

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2021 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input checked="" type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: _____
ASSIGNED
INSPECTOR: _____

Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: FLAHERTY

Street Address: 20 Pinto Road
Pearl River, NY 10965

Tax Map Designation:
Section: 62.10 Block: 1 Lot(s): 21
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the South side of Pinto Road, approximately 182.82 ft feet east of the intersection of Villa Drive, in the Town of ORANGETOWN in the hamlet/village of Pearl River.

Acreage of Parcel <u>0.46</u>	Zoning District <u>R-15</u>
School District <u>Nanuet USFD</u>	Postal District <u>10965</u>
Ambulance District <u>Nanuet</u>	Fire District <u>Pearl River</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)
New single family dwelling to
replace existing dwelling

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 12-11-20 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

Applicant: Allyn Flaherty Phone # 727-418-6629

Address: 20 Pinto Road Pearl River NY 10965
Street Name & Number (Post Office) City State Zip Code

Property Owner: Allyn Phone # 7274186629

Address: 17 Joseph Bow Court Pearl River NY 10965
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Harry Goldstein Phone # 1-914-393-5787

Address: 4 Regina Road Monsey, NY 10952
Street Name & Number (Post Office) City State Zip Code

Attorney: John Burke Phone # 845-920-1572

Address: 4 North William Street Pearl River, NY 10965
Street Name & Number (Post Office) City State Zip Code

Contact Person: Allyn Flaherty Phone # 727-418-6629

Address: 17 Joseph Bow Court Pearl River NY 10965
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|-----------------------------------------------|-----------------------------------------------|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:

Referral Agencies:

- | | |
|------------------------------------------------------|------------------------------------------------------------------|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input type="checkbox"/> Other _____ | |

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If **subdivision**:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If **site plan**:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? No _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

APPLICATION REVIEW FORM

AFFIDAVIT

State of New York)
County of Rockland) SS.:
Town/Village of Orangetown

I, Allyn Flaherty being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the zoning (board) in the town/village of Orangetown affecting property located at 20 Pinto Road, Pearl River, Rockland County, New York.

That the following are all of the owners of property 200' (distance) from the premises as to which this application is being taken.

SECTION-BLOCK-LOT NAME ADDRESS

Table with 4 columns: SWIS, PRINT KEY, NAME, ADDRESS. Lists property owners including Frank Mc Cabe, Benedetto Russo, Patricia Kiviehan, Allyn Flaherty, Michael J Bohan, Anita I Ganley, Richard T Halpin, Amaury Lopez, Joshua A Gillespie, Damian Warchol, and Maurice O'Sullivan.

Multiple horizontal lines for additional information or signatures.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: November 23, 2020

Applicant: Flaherty

Address: 20 Pinto Rd, Pearl River

RE: Application Made at: same

Chapter 43, Table 3.12 Column 1- R-15 District, Column 2 Group M, Column 3 SFR, Column 10 Total Side Yard 50' with 40.4' proposed.
One Variance Required

Section: 69.10

Block: 1

Lot: 21

Dear Flaherty:

Please be advised that the Building Permit Application, which you submitted on November 20, 2020, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector

11/23/2020

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC


11/23/2020
Date

CC: Rosanna Siraga
Liz Decort
Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.

APPLICATION FOR BUILDING / DEMOLITION PERMIT

TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: <u>R-15</u>	OFFICIAL USE ONLY	ACREAGE: <u>.46</u>
Inspector: <u>DOM</u>	Date App Received: <u>11/20/2020</u>	Received By: <u>113</u>
Permit No. <u>50842</u>	Date Issued: _____	
CO No. _____	Date Issued: _____	
Permit Fee: <u>10126</u>	Ck# <u>583</u>	Paid By <u>Allyn Flaherty</u>
GIS Fee: <u>20</u>	Ck# <u>584</u>	Paid By _____
Stream Maintenance Fee _____	Ck # _____	Paid By _____
Additional Fee: _____	Ck# _____	Date Paid _____
1 st 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____
2 nd 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application.

PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 20 Pinto Road Pearl River

Section: 69.10 Block: 1 Lot: 21

Property Owner: Allyn Flaherty

Mailing Address: 17 Joseph Blow Court Pearl River NY 10965

Email: allynflaherty@optonline.net Phone #: 727-418-6629

Lessee (Business Name): N/A

Mailing Address: _____

Email: _____ Phone #: _____

Type of Business /Use: _____

Contact Person: Jack Yorizzo Relation to Project: Builder

Email: j.yorizzo@gmail.com Phone#: 914-490-1993

Architect/Engineer: Harry Goldstein NYS Lic # 023518

Address: 4 Regina Road Monsey NY 10952 Phone#: 914-356-7942

Builder/General Contractor: J-Con Inc. (Jack Yorizzo) RC Lic # 11-10347

Address: 11 Claudet Way Eastchester NY 10709 Phone#: 914-490-1993

Plumber: TDB RC Lic # _____

Address: _____ Phone#: _____

Electrician: TBD RC Lic #: _____

Address: _____ Phone#: _____

Heat/Cooling: Yukes Mechanical RC Lic#: P-01469

Address: 16C Heritage Drive New City NY 10956 Phone#: 845-300-6653

Existing use of structure or land: one family home

Proposed Project Description: new one family home

Proposed Square Footage: 3333 Estimated Construction Value (\$): 333,000

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

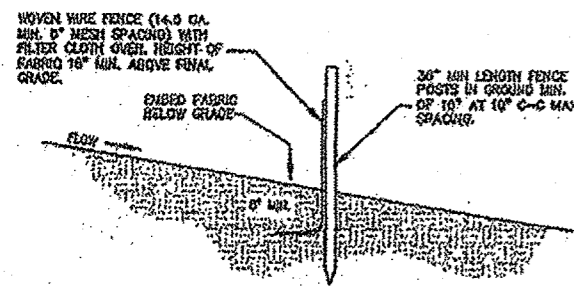
PERMIT REFERRED / DENIED FOR:
Chapter 2, Section 2-4 requires ACABOR approval
Chapter 43, Title 3-12, Col 1 R-15, Col 2 Group M, Col 3 SFR
Col 10 Total Side 50' w/ 40.4' proposed.

[Handwritten Signature]
 Deputy 11/23/2020

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT #

RECEIVED
 NOV 20 2020
 TOWN OF ORANGETOWN
 BUILDING DEPARTMENT

- SOIL EROSION & SEDIMENT CONTROL PLAN**
1. A temporary sediment barrier to be installed below the disturbed areas during construction.
 2. All area disturbed by on site grading that will not be constructed upon to be established to permanent vegetative cover.
 3. Fertilizer, 5-10-5 agriculture grade apply 20lbs/100 sf.
 4. Seed, 50% Pennlawn and 50% Fiesta perennial rye, apply 1lb/500 sf.
 5. Mulch, apply chopped hay as required for uniform light cover.
 6. Moisture as required for germination and growth.
 7. Excavated material to be removed from site during construction to minimize sediment run-off.
 8. Topsoil storage area to be place in rear of lot and screened with fabric fence.

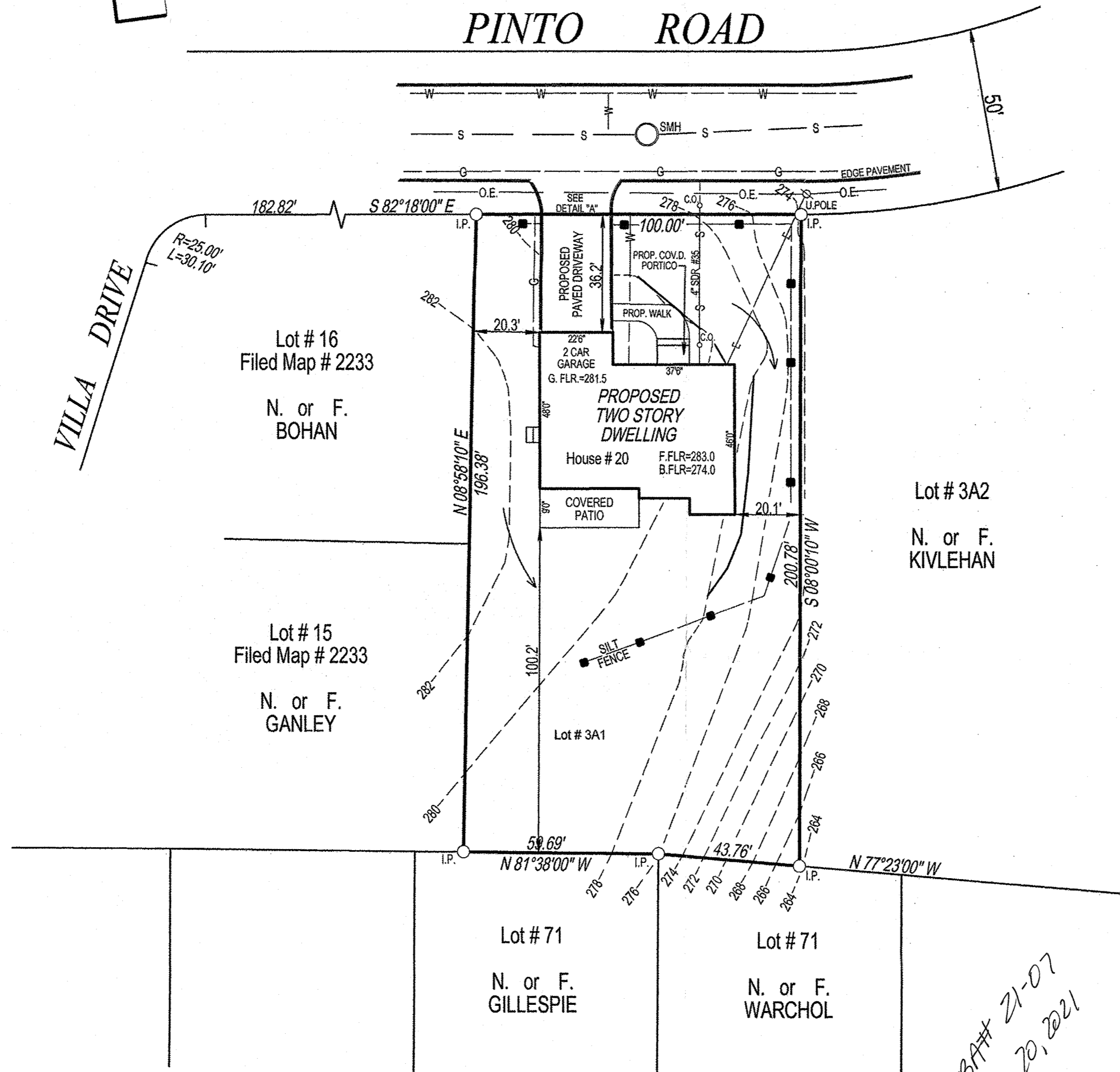
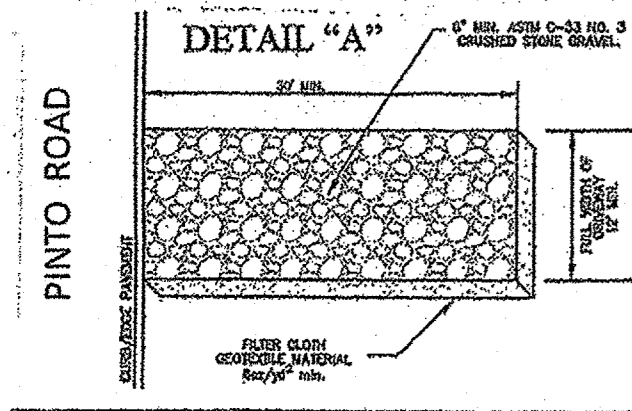


FABRICATED SILT FENCE

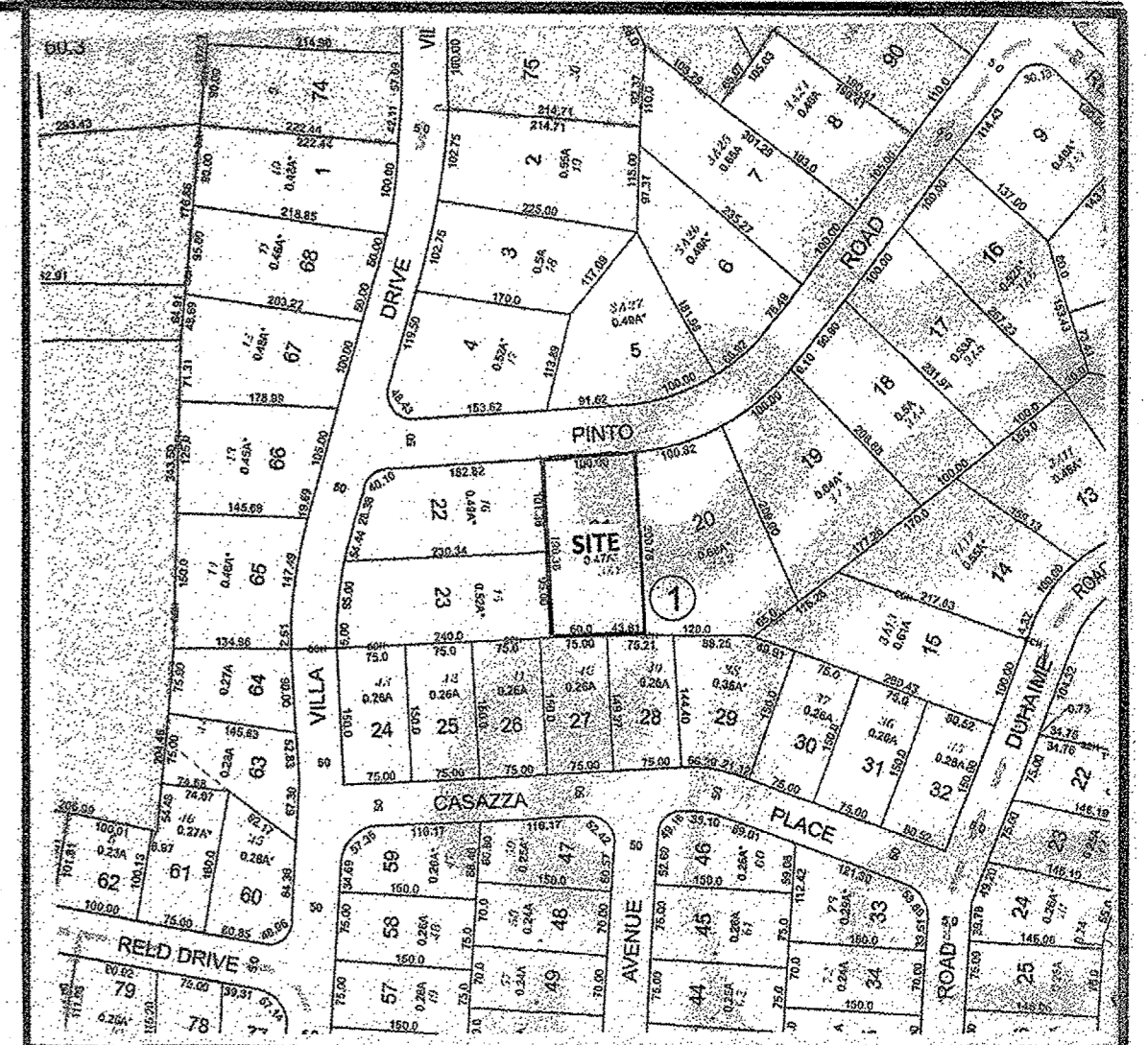
NOTES

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY AT LEAST 6" AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
5. POSTS: STEEL T OR U SECTION OR 2" HARDWOOD.
6. FENCES WOVEN WIRE 14 GA. 6" MESH OPENING.
7. FILTER CLOTH: FILTER X MIRAFL 100X STABILURKA OR APPROVED EQUAL.
8. STANDARD SYMBOL:

STABILIZED CONSTRUCTION ENTRANCE



Note: LOCATION OF EXISTING UTILITY CONNECTIONS TO BE VERIFIED AND RETAINED.



Vicinity Map - Scale: 1" = 200'

Tax Lot Designation - Section 69.10 Block 1 Lot 21

**"Z.B.A. APPEAL"
DWELLING REPLACEMENT
SITE PLAN**

For

"FLAHERTY"

Pearl River

Town of Orangetown Rockland County, NY

Scale: 1" = 30'

Area = 0.46 Ac

October 30, 2020

*ZBA# 21-07
Jan 20, 2021*

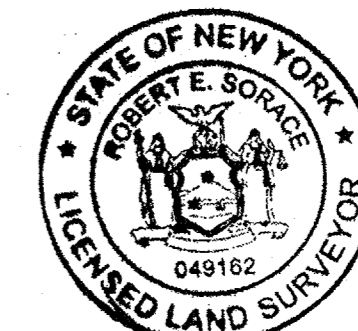
Zone R-15 Bulk Regulations Group M

Item	Required	Existing	Proposed
Lot Area	15,000 sf	20,091 sf	No Change
Lot Width	100 ft.	100 ft.	No Change
Street Frontage	75 ft.	100 ft.	No Change
Front Yard	30 ft.	36.2 ft.	No Change
Side Yard	20 ft.	24.6 ft.	20.1 ft.
Total Side Yard	50 ft.	53.9 ft.	* 40.4 ft.
Rear Yard	35 ft.	133.5 ft.	105.1 ft.
Max.F.A.R.	0.20	0.09	0.17
Max Bldg. Height	1 ft. per ft from lot line	5' per ft from lot line	7.7' per ft from lot line

* Denotes Variance Required

Reference: map entitled "SECTION 2-B SUBDIVISION MAP OF APPLE ORCHARD ESTATES", Filed in the Rockland County Clerks Office November 10, 1953 in book 55 page 1 as map # 2261.

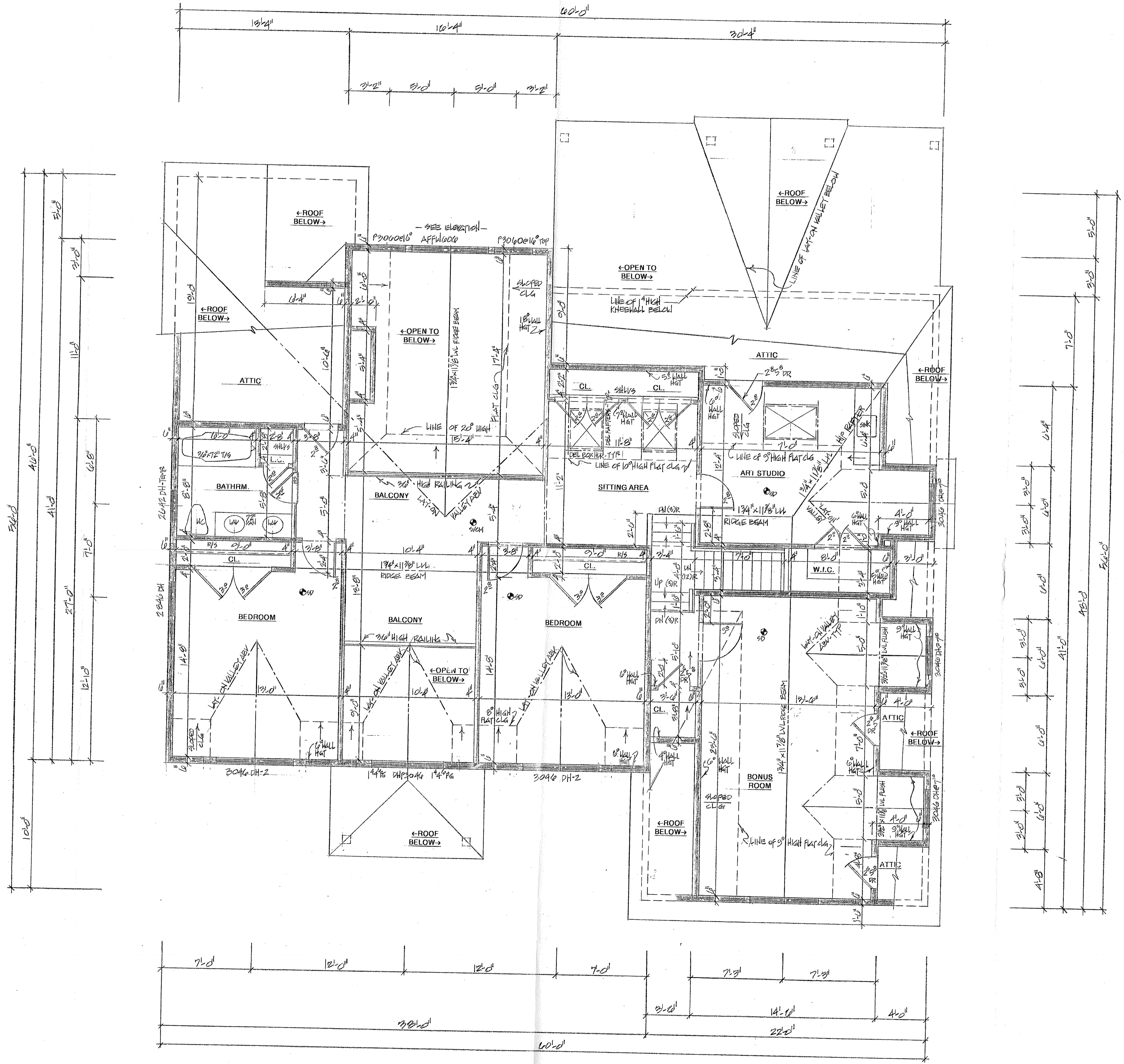
RO 8264



Robert E. Sorace

Lic. 49162

Robert E. Sorace, PLS
135 South Main Street
New City, NY 10956
845-638-1498



SECOND FLOOR PLAN

NOTE: ALL HEADERS ARE TO BE (2) 2"x10" UNLESS OTHERWISE INDICATED

SECOND FLOOR LIVING S.F.: 1212
UNFINISHED BONUS ROOM S.F.: 433

SCALE: 1/4" = 1'-0"

**NEW RESIDENCE FOR
ALLEYN FLAHERTY**

**20 PINTO ROAD
PEARL RIVER, N.Y.**



**HARRY J. GOLDSTEIN
ARCHITECT**
DESIGN & DEVELOPMENT

4 REGINA ROAD
MONSEY, NEW YORK 10952

PROJECT 200706
SEPTEMBER 15, 2020

GENERAL SPECS. CONTINUED

FRAMING

32. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL, FREE FROM ROT, LARGE AND CLOSE KNOTS, SHAKES, AND OTHER IMPERFECTIONS. WHERE THE STRENGTH MAY BE IMPAIRED AND OF SIZES INDICATED ON DRAWINGS, EXCEPT AS NOTED OTHERWISE HEREINAFTER IN THIS SPECIFICATION OR ON THE DRAWINGS, THE MAX. UNIT STRESS FOR LEM-FIR SHALL BE:

- FIBER STRESS (FB) - 1500 PSI
- MODULUS OF ELASTICITY (E) - 1,400,000 PSI
- WHERE INDICATED ON THE DRAWINGS WITH THE NOTATION FB-100 ONLY DOUGLAS FIR-LARCH-NORTH (19% MAX. MOISTURE) NO. 1 GRADE SHALL BE USED WITH THE FOLLOWING MAX. UNIT STRESSES:
- FIBER STRESS (FB) - 1600 PSI
- HORIZONTAL SHEAR (FV) - 90 PSI
- MODULUS OF ELASTICITY (E) - 1,800,000 PSI

CALCULATED DESIGN LOADS (AND VERTICAL LOADS) ON ALL SPANS:

- ROOF 30 PSI LIVE LOAD (L2)
- FLOORS 40 PSI LIVE LOAD (L2)
- ATTIC 20 PSI LIVE LOAD (L2)
- DECKS 40 PSI LIVE LOAD (L2)

33. ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY WALLS, SLABS, ETC. SHALL BE PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED). SILL SEAL SHALL BE OVEN DRY CORNING SILL SEALER (OR APPROVED EQUAL). TERNITE SHIELD SHALL BE INSTALLED WHERE REQUIRED BY SITE CONDITIONS AND BUILDING CODES.

34. DOUBLE JOISTS SHALL BE INSTALLED UNDER ALL PARTITIONS RUNNING PARALLEL WITH SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE STUDS SHALL BE INSTALLED AROUND ALL WALL OPENINGS. ONE ROW OF SOLID BRIDGING AT MID-HEIGHT WITH ALL INTERIOR BEARING WALLS, DOUBLE FRAMING AROUND ALL SKYLIGHTS, ROOF AND FLOOR TRUSSES (T) AND L.V. (W/ROOF LAM) TO BE INSTALLED. RESTRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS. FLOOR JOISTS SHALL RECEIVE CROSSBRIDGING AT 7' O.C. MAXIMUM SPACING.

35. INTERIOR SUBFLOOR SHALL BE 3/4" TONGUE AND GROOVE SHEATHING GLED AND NAILED OVER PREFABRICATED FLOOR TRUSSES OR TWO LAYERS OF 1/2" PLYWOOD LAID PERPENDICULAR TO EACH OTHER WITH BUILDING PAPER BETWEEN LAYERS, GLED AND NAILED TO FLOOR JOISTS. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR GRADE APPLIED HORIZONTALLY WITH VERTICAL JOISTS STAGGERED. ROOF SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD, UNLESS OTHERWISE NOTED.

36. EXTERIOR WALLS SHALL BE 2" X 6" WOOD FRAMING. INTERIOR PARTITIONS SHALL BE 2" X 4" WOOD FRAMING. STUDS SHALL BE PLACED AT 16" ON CENTER (UNLESS OTHERWISE NOTED) AND RECEIVE BLOCKING AT MID-HEIGHT AS REQUIRED. STUDS AT CABLE ENDS UNDER CATHEDRAL CEILING SHALL RUN FULL HEIGHT FROM SOLE PLATE TO ROOF AND SHALL RECEIVE SOLID BLOCKING AT 7' ABOVE FLOOR. ALL BEARING WALLS AND PARTITIONS SHALL RECEIVE BLOCKING AT MID-HEIGHT.

37. HEADERS OVER ALL DOORS, WINDOWS, AND OTHER OPENINGS UNDER 6" SHALL BE 2" X 10" (UNLESS OTHERWISE NOTED). HEADERS OVER 6" TO 8" SHALL RECEIVE (2) 2" X 10" OR (2) 2" X 12" HEADERS IN EXTERIOR WALLS, UNLESS OTHERWISE NOTED.

38. ALL EXTERIOR DECKS SHALL BE FRAMED WITH PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED). LUMBER SHALL HAVE THE FOLLOWING MINIMAL STRESSES: F 1000 PSI AND E 1,300,000 PSI; AND SHALL BE SOUTHERN YELLOW PINE OR APPROVED EQUAL. GALVANIZED STEEL JOIST BRACKETS SHALL BE PROVIDED AT BASE OF ALL WOOD COLUMNS. DECK JOISTS SHALL RECEIVE DIAGONAL CROSS BRACE OR DIAGONAL DECKING. DECKING AND FASCIAS TO BE NON-TOXIC LUMBER, I.E. DOUGLAS FIR, CEDAR OR EQUAL. FASCIAS TO BE CONSTRUCTED AT 34" HEIGHT AND WITH MAXIMUM 6" SPHERE OPENINGS, AS PER CODES.

39. ROOFING MATERIAL SHALL BE MINIMUM 30 YEAR FIBERGLASS SHINGLES (OWENS CORNING OR APPROVED EQUAL) OVER 1/2" ROOFING FELT. VALLEY FLASHING AND OTHER APPROPRIATE FLASHING SHALL BE PROVIDED AS REQUIRED. ICE AND WATER SHIELD SHALL BE INSTALLED AS REQUIRED.

40. FASCIA BOARDS SHALL BE SCARFED AT A 45 DEGREE ANGLE OR 90 DEGREE ANGLE. FASCIA BOARDS SHALL BE COMMON PINE WRAPPED IN ALUMINUM, UNLESS OTHERWISE NOTED.

41. ALUMINUM GUTTERS AND LEADERS SHALL BE PROVIDED AS REQUIRED. FLASH BLOCKS SHALL BE PROVIDED AT OUTLETS UNLESS OTHER PROVISIONS FOR WATER DISPERSION ARE PROVIDED. ALL WATER MUST DRAIN AWAY FROM STRUCTURE SO AS NOT TO CONTRIBUTE TO GROUND WATER SEEPAGE AT FOUNDATION.

DOORS AND WINDOWS

42. WINDOWS SHALL BE SIZE, TYPE AND MFG. AS INDICATED ON PLANS, WITH SCREENS AND HARDWARE PROVIDED. GLAZING LESS THAN 18" ABOVE FLOOR SHALL BE TEMPERED. OPTIONS SUCH AS GLAZING, GRILLS, COLORS, ETC., SHALL BE SELECTED BY OWNER AND/OR BUILDER PRIOR TO CONSTRUCTION. HEAD HEIGHT SHALL BE 8" - 10" UNLESS OTHERWISE NOTED.

43. EXTERIOR DOORS TO BE OF THE MANUFACTURER, TYPE, SIZE AND STYLE AS INDICATED ON THE DRAWINGS. ANY MANUFACTURER OPTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL DOORS SHALL BE 6" - 8" HEIGHT UNLESS OTHERWISE NOTED. PROVIDE WEATHER STRIP SADDLE ON ALL EXTERIOR DOORS. PROVIDE ALUMINUM SADDLE ON ALL INTERIOR PERSONNEL GARAGE DOORS.

PLUMBING

44. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REQUIREMENTS AND SHALL BE SUBJECT TO THE APPROVAL OF THE PLUMBING INSPECTOR. PLUMBING WORK SHALL BE PROVIDED BY CONTRACTOR. BATHROOM FIXTURES SHALL BE KOHLER, AMERICAN STANDARD, OR APPROVED EQUAL. OWNER SHALL SELECT FIXTURES, NO COLORS. PLUMBING FIXTURES TO BE MANUFACTURED BY (OR EQUAL).

ELECTRICAL

45. ALL ELECTRICAL WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE N.Y. STATE AND LOCAL UTILITY COMPANY. GROUND FAULT INTERRUPTER, DUPLEX RECEPTACLES, ETC., SHALL BE INSTALLED AS REQUIRED ACCORDING TO KITCHEN AND BATH LAYOUTS AND CODE REQUIREMENTS.

HEATING / VENTILATING / AIR CONDITIONING

46. ALL HEATING AND AIR CONDITIONING WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES. THE HEATING AND AIR CONDITIONING SYSTEM SHALL MEET ALL REQUIREMENTS OF THE NEW JERSEY STATE ENERGY CONSERVATION CONSTRUCTION CODE AS THEY APPLY.

THERMAL AND MOISTURE PROTECTION

47. APPLY FOUNDATION DAMPROOFING OR WATERPROOFING ON ALL BACKFILL FACES OF WALLS BELOW EARTH GRADE.

48. PROVIDE 1/2" BUILDING FELT, "TYVEK", OR EQUAL, BEHIND ALL SIDING, WINDOOR AND DOOR CASINGS, HAIL TRIMS, ETC.

49. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED, CAULKED, WEATHER STRIPPED OR OTHERWISE PROPERLY SEALED.

50. ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED AS INDICATED ON PLANS AND AS PER CODES. INSULATION SHALL BE FOL. OR RIMSTAC FIBERGLASS BATT INSULATION. ROOF VENTS SHALL BE INSTALLED IN CATHEDRAL CEILING AS REQUIRED.

INTERIOR

51. ALL GYPSUM BOARD SHALL BE SCREWED ON CEILING AND/OR NAILED TO WALLS. TO RECEIVE THREE COATS OF SPACKLE. FINISHED TO RECEIVE TWO COATS OF PAINT, AND ONE COAT OF PRIMER, COLORS BY OWNER. BATHROOMS SHALL RECEIVE WATERPROOF SHEETROCK BEHIND THE AREAS, AND WANDERBOARD OR APPROVED EQUAL BEHIND TUB IN BATH AND SHOWER AREAS.

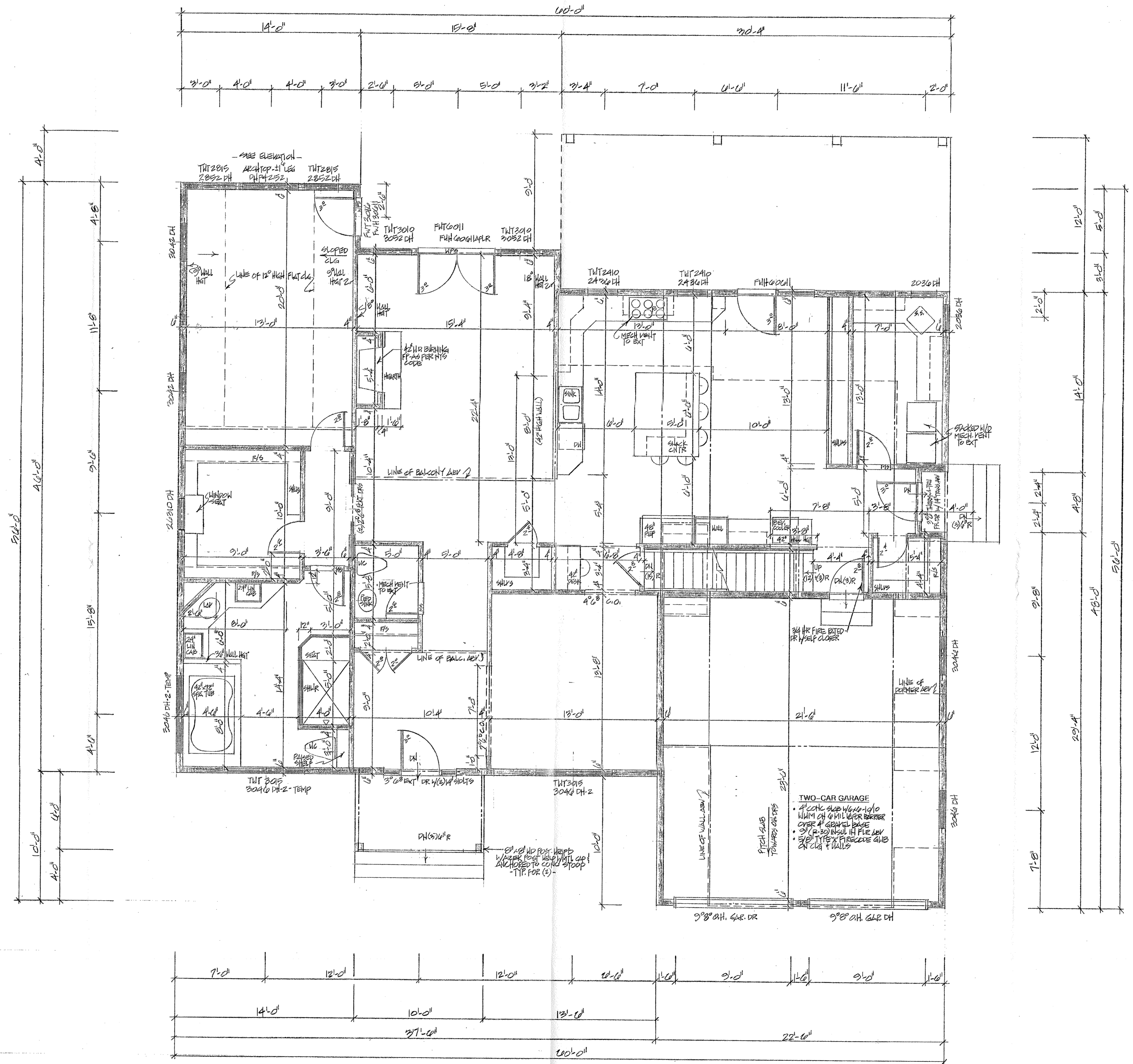
52. FLOORING, TRIM, CLOSET SHELVING, CABINETRY, APPLIANCES, FIXTURES, HARDWARE ETC., SHALL BE SELECTED BY OWNER AND INSTALLED BY BUILDER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

53. INTERIOR DOORS SIZED AS INDICATED ON DRAWINGS, STYLE AND TYPE BY OWNER/CONTRACTOR.

54. CERAMIC TILE OR MARBLE FLOORS IN THE AREA INDICATED ON PLANS SHALL BE INSTALLED IN A "MUD" BASE.

55. OAK HARDWARE FLOORS SHALL BE INSTALLED MINIMUM 3 DAYS AFTER DELIVERY AND BUILDING TO BE HEATED. OAK FLOORS TO RECEIVE TWO COATS OF POLYURETHANE, OVA SEAL OR EQUAL.

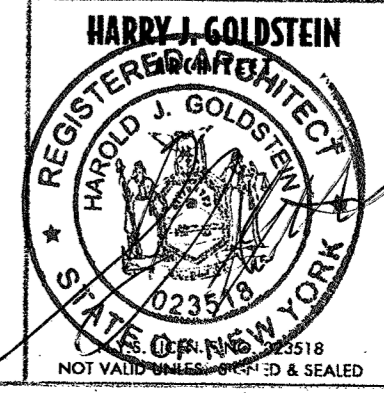
56. STAIRS TO BE AS INDICATED ON DRAWINGS WITH A MINIMUM OF 18" HEAD, AND A MAXIMUM RISE OF 8". MATERIAL AND STYLE BY OWNER UNLESS OTHERWISE INDICATED. ANY SHALL BE INSTALLED AS PER STATE AND LOCAL CODES. ALL RAILINGS TO BE 36" HIGH (MINIMUM). STYLE AND MATERIAL TO BE SELECTED BY OWNER AND SHALL CONFORM TO ALL STATE AND LOCAL CODES. 18" SPHERE MAXIMUM OPENING, ALL EXPOSED WOOD AND TRIM TO RECEIVE ONE COAT OF STAIN AND OPTIONAL TWO COATS POLYURETHANE.



MAIN FLOOR PLAN NOTE: ALL HEADERS ARE TO BE (2) 2" X 10" UNLESS OTHERWISE INDICATED 2-CAR GARAGE S.F.: 533 COVERED PORCHES S.F.: 433 MAIN FLOOR LIVING S.F.: 2121 TOTAL OVERALL LIVING S.F.: 3333 SCALE: 1/4" = 1'-0"

NEW RESIDENCE FOR ALLYN FLAHERTY

20 PINTO ROAD PEARL RIVER, N.Y.

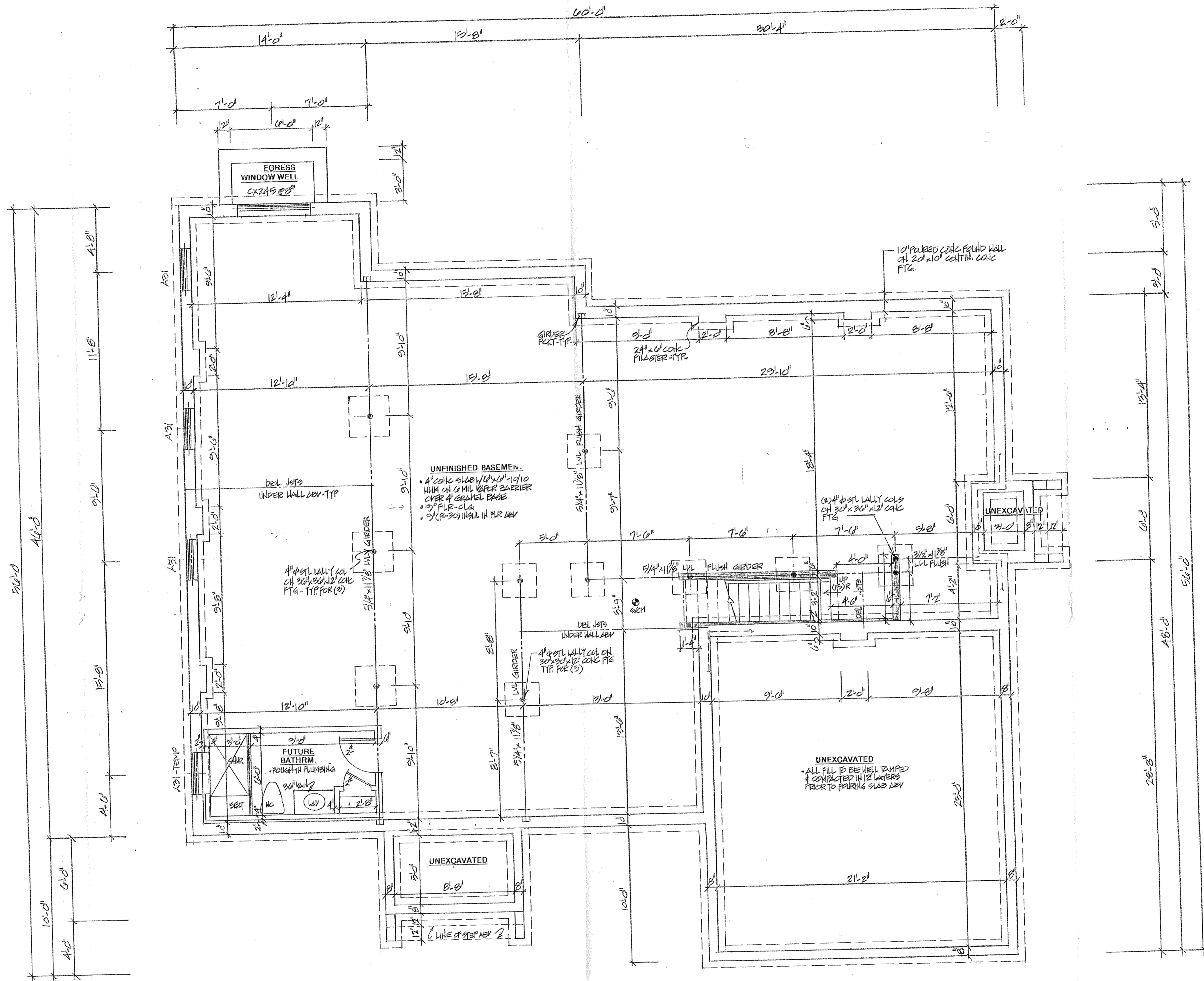


HARRY J. GOLDSTEIN ARCHITECT DESIGN & DEVELOPMENT
 4 REGINA ROAD MONSEY, NEW YORK 10952
 (914) 356-7942 (914) 393-3787

PROJECT 200706 SEPTEMBER 15, 2020
 3 OF 4

GENERAL SPECIFICATIONS

- GENERAL NOTES**
1. ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES AND THE N.Y.S. BUILDING AND ENERGY CODES OF THE TOWN OF PEARL RIVER.
 2. THESE PLANS ARE TO BE USED FOR PERMITS & CONSTRUCTION GUIDE ONLY. IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT, UNLESS OTHERWISE INDICATED BY ARCHITECT.
 3. CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH SCHEDULE.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 5. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT, BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESHEN OR OTHER CONDITION.
 6. ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. ARCHITECT IS ONLY RESPONSIBLE FOR THESE WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESHEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITIONS OPERATIONS AND METHODS.
 7. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESHEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITIONS OPERATIONS AND METHODS.
 8. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES, MATCH ALL EXISTING MATERIALS, DIMENSIONS, AND CONDITIONS AS THEY APPLY.
 9. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.
 10. ALL CONSTRUCTION & MATERIALS SHALL BE NEW - UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
 11. ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT, IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS LICENSED IN THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCY.
 12. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.
 13. ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.
 14. PRIOR TO COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.
- SITE NOTES**
15. CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANIES LINES, SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
 16. ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR RELOCATED ARE TO BE SO EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJACENT AREAS OR CONDITIONS WHICH ARE TO REMAIN.
 17. EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO OBSERVE ANY VARIATIONS OR UNFORESHEN DISCREPANCIES IN THE PLANS AND REPORTED IMMEDIATELY TO THE OWNER.
 18. ALL FOOTINGS TO REST ON VIRGIN SOIL HAVING A MINIMUM BEARING CAPACITY OF 3000 P.S.F. AT 2' 0" MINIMUM BELOW THE FINISHED GRADE.
 19. EARTH UNDER CONCRETE SLAB BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, WATER AND OTHER MATTER. THE SUB-GRADE SHALL DROUGHT TO A TRUE PLANE & COMPACTED TO SOLID BEARING. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIX & COMPACTED TO SOLID BEARING. ALL FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIAL. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER SIX INCHES IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 3" IN GREATEST DIMENSION.
 20. DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECKING, ARE INSTALLED.
 21. BACKFILL AGAINST 8" POLYMER CONCRETE WALLS SHALL BE A MAXIMUM OF 7' 0" AND 12" CONCRETE BLOCK WALLS MAXIMUM 6' 0" ABOVE SLAB TO ADJACENT GRADE.
 22. TOP 6" OF NEWLY GRADED AREAS IS TO BE TOP SOIL, RAKED FREE FROM DEBRIS, STICKS, STONES OVER 2" IN SIZE AND OBJECTIONABLE MATERIAL.
 23. GENERAL CONTRACTOR OR OWNER SHALL VERIFY ALL INVERT ELEVATIONS AND SLOPE CONDITIONS INDICATED PRIOR TO CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS OR SEWER DEPT. RECORDS.
 24. FOOTING DRAINS TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE THEY SHALL BE LAID IN GRAVEL BED AND PROTECTED AT TOP WITH FILTER FABRIC AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRY WELL.
 25. FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE BUILDING, SO THAT ALL SURFACE WATER FLOWS AWAY FROM IT.
 26. INSTALLATION OF GAS METERS SHALL BE IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 27. INSTALLATION OF ELECTRIC METERS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 28. FINISHED GRADE HEIGHT SHALL BE MINIMUM 6" BELOW ADJACENT FRAMING AND MAXIMUM (IF ANY) AS PER LOCAL CODES.
- CONCRETE AND MASONRY**
29. NEW POURED CONCRETE TO BE MINIMUM 3000 P.S.F. COMPRESSIVE STRENGTH IN 28 DAYS. NO LOAD OF GEMENT MIN. PER CUBIC YARD OF CONCRETE AND MAXIMUM 7 1/2 GALLONS OF WATER PER BAG OF CEMENT. 1/4 GALLONS OF WATER PER BAG OF CEMENT FOR AIR ENTRAINED CONCRETE. SUBMIT TESTING REPORTS PERFORMED BY APPROVED TESTING LABORATORY, AS REQUIRED BY LOCAL OFFICIALS.
 30. CONCRETE DESIGN, MATERIALS, AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STANDARD SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE. ALL MASONRY OR CONCRETE ANCHORS AND FASTENERS OF ANY KIND, TO BE GALVANIZED OR ZINC COATED.
 31. BLOCK FOUNDATION WALLS TO BE REINFORCED HORIZONTALLY WITH DUR-O-WAL EVERY SECOND COURSE AND VERTICALLY WITH #4 RE-BARS EVERY FOUR FEET. BLOCK SHALL BE FILLED SOLID WITH CONCRETE AROUND REINFORCING BARS. TOP COURSE OF BLOCK SHALL BE FILLED SOLID WITH CONCRETE AND 3/4" DIAMETER ANCHOR BOLTS SHALL BE PLACED 4' 0" TO 6' 0" O.C.



BASEMENT/FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

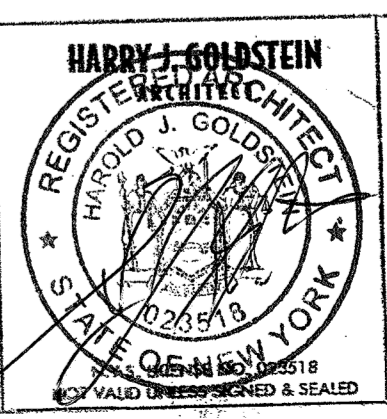
STATE OF NEW YORK ADOPTED CODES AND STANDARDS

- INTERNATIONAL RESIDENTIAL CODE-NY ED, 2020
- NATIONAL ELECTRICAL CODE, 2020
- NATIONAL STANDARD PLUMBING CODE, 2020
- INTERNATIONAL ENERGY CONSERVATION CODE, 2020 (RESIDENTIAL)
- INTERNATIONAL MECHANICAL CODE, 2020
- INTERNATIONAL FUEL GAS CODE, 2020
- 2020 RESIDENTIAL PRESCRIPTIVE PACKAGE

NOTE: TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, PLANS ARE IN COMPLIANCE WITH THE 2020 IECC & NYS ENERGY CODE

**NEW RESIDENCE FOR
ALLYN FLAHERTY**

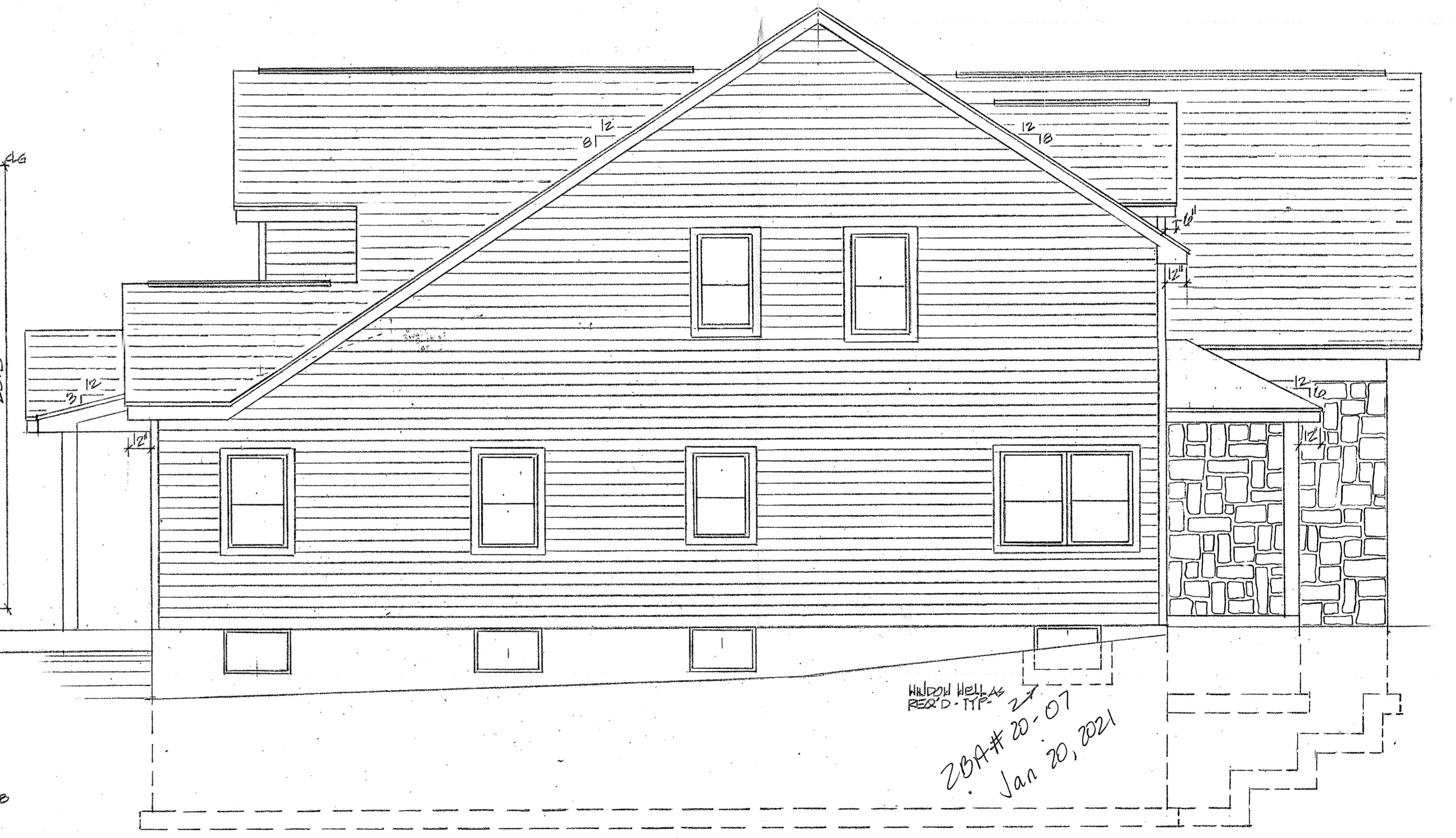
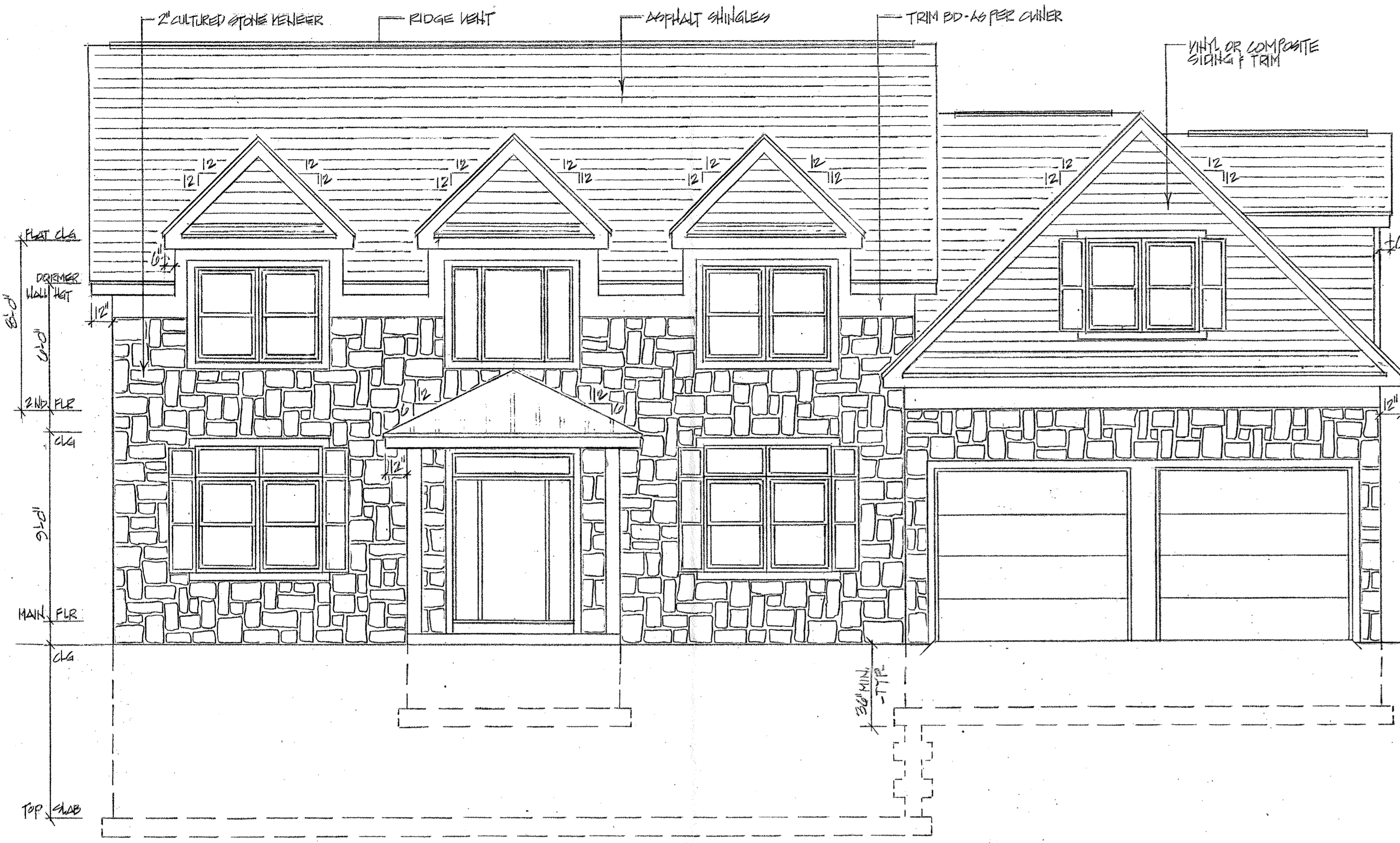
**20 PINTO ROAD
PEARL RIVER, N.Y.**



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PROJECT 2020.05
SEPTEMBER 15, 2020

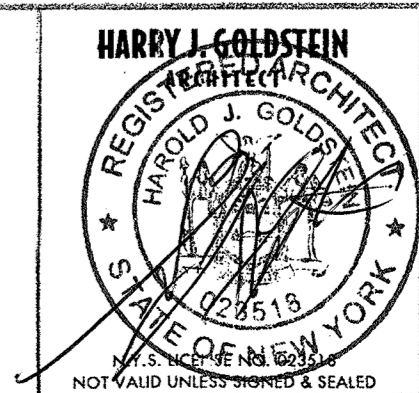
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HARBOR HILL AS
 RECD - TYP
 ZBA# 20-07
 Jan 20, 2021

NOTE: THESE PLANS TO BE USED FOR
 ORANGETOWN BOARD MEETINGS ONLY.
 NOT TO BE USED FOR CONSTRUCTION PURPOSES.

NEW RESIDENCE FOR
 ALLYN FLAHERTY
 20 PINTO ROAD
 PEARL RIVER, N.Y.



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