

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: \_\_\_\_\_

**2020 LAND USE BOARD APPLICATION**

*Please check all that apply:*

<input type="checkbox"/> Commercial <input type="checkbox"/> Residential <input type="checkbox"/> <b>Planning Board</b> <input type="checkbox"/> <b>Zoning Board of Appeals</b>  <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> <b>Historical Board</b> <input type="checkbox"/> <b>Architectural Board</b>  <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
--	--

PERMIT#: 49937  
 ASSIGNED \_\_\_\_\_  
 INSPECTOR: mm

Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

**Project Name:** Donahue Addition

**Street Address:** 46 Bauer St. Tappan, NY

**Tax Map Designation:**  
 Section: 77.08 Block: 2 Lot(s): 20  
 Section: 77.08 Block: 2 Lot(s): 20

**Directional Location:**  
 On the East side of Bauer St., approximately  
300 feet south of the intersection of Kings Highway, in the  
 Town of ORANGETOWN in the hamlet/village of \_\_\_\_\_.

<b>Acreage of Parcel</b> <u>.19</u> <b>School District</b> <u>South Orangetown</u> <b>Ambulance District</b> <u>South Orangetown</u> <b>Water District</b> <u>Suez</u>	<b>Zoning District</b> _____ <b>Postal District</b> <u>Tappan</u> <b>Fire District</b> <u>Tappan</u> <b>Sewer District</b> <u>Orangetown</u>
---	---

**Project Description:** *(If additional space required, please attach a narrative summary.)*  
Adding a 1000 square foot addition to the south side of the house, attaching to the garage. Moving the kitchen  
the back of the house and adding a full bathroom and master bedroom to the upstairs. We are converting the h  
from a three bedroom to a five bedroom

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 5/1/2020 Applicant's Signature: [Signature]

# APPLICATION REVIEW FORM

**Applicant:** Michael Donahue Phone # 8458213116

**Address:** 46 Bauer St. Tappan NY 10983  
Street Name & Number (Post Office) City State Zip Code

**Property Owner:** Michael Donahue Phone # 8458213116

**Address:** 46 Bauer St. Tappan NY 10983  
Street Name & Number (Post Office) City State Zip Code

**Engineer/Architect/Surveyor:** Uzziah Cooper Phone # 8458211472

**Address:** 403 E. 32nd St. Patterson NJ 07504  
Street Name & Number (Post Office) City State Zip Code

**Attorney:** Phone #

**Address:** Street Name & Number (Post Office) City State Zip Code

**Contact Person:** Michael Donahue Phone # 8458213116

**Address:** 46 Bauer St. Tappan NY 10983  
Street Name & Number (Post Office) City State Zip Code

## GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:  
(Check all that apply)

**IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.**

- |   |   |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path            | <input type="checkbox"/> County Stream        |
| <input type="checkbox"/> Municipal Boundary   | <input type="checkbox"/> County Facility      |

List name(s) of facility checked above:  
\_\_\_\_\_  
\_\_\_\_\_

### Referral Agencies:

- |  |  |
|--|--|
| <input type="checkbox"/> RC Highway Department       | <input type="checkbox"/> RC Division of Environmental Resources  |
| <input type="checkbox"/> RC Drainage Agency          | <input type="checkbox"/> RC Dept. of Health                      |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority       | <input type="checkbox"/> Palisades Interstate Park Commission    |
| <input type="checkbox"/> Adjacent Municipality _____ |  |
| <input type="checkbox"/> Other _____                 |  |

# APPLICATION REVIEW FORM

## FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

### If subdivision:

- 1) Is any variance from the subdivision regulations required? no
- 2) Is any open space being offered? no If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? no

### If site plan:

- 1) Existing square footage 1524
- 2) Total square footage 2513
- 3) Number of dwelling units single

If special permit, list special permit use and what the property will be used for.

---

---

### Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area no

Are there streams on the site? If yes, please provide the names no

Are there wetlands on the site? If yes, please provide the names and type:

no

---

### Project History:

Has this project ever been reviewed before? no

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

---

---

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

section 77.08 block 2 lot 20

---

---



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
**TOWN OF ORANGETOWN**  
20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**APPEAL TO ZONING BOARD OF APPEALS**

Date: April 27, 2020

Applicant: Robert Stout for Michael Donahue

Address: 46 Bauer Street, Tappan, NY 10983

RE: Application Made at: same

Chapter 43, Table 3.12, RG, Column 11, rear yard required is 25', proposed 18'-5 1/2". Variance required.

Section: 77.08 Block: 2 Lot: 20

Dear Mr. Stout:

Please be advised that the Building Permit Application, which you submitted on

March 19, 2020, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
12-31-18-CCC

4-27-2020

Date  
CC: Rosanna Sfraga  
Liz Decort  
Debbie Arbolino

**PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.  
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.  
APPLICATION FOR BUILDING / DEMOLITION PERMIT**

**TOWN OF ORANGETOWN**

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: <u>RG</u>	OFFICIAL USE ONLY	ACREAGE: _____
Inspector: <u>MM</u>	Date App Received: <u>3/19/2020</u>	Received By: <u>dcor</u>
Permit No. <u>49937</u>	Date Issued: _____	
CO No. _____	Date Issued: _____	
Permit Fee: <u>\$2292</u>	Ck# <u>5976</u>	Paid By <u>RWS Homes LLC</u>
GIS Fee: <u>\$20</u>	Ck# <u>5975</u>	Paid By _____
Stream Maintenance Fee _____	Ck# _____	Paid By _____
Additional Fee: _____	Ck# _____	Date Paid _____
1 <sup>st</sup> 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____
2 <sup>nd</sup> 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____

**RECEIVED**  
MAR 19 2020  
TOWN OF ORANGETOWN  
BUILDING DEPARTMENT

**APPLICANT COMPLETES:**

Note: See inside for instructions for completing this application.  
**PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.**

Property Location: 46 Bauer St. Tappan, NY 10983

Section: 77.08 Block: 2 Lot: 20

Property Owner: Michael Donahue

Mailing Address: 46 Bauer St. Tappan, NY 10983

Email: mk.donahue1@gmail.com Phone #: (845) 821-3116

Lessee (Business Name): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Email: \_\_\_\_\_ Phone #: \_\_\_\_\_

Type of Business /Use: \_\_\_\_\_

Contact Person: Robert Stout Relation to Project: G.C.

Email: rstout@rwsbuild.com Phone#: 845-551-2055

Architect/Engineer: \_\_\_\_\_ NYS Lic # \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Builder/General Contractor: RWS Homes LLC RC Lic # 11405

Address: 228 E Route 59 #174 Nanuet, NY 10954 Phone#: 845-551-2055

Plumber: All County Mechanical Inc RC Lic # 01091

Address: 67 N. Middletown Rd. Nanuet, NY 10954 Phone#: (845) 527-7397

Electrician: James Murphy Electric RC Lic # 00566

Address: 30 Old School Ln. Orangeburg, NY 10962 Phone#: (845) 558-7022

Heat/Cooling: All County Mechanical RC Lic #: 01091

Address: 67 N. Middletown Rd. Nanuet, NY 10954 Phone#: (845) 527-7397

Existing use of structure or land: Single Family House

Proposed Project Description: AV Studio addition (AV) + kitchen in 2<sup>nd</sup> floor

Proposed Square Footage: \_\_\_\_\_ Estimated Construction Value (\$): 120,000

**BUILDING DEPARTMENT COMPLETES BELOW**

PLANS REVIEWED: \_\_\_\_\_

PERMIT REFERRED / DENIED FOR: CHAPTER 43, TABLE 3.12 Col. 11, BY REQ'D  
= 25', proposed = 18'-5 1/2"  
JG 4/20/2020

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT#



**OUTLINE SPECIFICATIONS**

**1. THERMAL AND MOISTURE PROTECTION**

FOUNDATIONS SHALL BE FINISHED WITH ALL BEAMS, FLASH ALL WINDOWS, DOORS AND PENETRATIONS WITH METAL FLASHING. SEAL, PROVIDE END DAMS WHERE REQUIRED.

INSULATION TO BE FIBERGLASS BATTES WITH VAPOR BARRIER. R-30 WALLS, R-30 CEILING/ROOF OR FLOOR/CEILING. UN-INSULATED SPACES BELOW VAPOR BARRIER TO MAINTAIN 50°F. FIRE-RETARDANT WHERE REQUIRED.

RIGID INSULATION TO BE POLYISOCYANURATE. 2" AT SLAB EDGE AND FLOOR PERIMETER. 2" DOWN AND 24" UP.

"CERTAFLAM" SPRAY POLYURETHANE FOAM INSULATION SHALL BE CLOSED CELL TYPE BY CERTAINTED IN MAXIMUM THICKNESS. INSTALL PER MANUFACTURER DIRECTIONS.

VAPOR BARRIER TO BE 6 MIL POLYETHYLENE OVERLAP AND TAPE SEAMS.

FLASH ALL ADJOINING SURFACES AND PENETRATIONS WITH METAL FLASHING AND SEAL. PROVIDE SIMILAR DRIP EDGE. SECURE TO ADJACENT SURFACES WITH FASTENERS TO RESIST REQUIRED WIND LOADS. FABRICATE, FASTEN AND SEAL PER S.M.A.C.N.A. STANDARDS. PROVIDE BUILT UP METAL FLASHING CRICKETS AS REQUIRED.

PROVIDE PAINTABLE SILICONE SEALANT IN COLOR TO MATCH ADJACENT WHERE REQUIRED. PROVIDE BACKER RODS WHERE NEEDED. INSTALL PER ASTM G20.

PROVIDE THROUGH-WALL AND FLOOR FIRESTOPPINGS FOR PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES PER ASTM E 814 BY TREKO OR 3M FIRE PRODUCTS.

WOOD SIDING TO BE REBUTED AND REJOINED RED CEDAR SIDING. T-ENCLOSURE, FULLY BACK-PRIMED. USE NO. 1 BLUE LABEL ONLY. INSTALL PER CEDAR SHAKE AND SHINGLE BUREAU MANUAL.

PREMIUM VINYL SIDING BY "ALCOA" MASTIC SERIES, CEDAR SHAKE PATTERN CD-TOP. INSTALL PER ASTM D679. 06 MIN. THICKNESS WITH MATCHING FACTORY FINISHED POLYESTER-COATED ALUMINUM TRIM ONLY WHERE CALLED FOR IN THE DRAWINGS. PROVIDE SAMPLES IN TEXTURE SELECTED IN STANDARD COLOR RANGE FOR APPROVAL. USE MAXIMUM LENGTHS TO REDUCE THE NUMBER OF SEAMS. OVERLAP SHOULD BE ORIENTED AWAY FROM MAIN APPROACH TO PROJECT.

WOOD TRIM TOP BE SELECT PINE OR POPLAR FULLY BACK PRIMED. PROVIDE CAP FLASHING AT WINDOW HEADS AND SILLS, TRIM BOARDS, WATERABLES, TRANSITIONS BETWEEN SHINGLE STYLES.

PROVIDE FINE FINISHED ALUM. BUTTERS AND LEADERS WITH SPLASH BLOCKS OR CONNECTIONS TO GUTTERS. PROVIDE ALUMINUM DRAIN EDGE AT THE EDGE OF ASPHALT SHINGLE ROOF. PROVIDE SCREEN BASKETS AND SCREENED BUTTER COVERS. PROVIDE CORRUGATED HOPE BOOT AT GRADE TO JOIN SUBGRADE PIPING.

PROVIDE RIDGE VENT. CAVITY BAFFLES AND BAVE VENTS. 1/8" MIN. VENT TO SF RATIO.

ASPHALT LAMINATED ROOF SHINGLE BY "TIMBERLINE". 40 YEAR, 5 TAB ARCH. ASPHALT ON 30" ROOF FELT AT SLOPES 3:12 AND OVER. USE ICE & WATER SHIELD AT BOTTOM 36" FROM GUTTER AND AT VALLEYS. BELOW 3:12 USE ICE & WATER SHIELD THROUGHOUT PROVIDE SHINGLE SAMPLE FOR APPROVAL. INSTALL PER A.R.M.A. RESIDENTIAL ASPHALT ROOF MANUAL.

COPPER STANDING SEAM ROOFING TO BE 16 OZ. WITH LOCKING SEAMS SPACED 16" O.C. INSTALLED IN ACCORDANCE WITH COPPER DEVELOPMENT ASSOC. STANDARDS. PROVIDE ALL NECESSARY CLOSURE PIECES, BRACKETS, CLIPS AND UNDERLAYMENTS AS REQ. PROVIDE SEPARATOR MEMBRANE TO PREVENT GALVANIC ACTION WITH NON-COMPATIBLE METALS.

**2. WOOD AND PLASTICS**

1. THE DESIGN, TRANSPORTATION AND ERECTION OF ALL STRUCTURAL LUMBER SHALL BE IN CONFORMANCE WITH THE "TIMBER CONSTRUCTION MANUAL", THE AITC AND "MANUAL FOR WOOD FRAME CONSTRUCTION" PER AMERICAN FOREST AND PAPER ASSOC. LATEST EDITION.

2. ALL STRUCTURAL LUMBER SHALL BE MACHINE RATED FOR THE FOLLOWING PROPERTIES:  
 (FB) = 1350 PSI (FV) = 75 PSI E = 1350,000 PSI FT) = 815 PSI  
 (FC) = 325 PSI (PERPEN) (FC) = 825 PSI (PARA)

3. ALL LUMBER SHALL BE KILN DRIED TO MAXIMUM MOISTURE CONTENT OF 15%.  
 4. SILLS, NAILERS AND LEDGERS MAY BE CONSTRUCTION GRADE.

5. THE DESIGN, TRANSPORTATION AND ERECTION OF ALL PLYWOOD SHALL BE IN ACCORDANCE WITH PROVISIONS OF THE AMERICAN PLYWOOD ASSOCIATION.  
 6. PLYWOOD FOR FLOORS AND WALLS SHALL BE "STRUCTURAL I INT-DPPA".  
 7. PLYWOOD FOR ROOFS SHALL BE "STRUCTURAL I EXT-DPPA".

8. JOIST/HANGER HANGERS SHALL BE #10 GAGE GALVANIZED STEEL UED BY TEGO OR SIMPSON. USE COMPATIBLE NAILS AS RECOMMENDED BY MANUF.  
 9. NAILING SCHEDULES SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS:  
 PLYWOOD OVER JOISTS - 6" O/C, MIN 16D NAILS  
 PLYWOOD OVER WALL STUDS - 8" O/C @ INTERIOR MEMBERS, MIN 16D NAILS  
 4" O/C @ PANEL EDGES, MIN 16D NAILS

10. ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER, IN CONTACT WITH THE FOUNDATION OR WITHIN 18" OF EARTH SHALL BE ACP-PRESSURE TREATED PRESERVATIVE. PRESSURE TREATMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS' ASSOC. FASTENERS USED WITH PRESURE TREATED WOOD SHALL BE STAINLESS STEEL OR GALVANIZED 5-10S PROCESS.

11. FLYWOOD SHEATHING SHALL BE 5/8" THICK RADIANT BARRIER CDX AT ROOFS 1/2" THICK CDX AT WALLS INDICATED, AND 3/4" THICK CDX AT FLOORS. ALL PLYWOOD SHALL BE AFA RATED AND INSTALLED IN STAGGERED PATTERN. CONSTRUCTION ADHESIVE FOR ALL FLYWOOD SUBFLOORING TO BE PER AFA AFG-01.

12. ENGINEERED LUMBER BY TRUSS-JOIST MCMLLAN INSTALLED PER MANUFACTURERS INSTRUCTIONS.

DO NOT CUT HOLES IN DIMENSIONAL LUMBER FRAMING EXCEEDING 1/8" OF DEPTH WITH OUT CONTACTING ARCH. FOR REINFORCEMENT INSTRUCTIONS, DO NOT CUT HOLES OR NOTCHES WITHIN 2" OF TOP OF BOTTOM OF MEMBER HOLES AND NOTCHES IN ENGINEERED FRAMING SHALL BE IN ACCORDANCE WITH MANUF. RECOMMENDATIONS.

INSTALL PRESSURE TREATED SILL PLATES AT TOP OF FOUNDATION WALL ANCH'D WITH 1/2" DIA. 6" LONG ANCHOR BOLTS AT 6' O.C. MAX. OVER SILL SEAL. PROVIDE METAL TERMITE SHIELD AT BASE OF SILL PLATES.

CROSS BRIDGE JOISTS AT MIDSPAN OR 8' O.C. CORNER BRACE AS REQ. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS.

FIRESTOP PENETRATIONS AND FIRE BLOCK ALL WALLS AND CEILING/WALL INTERSECTIONS AND WHERE REQUIRED BY CODE.

PROVIDE DOUBLE JOISTS AND HEADERS AT FLOOR OPENINGS AND BELOW PARALLEL PARTITIONS.

MINIMUM BEARINGS SHALL BE 4" ON MASONRY AND 1 1/2" ON MD OR 5TL FOR DIM LUMBER, AND AS RECOMMENDED BY ENGINEERED LUMBER MANUF.

FRE-FAB WOOD TRUSSES SHALL COMPLY WITH THE TRUSS PLATE INSTITUTES "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" SUBMIT SHOP DRAWINGS FOR APPROVAL.

PROVIDE DOUBLED JOISTS BELOW INTERIOR PARTITIONS RUNNING PARALLEL WITH THE JOISTS.

FINISH CARPENTRY TO COMPLY WITH AMERICAN WOODWORK INSTITUTES "ARCHITECTURAL WOODWORK QUALITY STANDARDS"-PREMIUM QUALITY LEVEL.

HOLDING PROFILES AS NOTED IN FINISH SCHEDULE. USE CLEAR POPLAR OR PINE. ALLOW WOOD TO SEASON ON SITE. SCARP JOINTS.

EXPOSED ENDS OF POSTS, BEAMS OR RAFTERS TO BE COATED WITH WATER REPELLANT PRESERVATIVE CONTAINING SHODOLONE/PERFORMIX CARBAMATE COMBINED WITH INSECTICIDE CONTAINING CHLOROPYRIFOS AS ITS ACTIVE INGREDIENT.

PROVIDE WATER-PROOFING AT THE OUTSIDE OF THE FOUNDATION WALLS CONSISTING OF BUTYTHENE 4000 (OR EQUAL) 80 MIL SHEET WITH 1/4" ASPHALTIC PROTECTION BOARD AND DIMPLED DRAINAGE BOARD.

APPLY GOLD-APPLIED ASPHALT EMULSION DAMPROOFING TO THE CAVITY FACE OF MASONRY BACKUP FOR MASONRY CAVITY WALLS. USE PRIMER PLUS ONE COAT AT A RATE OF 1 GALLON/100 SF.

FILL ALL SMALL CAVITIES IN FRAMING, AND ANNUAL PIPE PENETRATIONS WITH "GREAT STUFF" EXPANDABLE URETHANE SEALANT FOAM.

PROVIDE FIRE PUTTY SEALANT AT HOLES FOR PIPES, CONDUITS AND SIMILAR PENETRATIONS.

FLASH ROOF ROOFINGS TO BE BY "SPLAST" OR EQUAL, PARADISE 20050 55S MEMBRANE AND GOLD APPLIED ADHESIVE AND VERAL COPING PROVIDE 1/2" FERLITE BD ON TAPERED RIGID INSULATION WHERE REQ.

INSULATE MECHANICAL SERVICE LINES AND EQUIP. IN ACCORDANCE WITH BEST INDUSTRY AND TRADE PRACTICES.

**3. WINDOWS AND DOORS**

WINDOWS ARE PELLA WINDOWS, VINYL CLAD (MATCH EXISTING) V.I.F. INSL. LOW E (34 U MAX) GLAZING WITH SCREENS, EXTENSION JAMES AS REQD. (NOTE DIFFERENT WALL THK. SJ. FINISH AS SELECTED BY OWNER OR AS REQUIRED TO MATCH EXISTING. WINDOW HARDWARE FINISH AS SELECTED BY OWNER. TEMPERED GLASS WHERE REQUIRED BY CODE. PROVIDE WINDOW ORDER-LIST FOR REVIEW BEFORE PURCHASE. ALL WINDOWS TO BE WEATHER STRIPPED, FLASHED AND CALKED.

HARDWARE AS MANUFACTURED BY: HINGES-"STANLEY", LOCKSETS AND LATCHSETS-"YALE", SELF-CLOSING HINGES-"BOMBER", SLIDING DOOR SETS & POCKET SLIDERS-"HAGER", WEATHERSTRIPPING & THRESHOLDS-"PENKO", DOOR STOPS & BIFOLD DOOR SETS-"STANLEY", FINISH AS SELECTED OR AS REQUIRED TO MATCH EXISTING. HARDWARE FUNCTIONS PER BUILDERS HARDWARE MANUFACTURERS ASSOCIATION STANDARDS.

EXT. DOORS ARE BASED ON "MORGAN" EXTERIOR GRADE I 3/4" PINE "1000" SERIES, WITH ADJOINING SIDELIGHTS AS SHOWN, WITH FRAME. (OR AS NOTED ON DRAWINGS).

INTERIOR DOORS ARE BASED ON "MORGAN" INT. GRADE I 3/8" PANEL PINE 1000 SERIES WITH FRAME. (OR AS NOTED ON DRAWINGS).

STEEL DOORS FOR EXTERIOR USE SHALL BE INSULATED 14 GA. FRAMES, AND 16 STEEL FACE DOOR. INTERIOR USE SHALL BE 16 GA. FRAMES WITH 18 GA. STEEL FACE DOOR.

**4. FINISHES**

UNLESS NOTED OTHERWISE ALL GYPSUM HALLEBOARD TO BE 1/2 TYPE X USE KR (GREENBOARD) TYPE X AT ALL WALLS ADJACENT TO PLUMBING FIXTURES, SCREENS AND PER LEVEL 5 GYPSUM ASSOCIATION STANDARDS. USE MOLD RESISTANT AT ALL SUBGRADE LEVELS AND NON-CONDITIONED SPACES (MOLD-TOUGH BY USG OR EQUAL).

PROVIDE CORNER BEADS, CASING BEADS AND TRIM AS REQUIRED TAPE AND SPACKLE ALL JOINTS, 5 COATS, FEATHERED.

MULTICO PORTLAND CEMENT PLASTER TO BE 3 COAT ON EXPANDED DIAMOND LATH. PROVIDE CONTROL JOINTS AT 20' MAX AND AT FLOOR LEVEL. JUNCTURE. ALIGN WITH NEARBY WINDOW OR DOOR EDGE. PROVIDE SCREENS, CORNER BEADS, AND ACCESSORIES FOR COMPLETE INSTALLATION PER PORTLAND CEMENT ASSOCIATION STANDARDS.

WOOD FLOOR TO BE 3/4"X 2 1/4" T 46 OAK TO MATCH EXIST'S (SEE FIN. SCHEDULE) BLDG FELT AND CAVITY INSUL WHERE REQ. ALLOW WOOD FLOOR MATERIAL TO SEASON ON SITE PER MANUF. GUIDELINES, ALLOW GAP AT EDGES FOR EXPANSION PER MANUFACTURERS RECOMMENDATION.

CERAMIC TILE TO BE THINSET METHOD ACCORDING TO CERAMIC TILE INSTITUTE STANDARDS. PROVIDE COVE, BULLNOSED AND SPECIAL SHAPED TILE. GROUT AND SEAL. USE GROUT AS RECOMMENDED BY TILE MANUF. COLOR TO BE SELECTED. SEAL GROUT. PROVIDE MARBLE SADDLES AT FL. TILE USE MIDSET TILING APPLICATION FOR SHOWER ENCL. TO DRAIN VY FULLY BONDED PVC LINER-PAN BELOW.

USE 1/2" CEMENT BACKER BOARD BEHIND CER. TILE AT TUBISHAR SURROUNDS.

PROVIDE WATERPROOF VINYL MEMBRANE (OR EQUAL) BELOW CER. & MARBLE FLOOR TILE. TURN UP 4" AT WALLS.

PAINT SHALL BE "FRATT AND LAMBERT" EXTERIOR LATEX, FLAT-SIDING SATIN FOR TRIM AND DOORS, INTERIOR GMB. EGGSHELL LUSTER- WALLS SATIN- TRIM AND DOORS. PREP ALL SURFACES PER MANUF. INSTRUCTIONS PERME AND PAINT ALL SCHEDULED SURFACES 2 COATS MIN. COLORS TO BE SELECTED. PROVIDE 2" X 2" MOCKUP FOR APPROVAL OF EACH COLOR. APPLY PAINT WITHIN AREAS LIGHTED AT A MINIMUM 100 FOOTCANDLES.

PROVIDE 108 ATTIC STOCK TILE & PAINT FOR FUTURE OWNER USE.

**10. SPECIALTIES**

TOILET ACCESSORIES PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE BLOCKING AND ANCHORAGE WHERE REQUIRED.

**11. EQUIPMENT**

INSTALL ALL APPLIANCES PROVIDED BY OWNER INCLUDING BUT NOT LIMITED TO: DISHWASHER, MIX. OVEN, HOOD, COOKTOP, WALL OVENS, REFRIGERATOR, DISPOSAL.

KITCHEN CABINETS AND VANITIES SHALL BE FREMI, GRADE, 3/4" PLYND FINISH CONSTR. IN STOCK SIZES WITH FILLER PANELS AS REQ. (KRAFTMAID OR EQUAL) SOLID RECESSED PANEL SHAKER STYLE DOORS, IV FULL EXTENSION HEAVY DUTY DRAWER SLIDES, RECYCLING BINS, ROLL-OUT SHELVES AND ACCESSORIES AS REQD LIGHT HONEY FINISH PINE, SUBMIT SAMPLE DOOR FOR APPROVAL. INSTALL CABINETS PER ANI SECTION 1100. STRAIGHT, LEVEL AND FREE OF DISTORTION TO ALLOW FOR UNIMPEDED OPERATION. CABINET HARDWARE SHALL COMPLY WITH DIMA 1168-R.

PROVIDE CABINET SHOP DRAWINGS FOR REVIEW AND APPROVAL.

KITCHEN COUNTERTOPS TO BE 1 1/4" MED. GREY PIETRO GORGONZA WITH 4" STONE BACKSPLASH. COUNTERTOP SHALL HAVE LEADING BULLNOSED EDGES, SPOKESPLASH SHALL BE TILED ABOVE STONE BACKSPLASH TO BOTTOM OF WALL CABINET. PROVIDE STONE SAMPLES OR SHOWUP VISIT FOR APPROVAL. MIN. 3/4" OVERHANG BEYOND BASE CABINETS. COORDINATE ALL CUTOUTS AND TEMPLATES WITH OTHER TRADES. INSTALL WITH FEWEST SEAMS POSSIBLE.

PLASTIC LAMINATE CABINETS AND COUNTERTOPS TO COMPLY WITH ANI SECTION 400.

SOLID POLYMER SURFACINGS SHALL BE FABRICATED WITH THE FEWEST POSSIBLE SEAMS AND INSTALLED ON OPEN WEB SUBSTRATE ON 16" CENTERS.

**12. MECHANICAL**

PLUMBING - DOMESTIC WATER PIPING SHALL BE COPPER. SOLDERED JOINTS. SANITARY AND VENT TO BE CAST IRON, STORM UNDERK. SHALL BE PVC. PROVIDE VALVES AND NECESSARY FITTINGS TO RENDER THE SYSTEM COMPLETE AND OPERATIONAL. PROVIDE FIXTURES AS SHOWN ON THE PLANS & INSTALL WATER HAMMER ARRESTER AT THE BOTTOM OF EACH LINE TO ABSORB SHOCK. GAS SERVICE LINES SHALL BE BLACK IRON PER CODE.

PROVIDE 3 PROST FREE HOSEBIBS IF NOT CALLED OUT ON PLANS OTHERWISE.

ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM OTHER TRADES AS WELL AS PROPERLY INSULATED OR HEAT TRACED. PROVIDE ACCESSIBLE SLOTTOP VALVES FOR FIXTURES AND APPLIANCES.

PROVIDE NEW 80 GAL GAS FRED WA-HEATER COORD. LOCATED IN AREA. ALL GAS-ROOF PLUMBING FIXTURES TO BE WHITE. FIFES AND FITTINGS TO BE BRASS OR SATIN CHROME. FULLY TEST AND MAKE SYSTEM OPERATIONAL.

PROVIDE NEW CAST-IRON RADIATORS OR RECESSED RADIATORS TO MATCH EXISTING. PROVIDE VALVES WHERE REQUIRED.

HVAC - PROVIDE AND MODIFY DUCTWORK, REGISTERS AND DIFFUSERS, DAMPERS AS REQUIRED TO CONDITION THE NEW AND EXISTING SPACES TO 72 DEGREES INDOORS WHEN OUTSIDE TEMPERATURE REACHES 90 DEGREES, AND TO DECREASE WHEN OUTSIDE TEMPERATURE REACHES 0 DEGREES. PROVIDE PUSHABLE STEAM HANDIERS. LOCATE NEW HVAC UNIT IN ATTIC. SEPARATELY ZONE 1ST FL AND 2ND FL. PROVIDE PROGRAMMABLE THERMOSTATS. HVAC UNIT CAPACITIES ARE PRELIMINARY AND SHOULD BE CONFIRMED BY HVAC SUBCONTRACTOR. LOCATE CONDENSER UNIT WITHIN PROPERTY LINE SETBACKS ON PRECAST CONCRETE PAD. LOCATE REFRIGERANT LINES WITHIN EXTRA DEDICATED NON-FUNCTIONAL GUTTER LEADER. PROVIDE REPTURE PANS AND ALARM AT EACH AHU. MINIMUM A/C SEER VALUE IS CONDENSER UNITS MUST MEET APPLICABLE NOISE DB RATINGS.

PROVIDE EXHAUST VENTILATION FROM BATHROOMS, KITCHENS PER CODE IF NOT OTHERWISE SPECIFIED.

PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL OF HVAC LAYOUT.

FIRE SPRINKLER SYSTEM WHERE REQUIRED SHALL CONFORM WITH NFPA IS. LIGHT HAZARD. PROVIDE SHOP DRAWINGS. CONFIRM ADEQUATE WATER SUPPLY.

CENTRAL VACUUM SYSTEM BY "EUREKA" DROP DOWN FABRIC FILTER SYSTEM. PROVIDE (1) ELECTRICAL INLET PER 600 SF OF FLOOR AREA. SYSTEM MINIMUM REQUIREMENTS INCLUDE: 1.0 CFM SECTION 45" WATER COLUMN HEIGHT. PROVIDE ALL REQUIRED HOSES, ELECTRICAL CONNECTIONS, ADAPTERS, AND FITTINGS.

PROVIDE NEW WATER-POWERED SUMP PUMP BY LIBERTY SUDJ OR EQUAL. IN SUITABLE POLYETHYLENE FIT. ACCESSORIES, PIPING. CONNECT TO PERIMETER FRENCH DRAIN AND PROVIDE DISCHARGE TO CODE APPROVED DRAINAGE OUTLET. 1 FIT PER 1000 SF BENT.

PERIMETER FRENCH DRAIN TO BE BUILT OF PERFORATED 4" PERFORATED PVC WRAPPED IN LAYER OF 1" GRAVEL AND FILTER FABRIC PIPED TO SUMP-FIT OR DRYWELL WITH MINIMUM SLOPE OF 1/100H. PATCH PERIMETER OF BASEMENT FLOOR SLAB. PROVIDE "WET" ALARM WHEN WATER COMES WITHIN 4" OF SUMP FIT TOP. CONTACT OWNER FOR ALARM NOTIFICATION INSTRUCTIONS.

PROVIDE NEW "MITSUBISHI" MR SLIM DUCTLESS A/C (12.6 MBTU) WITH CONDENSER AND REQ. ACCESSORIES. LOCATE CONDENSER PER OWNER'S DIRECTION.

DUCTS: ALL DUCTS SHALL BE FABRICATED AND RIGIDLY INSTALLED WITH REQUIRED BRACINGS AND SUPPORTS. THE MAIN SUPPLY AND RETURN DUCT SHALL BE ISOLATED FROM THE HEATER AND BLOWER BY MEANS OF FABRIC INSULATORS. PROVIDE DUCT DAMPER FOR EACH RUN. INSULATE ALL DUCTS LOCATED IN GARAGE, ATTIC, AND UNHEATED AREAS. ACCELTICAL INSULATE DUCTS IN OFFICES, MEETING AND MEDIA ROOMS.

GRILLS AND REGISTERS: PROVIDE SUPPLY AND RETURN REGISTERS IN EACH ROOM. ALL SUPPLY GRILLS TO HAVE ADJUSTABLE DAMPERS. FLOOR GRILLS TO BE WOOD TO MATCH WOOD FLOOR WHERE APPLICABLE.

BALANCING: HEATING CONTRACTOR SHALL BALANCE ENTIRE HOUSE SO THAT ALL ROOMS HEAT AND COOL EVENLY TO THE REQUIRED TEMPERATURE SET ON THE THERMOSTAT.

**DUCT INSULATION**

SUPPLY DUCTS IN UNCONDITIONED ATTICS OR OUTSIDE THE BUILDING MUST BE INSULATED TO R-8.

RETURN DUCTS IN UNCONDITIONED ATTICS OR OUTSIDE THE BUILDING MUST BE INSULATED TO R-4.

SUPPLY DUCTS IN UNCONDITIONED SPACES MUST BE INSULATED TO R-8.

RETURN DUCTS IN UNCONDITIONED SPACES (EXCEPT BASEMENTS) MUST BE INSULATED TO R-2.

INSULATION IS NOT REQUIRED ON RETURN DUCTS IN BASEMENTS.

**DUCT CONSTRUCTION**

ALL JOINTS, SEAMS, AND CONNECTIONS MUST BE SECURELY FASTENED WITH WELDS, BASKETS, MASTICS (ADHESIVES), MASTIC PLUS-EMBEDDED-FABRIC, OR TAPES. DUCT TAPE IS NOT PERMITTED. EXCEPTION: CONTINUOUSLY WELDED AND LOCKING-TYPE LONGITUDINAL JOINTS AND SEAMS ON DUCTS OPERATING AT LESS THAN 2 IN. H2O (3" PA).

DUCTS SHALL BE SUPPORTED EVERY 10 FEET OR IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.

COOLING DUCTS WITH EXTERIOR INSULATION MUST BE COVERED WITH A VAPOR RETARDED.

AIR FILTERS ARE REQUIRED IN THE RETURN AIR SYSTEM.

THE HVAC SYSTEM MUST PROVIDE A MEANS FOR BALANCING AIR AND WATER SYSTEM.

**TEMPERATURE CONTROLS**

EACH DWELLING UNIT HAS AT LEAST ONE THERMOSTAT CAPABLE OF AUTOMATICALLY ADJUSTING THE SPACE TEMPERATURE SET POINT OF THE LARGEST ZONE.

HVAC PIPING CONVEYING FLUIDS ABOVE 105 DEGREES F OR CHILLED FLUIDS BELOW 55 DEGREES F MUST BE INSULATED TO THE LEVELS IN TABLE 2.

MINIMUM INSULATION THICKNESS FOR CIRCULATION HOT WATER PIPES INSULATION THICKNESS IN INCHES BY PIPE SIZES.

**HEATING**

HEATING AND AIR CONDITIONING SHALL BE OIL-FIRED HYDRO AIR SYSTEM COMPLETE WITH BOILER, HYDRONIC ZONE CONTROL, THERMOSTATS, OIL TANK, ETC. FOR 3 ZONES. PROVIDE DOMESTIC HOT WATER COIL OR SEPARATE CIRCULATING STORAGE TANK IF REQUIRED IN BOILER. PROVIDE AIR HANDLING UNITS, CONDENSERS, INSULATED SUPPLY DUCTS AND VENTS TO EACH ROOM. HEATING AND COOLING SYSTEM TO BE DESIGNED AND GUARANTEED TO CONFORM TO THE LATEST ASHREA SPECIFICATIONS AND THE ENERGY CODE OF NEW YORK STATE. HEATING SYSTEM SHALL BE DESIGNED AND GUARANTEED TO MAINTAIN 75° DEGREES F INDOOR TEMPERATURE WITH 1° DEGREES F OUTDOOR TEMPERATURE.

**UZZIAH COOPER JR. DESIGNS**  
 403 E 32ND St. Paterson NJ 07504  
 845-821-1472 UziahCooperRA@hotmail.com

12-01-19	REDESIGN AS PER OWNER
01-07-19	ISSUED FOR BUILDING PERMIT
10-27-18	INITIAL DESIGN
DATE	SUBMISSIONS / REVISIONS

NOTES & ENERGY CALCULATIONS

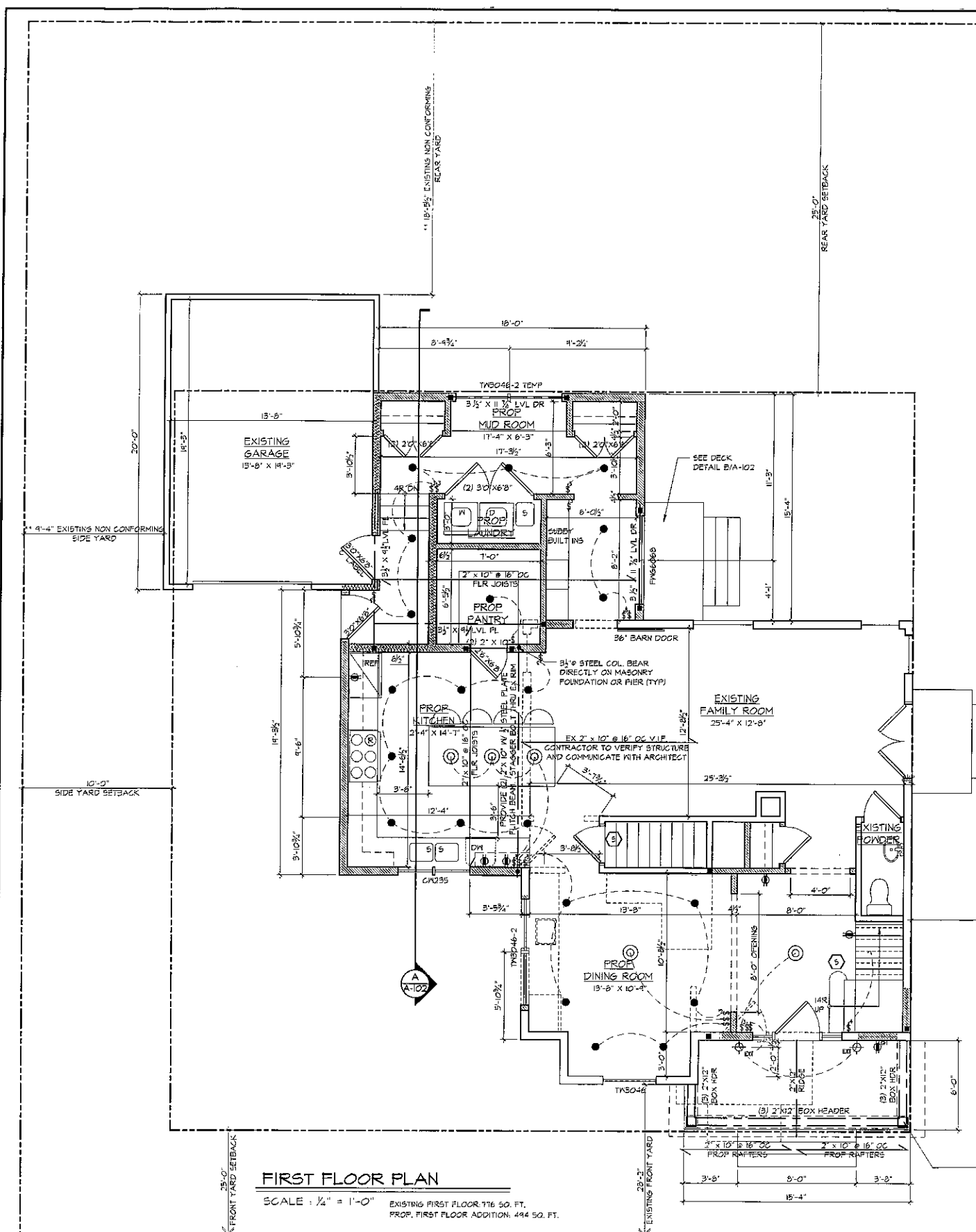
PROPOSED ADDITION FOR:  
**MICHAEL & KATHERINE DONAHUE**  
 46 BAUER STREET  
 TAPPAN, NY 10983

LOADING DESIGN CRITERIA			
	LIVE LOAD	DEAD LOAD	TOTAL LOAD
FIRST FLOOR	40 PSF	15 PSF	55 PSF
SECOND FLOOR	30 PSF	15 PSF	45 PSF
ATTIC	20 PSF	10 PSF	30 PSF
ROOF	30 PSF	17.5 PSF	47.5 PSF
ALL CONCRETE MIN. Fb = 3,500 PSI			

SEAL & SIGNATURE  
 UZZIAH B. COOPER, JR. ARCHITECT NY 03603

ISSUE DATE: 10-27-18 PROJECT NO: #18-10  
 DRAWN BY: UZ CHECKED BY: UZ  
 SCALE: AS NOTED SHEET NO: 2 OF 4  
 DRAWING NO: T-002



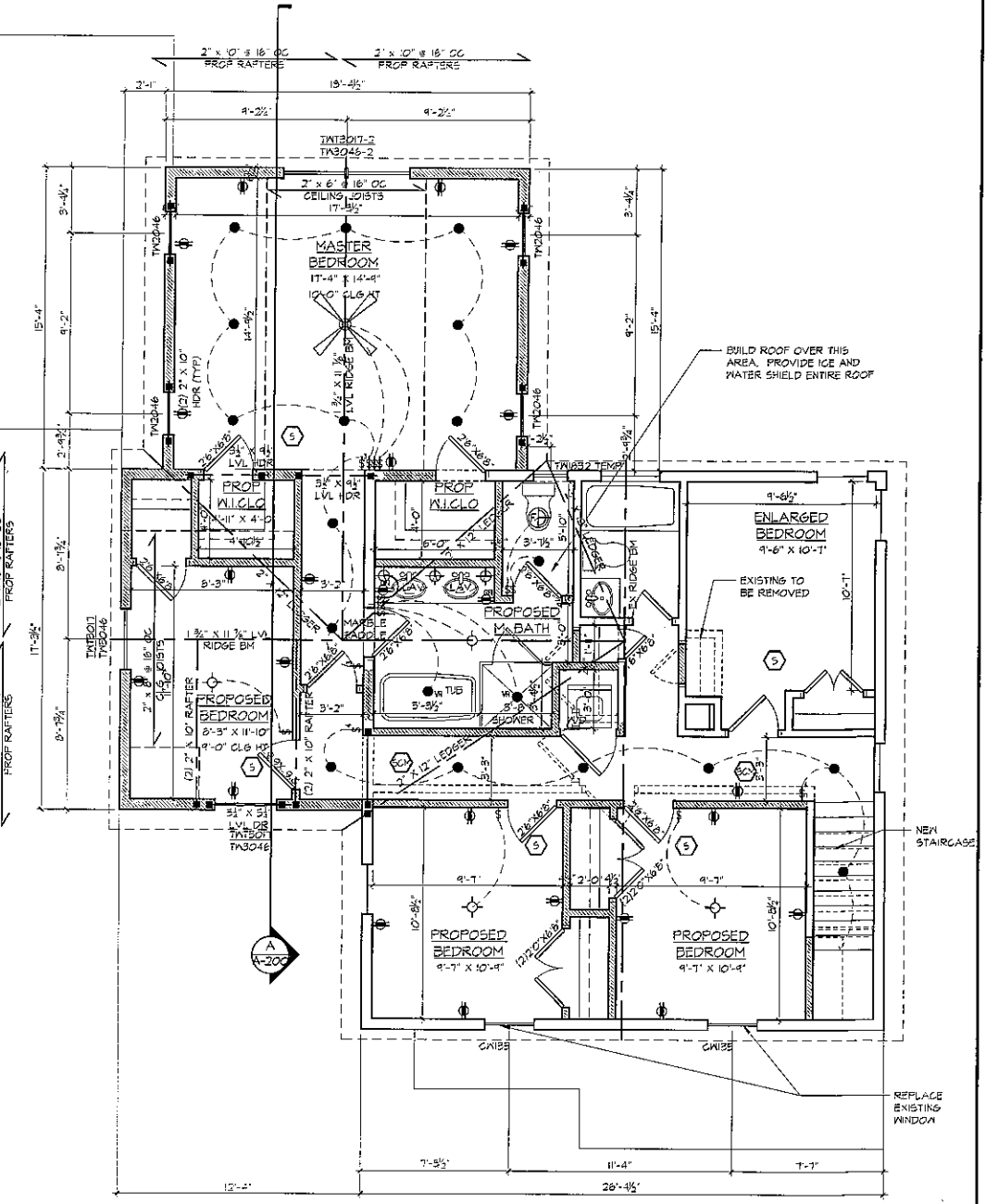


**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
 EXISTING FIRST FLOOR: 716 SQ. FT.  
 PROP. FIRST FLOOR ADDITION: 494 SQ. FT.

**ELECTRIC LEGEND**

SYMBOL	DESCRIPTION
NEW	ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR OR 12" ABOVE COUNTER SURFACE WHERE RECD (GFI- DENOTES GROUND FAULT INTERRUPTER)
NEW	RECESSED ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED
NEW	ELECTRICAL QUADRUPLER RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR
NEW	TELEPHONE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR
NEW	FLUSH FLOOR MOUNTED ELECTRICAL DUPLEX RECEPTACLE
NEW	ELECTRICAL JUNCTION BOX
NEW	RECESSED 6" DIAMETER LED LIGHTING FIXTURE
NEW	SURFACE INCANDESCENT PENDANT LIGHTING FIXTURE
NEW	WALL SCONCE FOR BATHROOMS
NEW	INTERIOR INCANDESCENT SCONCE LIGHTING FIXTURE
NEW	EXTERIOR INCANDESCENT SCONCE LIGHTING FIXTURE
NEW	FLOOD LIGHT WITH ISO N PAR LAMPS
NEW	RECESSED 6" DIAMETER WALL WASHER LED LT. FIXTURE
NEW	SURFACE MOUNTED CEILING LIGHTING FIXTURE
NEW	FLUORESCENT LIGHT FIXTURE WARM WHITE T8 LAMPS
NEW	PORCELAIN SOCKET, LED LAMPS
NEW	FANLIGHT, DUCT TO EXTERIOR, NET LOCATION "PANASONIC" MODEL #11
NEW	SINGLE POLE LIGHT SWITCH, WALL MOUNTED AT 42" ABOVE FINISHED FLOOR (SUBSCRIPT "3" INDICATES 3-WAY SWITCH) COORDINATE LOCATION WITH TRK.
NEW	HEAT DETECTOR HARDWIRED & INTERCONNECTED SMOKE / CARBON MONOXIDE DETECTOR COMBO, HARDWIRED & INTERCONNECTED
NEW	CEILING DIFFUSER (SUPPLY), WHITE
NEW	CEILING REGISTER (RETURN), WHITE
NEW	CEILING FAN & LIGHT



**SECOND FLOOR PLAN OPT. #2**

SCALE: 1/4" = 1'-0"  
 EXISTING SECOND FLOOR: 748 SQ. FT.  
 PROP. FIRST FLOOR ADDITION: 445 SQ. FT.

**UZZIAH COOPER JR. DESIGNS**  
 403 E 32ND St. Paterson NJ 07504  
 845-821-1472 UzziahCooperRA@hotmail.com

DATE	SUBMISSIONS / REVISIONS
12-01-19	REDESIGN AS PER OWNER
01-07-19	ISSUED FOR BUILDING PERMIT
10-27-18	INITIAL DESIGN

**FIRST FLOOR PLAN  
 SECOND FLOOR PLAN**

PROPOSED ADDITION FOR:  
**MICHAEL & KATHERINE DONAHUE**  
 46 BAUER STREET  
 TAPPAN, NY 10983

SECTION: 60 BLOCK: 55 LOT: 471.20

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF UZZIAH COOPER JR. DESIGNS. NO PART OF THIS PROJECT OR THE CONTENTS HEREOF SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF UZZIAH COOPER JR. DESIGNS. THE USER OF THIS DRAWING AGREES TO HOLD UZZIAH COOPER JR. DESIGNS HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DRAWING. UZZIAH COOPER JR. DESIGNS SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS THAT MAY OCCUR AS A RESULT OF THE USE OF THIS DRAWING. UZZIAH COOPER JR. DESIGNS SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS THAT MAY OCCUR AS A RESULT OF THE USE OF THIS DRAWING.

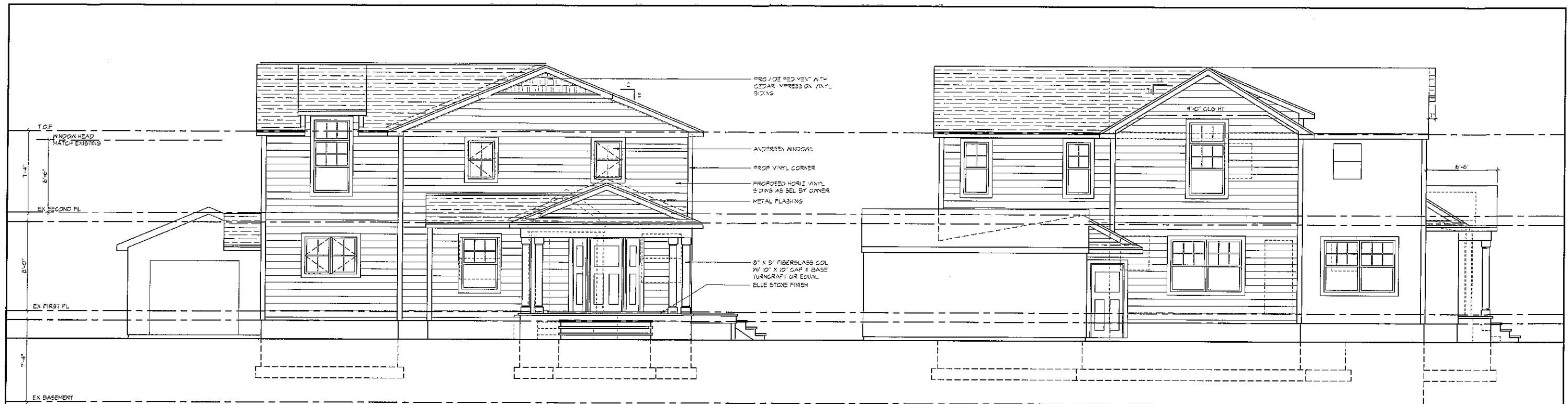
SEAL AND SIGNATURE  
**UZZIAH B. COOPER JR.**  
 ARCHITECT NY 03603

ISSUE DATE	PROJECT NO.
10-27-18	#18-10
DRAWN BY: UZ	CHECKED BY: UZ
SCALE: AS NOTED	SHEET NO. 3 OF 4
DRAWING NO.	

**A-101**

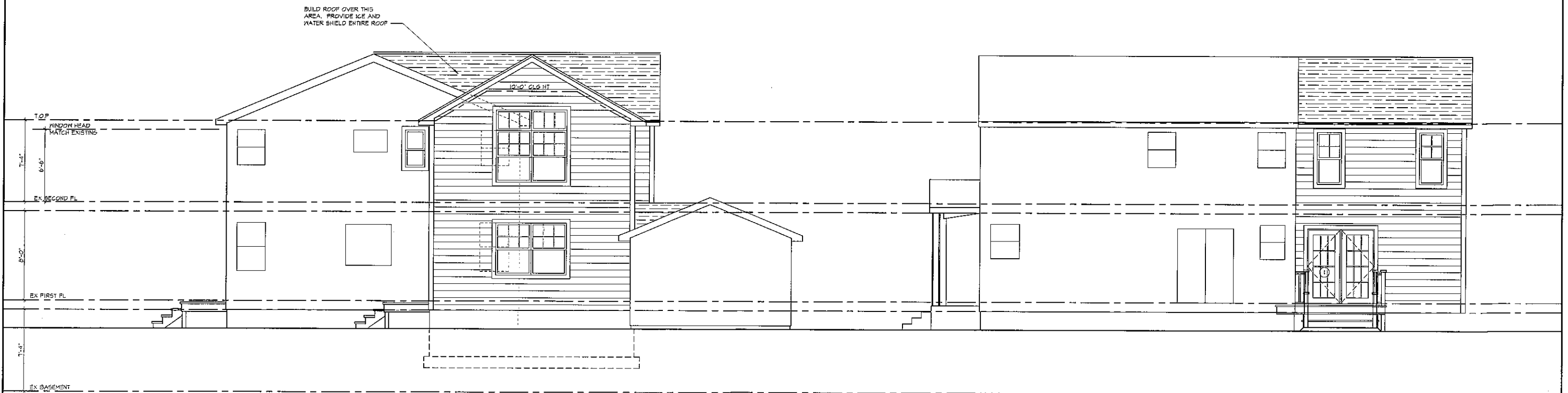






**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

**UZZIAH COOPER JR.**  
**DESIGNS**  
403 E 32ND St. Paterson NJ 07504  
845-821-1472 UzziahCooperRA@hotmail.com

DATE	SUBMISSIONS / REVISIONS
12-01-19	REDESIGN AS PER OWNER
01-07-19	ISSUED FOR BUILDING PERMIT
10-27-18	INITIAL DESIGN

**ELEVATIONS SECTION**

PROPOSED ADDITION FOR:  
**MICHAEL & KATHERINE DONAHUE**  
46 BAUER STREET  
TAPPAN, NY 10983

SECTION: 60 BLOCK: 55 LOT: 471.20

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF UZZIAH COOPER JR. DESIGNS. WHEREBY THE PROJECT OR ANY PART THEREOF IS REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF UZZIAH COOPER JR. DESIGNS IS STRICTLY PROHIBITED. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DRAWING SHALL BE SUBJECT TO LEGAL ACTION. UZZIAH COOPER JR. DESIGNS IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY OCCUR IN THIS DRAWING. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. UZZIAH COOPER JR. DESIGNS IS NOT A LICENSED ARCHITECT IN THE STATE OF NEW YORK.

SEAL & SIGNATURE  
**UZZIAH B. COOPER JR.**  
ARCHITECT NY 036003

ISSUE DATE: 10-27-18	PROJECT NO: #18-10
DRAWN BY: UZ	CHECKED BY: UZ
SCALE: AS NOTED	SHEET NO: 5 OF 4
DRAWING NO:	<b>A-200</b>