITCHEN COUNTERTOPS TO BE I 1/4/4, MED, GREY FIETRO CORDOZA MITH 4" STONE BACKSFLASH, COUNTERTOP SHALL HAVE LEADING BULLNOSED EDGE, FARKSFLASH SHALL BE TILED ABOVE DOSE BACKSFLASH TO BOTTOM OF MALL CABINET, FROVIDE STONE SHAMPLES OR SHOWN MISH TO APPROVAL, MM, SIA" OVERHANS BEYOUND BASE CARBINETS, COORDINATE ALL CUTOM'S AND TEMPLATES MITH OTHER TRADES, INSTALL WITH FEREST SEAMS POSSIBLE.

PLASTIC LAMINATE CABINETS AND COUNTERTOPS TO COMPLY WITH AMI SECTION 400.

SOLID POLYMER SURFACING SHALL BE FABRICATED WITH THE PEWEST POSSIBLE. SEAMS AND INSTALLED ON OPEN WED SUBSTRATE ON IS CENTERS.

PLIMEING - DOMESTIC WATER FIRING SHALL SE COFFER, SOLDERED L'DINTS, SANITARY AND VENT TO BE CAST RICK, STORM UNDERSCR. CHALL DE PVC., FROVIDE VALUES AND RECESSARY FITTINGS TO RECIPIET THE STYSTEM COPHIETE AND DIESENTONAL, FROVIDE FINTINGS AS SHOWN ON THE PLANS & INSTALL WATER HAMMER ARRESTER AT THE BOTTOM OF EACH LINE TO ASSORDS SHOCK, SAS SERVICE INSIGES SHALL BE LIZAC, RICK) PER CODE.

PROVIDE 3 PROST FREE HOSEBIBS IF NOT CALLED OUT ON PLANS OTHERWISE.

ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM CHIER TRADED AS ASIL AS PROPERLY INSLATED OR HEAT TRACED, FROM DE ASSESSELE SHUTOFF VALVES FOR INTURES AND APPLIANCES.

FRONDE NEM 50 6AL 6AS FRED HA HEATER COORS, LOCATION MY ARCH, ALI BATHRODY PLUMBING PININGET TO 35 WHITE, FALCETE AND PININGE TO 35 SRUSHED OR SATIN CHROME, FULLY 1635 AND MAKE STRIBERG OFFERT ONAL.

FROVIDE NEW CAST-IRON RADIATORS OR RECESSED RADIATORS TO MATCH EXISTING, PROVIDE

HYAC- PROVIDE AND MODIFY DUCTIVORS REGISTERS AND DIFFLOERS, DAMPERS AS REDURED TO COMDITION THE NEW AND EXISTING SPACES TO TO DESCREES INDODES HEN DIFFLOE TO FERROR REACHES ON DESCREES, AND TO DESCREES HAVE DIFFLOE TEMPERATURE REACHES ON DESCREES, AND TO DESCREES HAVE DIFFLOE TEMPERATURE REQUESTED STEAM HYMMERS INDODES HOS TOWN HAVE UNIT IN ATTIC. SPRANCHEY ZONE IST FLAND SUPPLIE REQUESTED REACHES AND EXPLICIT TOWN HAVE UNIT IN ATTIC. SPRANCHEY ZONE IST FLAND SUPPLIED STEAM FRANCHICA SHE PRESIDENT ACTION. LOCATE CONDITIONS OF THE THIRD PROPERTY LINE STEAK SON RECAST CONSISTE FADS. LOCATE REPRISERANT LINES WITHIN EXTRA DEDICATED NON-FUNCTIONAL GLITTER LEADER. FROMICE TRYPTING PANS AND ALARM AT EACH AND MINIMARY AND SEER VALUE IS, CONDENSOR UNITS MUST MEET APPLICABLE NOISE DE RATINGS.

PROVIDE EXHAUST VENTILATION FROM BATHROOMS, KITCHENS PER CODE IF NOT OTHERWISE SPECIFIED.

PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL OF HYAC LAYOUT.

FIRE SPRINKLER SYSTEM WHERE REQUIRED SHALL CONFORM WITH NEPA 15, LIGHT HAZARD, PROVIDE SHOP DRAWINGS, CONFIRM ADEQUATE WATER SUPPLY,

CENTRAL, VACUM SYSTEM BY "EUREKA" DROP DOWN FABRIC FILTER SYSTEM, PROVIDE (I) ELECTRICAL INLET FER 600 SF OF PLOOR AREA, SYSTEM MINIMAM REQUIREMENTS INCLUDE: FO CRM SICTION 95 MATER COLUMN HEIGHT, FROVIDE ALL REQUIRED HOSES, ELECTRICAL CONNECTIONS, ADAPTERS, AND FITTINGS.

PROVIDE NEX WATER-FONERED SUMP PUMP BY LIBERTY SUID OR EQUAL IN SUITABLE POLYSTIM-LIBERTY, ACCESSORIES, FIRINS, CONNECT TO PERMITTER FRENCH DISAIN AND PROVIDED DISAVANCE TO COUR APPROVED DRAINASE OUTLET. HIT ERE 1000 S 5541

PERIMETER FRENCH DRAIN TO SE SUILT OF PERFORATED 4" FERFORATED FVG WRAFFED IN LAYER OF I "GRAVEL AND FILTER FABRIC PIPED TO SUMP-PIT OR DRYWELL WITH MINIMUM SLOPE OF IMIOON FATCH FERNISTER OF BASEMENT FLOOR SLAS, PROVIDE YET ALARM WIEN WATER COMES WITH 4" OF SUMP PIT TOP, CONTACT OWNER FOR ALARM NOTHICATION.

PROVIDE NEW "MITS/BISHI" MR SLIM DUCTLESS A/C (12.6 MBTU) MITH CONDENSOR AND REG. ACCESSORIES, LOCATE CONDENSOR PER OWNER'S DIRECTION

DUCTS: ALL DUCTS SHALL BE FABRICATED AND RIGIDLY INSTALLED WITH REQUIRED BRACING AND SUPPORTS. IT ME MAIN SUPPLY AND RETURN DUCT SHALL BE SOLATED FROM THE HEARER AND BLOWER BY PEANS OF FABRIC INSULATIONS, PROVIDE DUCT DAMPER FOR EACH SUN, INSULATE ALL DUCTS LOCATED IN GARAGE, ATTIC, AND INHEATED AREAS, ACOUSTICAL INSULATED DUCTS IN OFFICIAE, INSETING AND MEDIA ROCKING.

GRILLS AND REDISTERS, FROVIDE SUPPLY AND RETURN REDISTERS IN EACH ROOM, ALL SUPPLY GRILLS TO HAVE ADJUSTABLE DAMPERS, FLOOR GRILLS TO BE 10000 TO MATCH 10000 FLOOR MERER APPLICABLE.

BALANCING, HEATING CONTRACTOR SHALL BALANCE ENTIRE HOUSE SO THAT ALL ROOMS HEAT AND COOL EVENLY TO THE REQUIRED TEMPERATURE SET ON THE THERMOSTAT.

DUCT INSULATION:

SUPPLY DUCTS IN UNCONDITIONED ATTICS OR OUTSIDE THE BUILDING MUST BE INSULATED TO R-8 RETURN DUCTS IN UNCONDITIONED ATTICS OR OUTSIDE THE BUILDING MUST BE INSULATED TO

SUPPLY DUCTS IN UNCONDITIONED SPACES MUST BE INSULATED TO R-8

RETURN DUCTS IN UNCONDITIONED SPACES (EXCEPT BASEMENTS) MUST BE INSULATED TO R-2 (NEULATION IS NOT REQUIRED ON RETURN DUGTS IN SASEMENTS.

ALL JONTS, SEAMS, AND CONNECTIONS MUST BE SECURELY PASTENED WITH MELDS, GACKETS, MASTICS, (ADMESIVES), MASTIC PLUS-SEMBEDDED-FARRIC, OR TAFES, DUCT TAFE IS NOT PERMITTED. -EXCEPTION: CONTINUOUSLY WELDED AND LOCKINS-TYPE LONSITIONAL JOINTS AND SEAMS ON DUCTS OPERATING AT LESS THAN 2 II. //ds. 1500 PA). DUCTS SHALL BE SUFFORTED EVERY IC FEET OR IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

COOLING DUCTS WITH EXTERIOR INSULATION MUST SE COVERED WITH A MAROR RETARDED.

AIR FILTERS ARE REQUIRED IN THE RETURN AIR SYSTEM.

THE HVAC SYSTEM MUST PROVIDE A MEANS FOR BALANCING AIR AND WATER SYSTEM

EACH DISELLING UNIT HAS AT LEAST ONE THERMOSTAT CAPABLE OF AUTOMATICALLY ADJUSTING THE SPACE TEMPERATURE SET POINT OF THE LARGEST ZONE.

HVAC PIFING CONVEYING FLUIDS ABOVE ICS DEGREES F OR CHILLED FLUIDS SELON 55 DEGREES F MUST BE INSULATED TO THE LEVELS IN TABLE 2.

MINIMUM INSULATION THICKNESS FOR CIRCULATION HOT WATER PIPES INSULATION THICKNESS IN

HEATING:

FEATING AND AIR CONDITIONING, SHALL BE OIL-FIRED HYDRO AIR SYSTEM COMPLETE WITH BOILER, HYDRONIC ZOME CONTROL, THERMOSTATES, OIL TANK, ETC. FOR BIZONES PROVIDE DOMESTIC FOR MATER COIL OR SEMARATE CIRCULATING STORAGE TANK IF REDIRED IN BOILER, FROMDE AIR HANDLING INTO, CONDENSESS, INSLANDD SUPPLY DUTS AND VENTS TO EACH ROOM, FRATING AND COOLING SYSTEM TO BE DESWIED AND GUARANTESD TO CONFORM TO THE LATER ANDREAS THE SEMESTIC AND THE ENERGY CODE OF NEW YORK STATE, HEATING SYSTEM SHALL SE DESIGNAD AND GUARANTESD TO MAINTAIN 151 DESKEES F. NOOOR TEMPSTANDER WITH TO SEGRETS F. NOOOR TEMPSTANDED. TEMPERATURE WITH 11 DEGREES IT OUTDOOR TEMPERATURE.

DICTS, ALL DICTS SHALL BE FARRICATED AND RIGIDLY INSTALLED MITH REGIRED BRACING AND SUPPORTS THE MAIN SUPPLY AND RETURN DUCT SHALL BE ISOLATED TROM THE HEATER AND SUGARS BY MEANS OF FARRIC INSULATORS, PROVIDE DICT DAMPER FOR EACH RUN. INSULATE AU, DICTS LOCATED IN GARAGE, ATTIC AND INPERTURNATION AREAS.

GRILLS AND REGISTERS, PROVIDE SUPPLY AND RETURN REGISTERS IN EACH ROOM, ALL SUPPLY GRILLS TO HAVE ADJUSTABLE DAMMERS.

BALANCING: HEATING CONTRACTOR SHALL BALANCE ENTIRE HOUSE BO THAT ALL ROOMS HEAT EVENLY TO THE REQUIRED TEMPERATURE SET ON THE THERMOSTAT.

LOADING DESIGN CRITERIA LIVE LOAD DEAD LOAD TOTAL LOAD FIRST FLOOR 40 PSF 15 PSF 55 PSF SECOND FLOOR 30 PSF 15 PSF 45 PSF 20 PSF 10 PSF 30 PSF IROOF 30 PSF 17.5 PSF 47.5 PSF ALL CONCRETE MIN. Fb = 3,500 PSI

UZZJAG COOPER JR. DESIGNS

403 E 32ND St. Paterson NJ 07504 845-821-1472 UzziahCooperRA@hotmail.com 12-01-19 REDESIGN AS PER OWNER 01-07-19 ISSUED FOR BUILDING PERMIT 10-27-18 INITIAL DESIGN DATE SUBMISSIONS / REVISIONS

NOTES & ENERGY CALCULATIONS

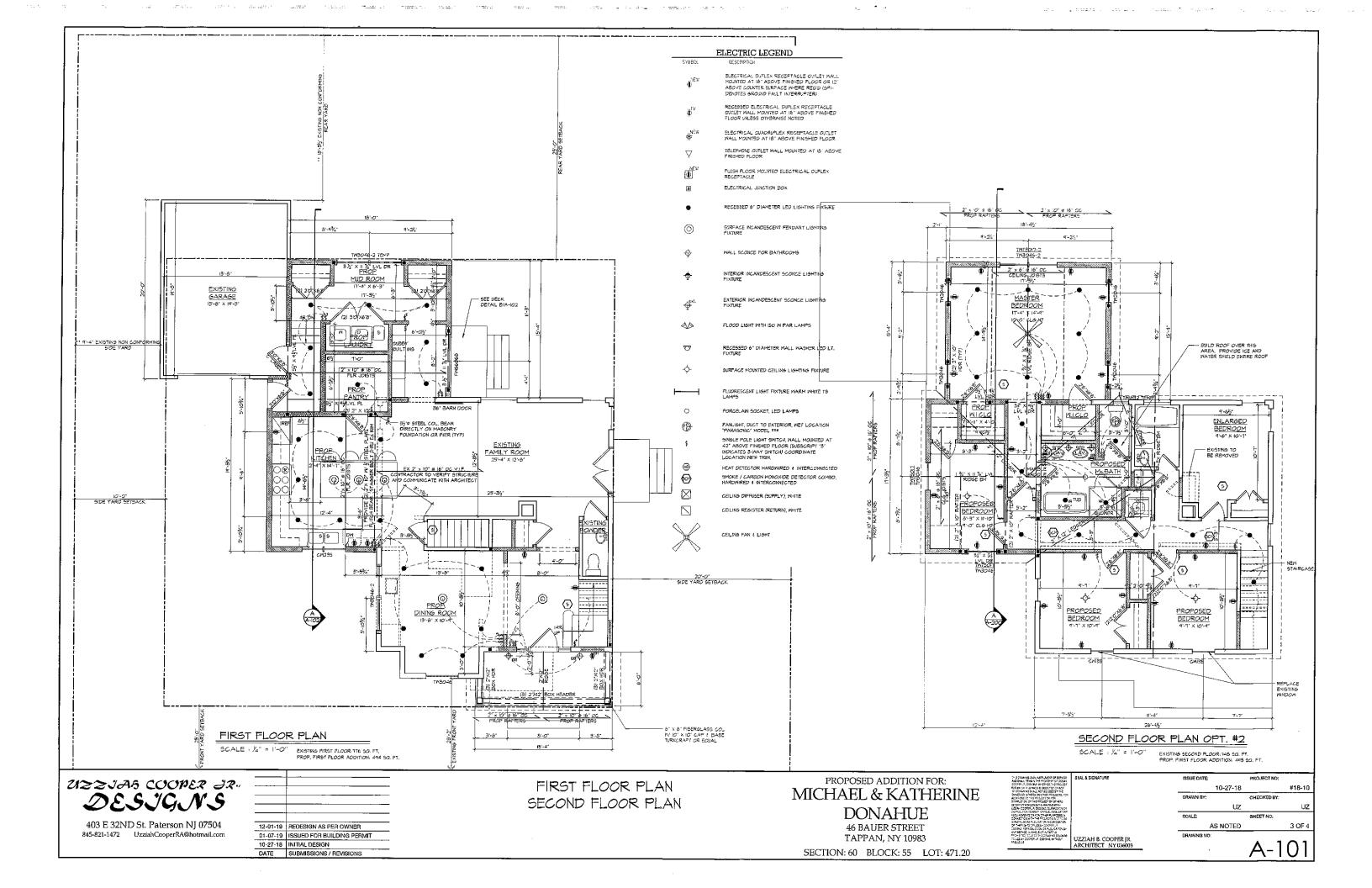
PROPOSED ADDITION FOR: MICHAEL & KATHERINE **DONAHUE** 46 BAUER STREET TAPPAN, NY 10983

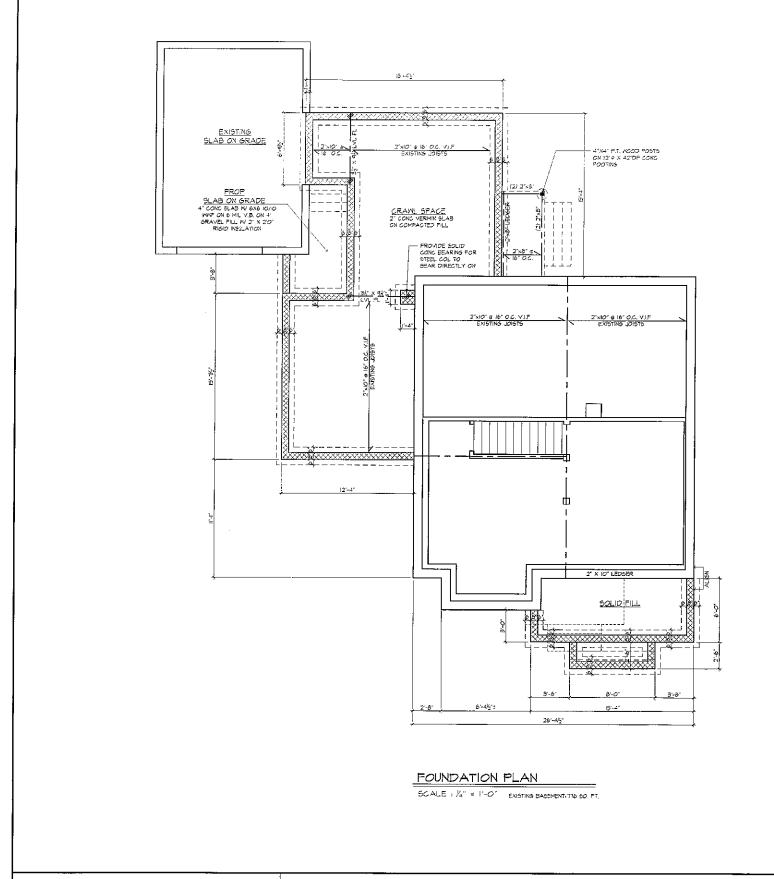
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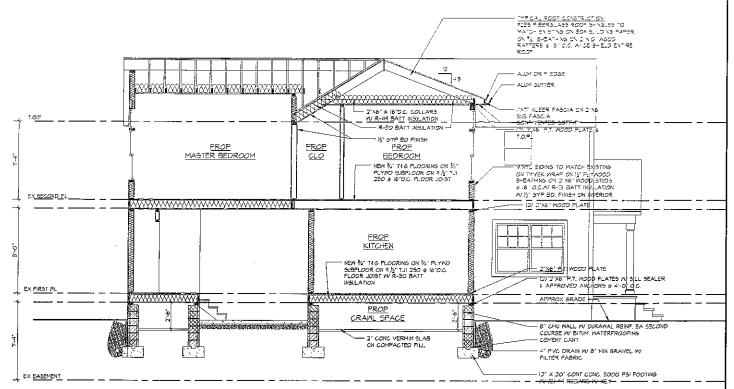
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SECTION: 60 BLOCK: 55 LOT: 471.20





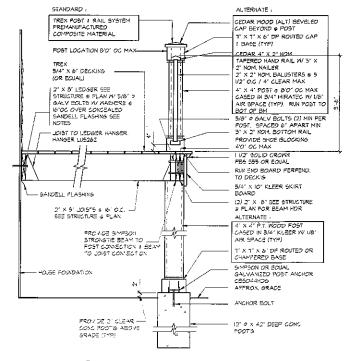
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A SECTION

SCALE : 1/4" = 1'-0"

A-100, A-101



B DECK DETAIL
A-102 SCALE : 32 = 11-01

UZZIAG COOPER IR. DESIGNS

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403 E 32ND St. Paterson NJ 07504 845-821-1472 UzziahCooperRA@hotmail.com 12-01-19 REDESIGN AS PER OWNER
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DATE SUBMISSIONS / REVISIONS

FOUNDATION PLAN SECTION / DETAILS PROPOSED ADDITION FOR:
MICHAEL & KATHERINE
DONAHUE
46 BAUER STREET

TAPPAN, NY 10983

SECTION: 60 BLOCK: 55 LOT: 471.20

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