

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2020 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 50977

ASSIGNED _____

INSPECTOR: _____

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Proposed Front/ Side Porch Addition for Mr. & Mrs. Gleeson

Street Address: 58 Hunt Avenue, Pearl River NY 10965

Tax Map Designation:
Section: 68.16 Block: 5 Lot(s): 1
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the left side of Hunt Avenue - Heading West, approximately 0 feet from _____ of the intersection of Roosevelt Ave, in the Town of ORANGETOWN in the hamlet/village of Pearl River.

Acreage of Parcel <u>9,610 SQ.FT/0.22 ACRES</u>	Zoning District <u>RG</u>
School District <u>Pearl River</u>	Postal District <u>Pearl River</u>
Ambulance District <u>Pearl River</u>	Fire District <u>Pearl River</u>
Water District <u>Pearl River</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*
Mr. & Mrs. Gleeson proposing a new front/side porch as show on the attached submitted documents.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: _____ Applicant's Signature: Camille E. Gleeson

APPLICATION REVIEW FORM

Applicant: Mr. & Mrs. Gleeson Phone # _____
Address: 85 Hunt Avenue Pearl River NY 10965
Street Name & Number (Post Office) City State Zip Code

Property Owner: Mr. & Mrs. Gleeson Phone # _____
Address: 85 Hunt Avenue Pearl River NY 10965
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Karl Ackermann, AIA Phone # 845-661-0893
Address: 159 E Central Avenue Pearl River NY 10965
Street Name & Number (Post Office) City State Zip Code

Attorney: N/A Phone # _____
Address: _____
Street Name & Number (Post Office) City State Zip Code

Contact Person: Karl Ackermann, AIA Phone # 845-661-0893
Address: 159 E Central Avenue Pearl River NY 10965
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|-----------------------------------------------|-----------------------------------------------|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:

Referral Agencies:

- | | |
|------------------------------------------------------|------------------------------------------------------------------|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality | |
| <input type="checkbox"/> Other | |

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

Gleeson 58 Hunt Ave, Pearl River 68.16-5-1; RG

26 Letters
4 Posters

✓ 392489 68.16-3-7
Martin M Duffy
46 Bogert Av
Pearl River, NY 10965

✓ 392489 68.16-3-8
Linda Tonnessen
52 Bogert Ave
Pearl River, NY 10965

✓ 392489 68.16-3-9
Michael Oliva
56 Bogert Av
Pearl River, NY 10965

✓ 392489 68.16-3-10
Robert Lucca
60 Bogert Ave
Pearl River, NY 10965

✓ 392489 68.16-3-11
Esteban Oliveros
66 Bogert Ave
Pearl River, NY 10965

✓ 392489 68.16-3-51
Michael Zambardino
69 Hunt Ave
Pearl River, NY 10965

✓ 392489 68.16-3-52
Greg Reisenauer
65 Hunt Ave
Pearl River, NY 10965

✓ 392489 68.16-3-53
Andrew T Finn
61 Hunt Ave
Pearl River, NY 10965

✓ 392489 68.16-3-54
Pamela G Bryant-Childs
57 Hunt Ave
Pearl River, NY 10965

✓ 392489 68.16-3-55
Eugene Minchak
53 Hunt Av
Pearl River, NY 10965

✓ 392489 68.16-3-56
Michael J Mc Gourty
47 Hunt Av
Pearl River, NY 10965

✓ 392489 68.16-3-57
David T Connelly
45 Hunt Av
Pearl River, NY 10965

✓ 392489 68.16-3-58
Nicholas Tantillo
41 Hunt Av
Pearl River, NY 10965

✓ 392489 68.16-4-6
Anthony T Raimone
38 Hunt Ave
Pearl River, NY 10965

✓ 392489 68.16-4-7
Kevin Flanagan
44 Hunt Av
Pearl River, NY 10965

✓ 392489 68.16-4-8
Douglas Pitts
46 Hunt Av
Pearl River, NY 10965

✓ 392489 68.16-4-9
Robert Gallagher
50 Hunt Av
Pearl River, NY 10965

✓ 392489 68.16-4-10
Kieran Doran
69 Oriole St
Pearl River, NY 10965

✓ 392489 68.16-4-11
Laurence Degennaro
81 Roosevelt St
Pearl River, NY 10965

✓ 392489 68.16-4-12
Brian P Mc Laughlin
75 Roosevelt St
Pearl River, NY 10965

* 392489 ~~68.16-5-1~~
Brian Gleeson
58 Hunt Av
Pearl River, NY 10965

✓ 392489 68.16-5-2
John Ficucello
86 Roosevelt St
Pearl River, NY 10965

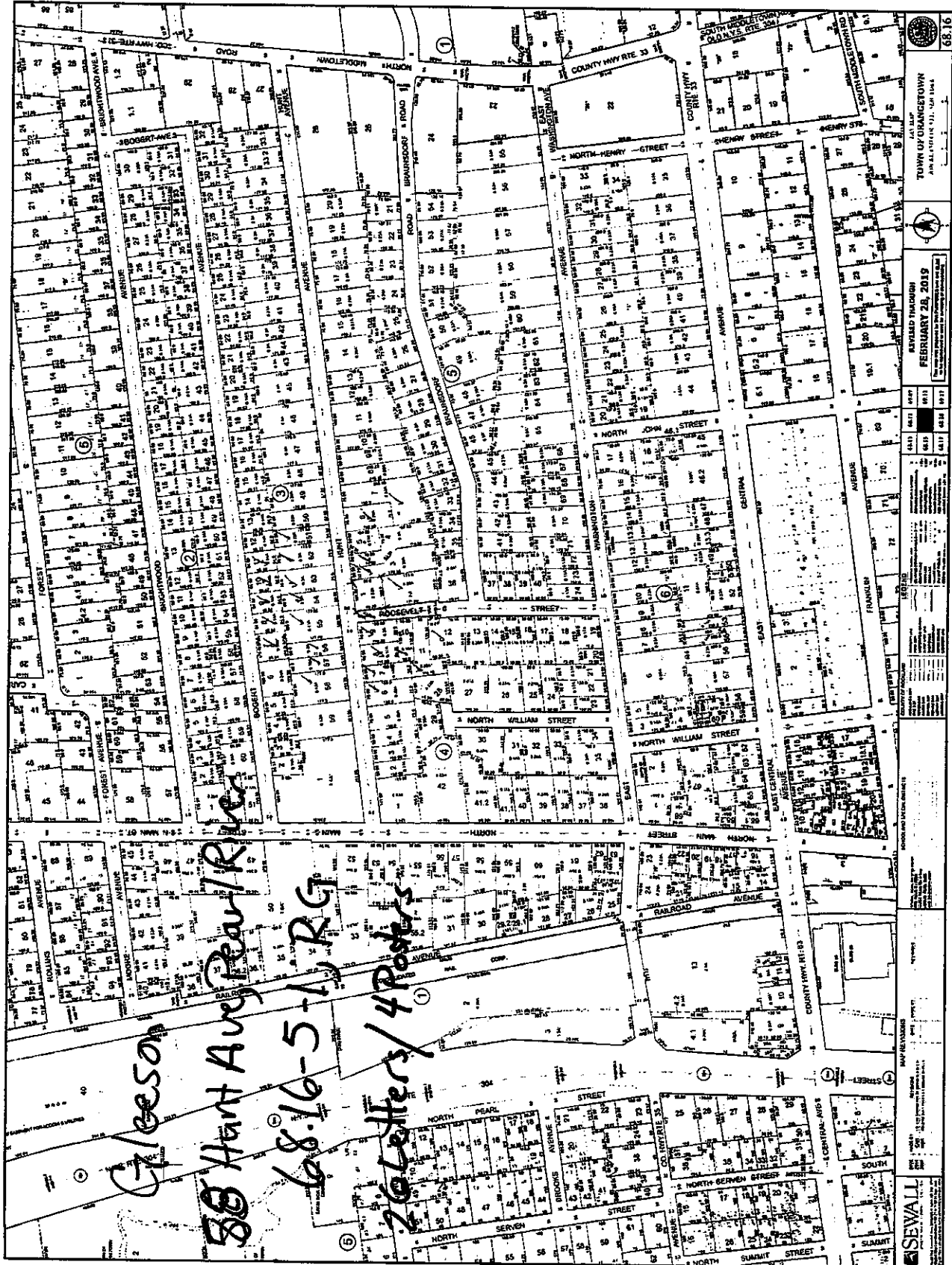
✓ 392489 68.16-5-3
German Gomez
62 Hunt Ave
Pearl River, NY 10965

✓ 392489 68.16-5-4
Robert W Tellefsen
66 Hunt Ave
Pearl River, NY 10965

✓ 392489 68.16-5-5
James M Morrison
68 Hunt Av
Pearl River, NY 10965

✓ 392489 68.16-5-6
Lois Bohovesky
72 Hunt Av
Pearl River, NY 10965

✓ 392489 68.16-5-7
Hunt Properties LLC
95 W Century Rd
Paramus, NJ 07652



Gleason
 88 Hart Ave, Rear/R
 68-16-5-1, RG
 26 letters / 4 posts

SEWELL

REVISIONS

NO.	DATE	DESCRIPTION
1	02/28/19	ISSUED FOR PERMITS
2	02/28/19	ISSUED FOR PERMITS
3	02/28/19	ISSUED FOR PERMITS
4	02/28/19	ISSUED FOR PERMITS

ISSUED FOR PERMITS
 FEBRUARY 28, 2019

TOWN OF ORANGETOWN
 AN ALBANY COUNTY TOWN

68-16



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT

TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: January 8, 2021

Applicant: Gleeson

Address: 58 Hunt Ave, Pearl River, NY

RE: Application Made at: same

Chapter 43, Table 3.12 column 1 RG District, Column 2 Group , Column 3 SFR, Column 8 Required
Front Yard 25' w/ 23'10" proposed.
ONE variances required

Section: 68.16 Block: 5 Lot: 1

Dear Gleeson:

Please be advised that the Building Permit Application, which you submitted on

January 8, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

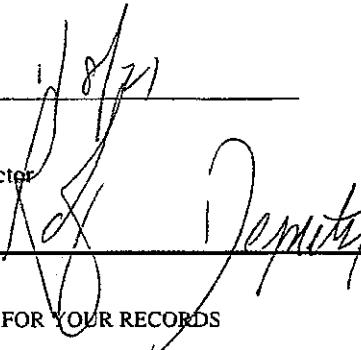
In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC


Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.

APPLICATION FOR BUILDING / DEMOLITION PERMIT

Phone: (845) 359-8410 Fax: (845) 359-8526

Name of Municipality: Town of Orangetown, 20 Greenbush Road, Orangeburg, NY

OFFICIAL USE ONLY			
Inspector: <u>RG Dom</u>	Date App Received: <u>1/8/2021</u>	Received By: <u>UZ</u>	
Permit Fee: <u>\$493</u>	Ck# <u>810</u>	Paid By: <u>Gleeson</u>	
GIS Fee: <u>\$20</u>	Ck# <u>809</u>	Paid By: <u>"</u>	
Stream Maintenance Fee	Ck #	Paid By	
1 st 6 mo. Ext.:	Ck #	New Exp. Date:	Paid By
2 nd 6 mo. Ext.:	Ck #	New Exp. Date:	Paid By
Additional Fee:	Ck#	Date	Paid By:
Permit No. <u>50977</u>	Date Issued:		
CO No.	Date Issued:		

RECEIVED

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application. JAN 8 2021
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must be signed by the applicant.

Property Location: 58 Hunt Avenue TOWN OF ORANGETOWN
 Section: 68.16 Block: 5 BUILDING DEPARTMENT
 Lot: 1
 Property Owner: Mr. & Mrs. Gleeson
 Mailing Address: 58 Hunt Avenue Pearl River NY 10965
 Email: chico@verizon.net Phone#: 914-262-1140
 Lessee (Business Name): N/A
 Mailing Address: N/A
 Email: N/A Phone#: N/A
 Type of Business /Use: Residential - Two Family
 Contact Person: Karl Ackermann, AIA Relation to Project: Architect
 Email: karlarch159@gmail.com Phone#: _____
 Architect/Engineer: Karl Ackermann, AIA NYS Lic # 027393
 Address: 159 E Central Avenue Pearl River NY 10965 Phone#: 845-661-0893
 Builder/General Contractor: Kelleher Construction Inc. RC Lic # H-18293
 Address: 110 W Crooked Hill Rd. Suite 2 Pearl River NY 10965 Phone#: 914-374-4512
 Plumber: n/a RC Lic # _____
 Address: _____ Phone#: _____
 Electrician: TBD RC Lic #: _____
 Address: _____ Phone#: _____
 Heat/Cooling: n/a RC Lic#: _____
 Address: _____ Phone#: _____
 Existing use of structure or land: Residential - Two Family
 Proposed Project Description: Proposed Front and Side Porch Addition as shown on the attached documents.

Proposed Square Footage: 405 s.f. Porch Estimated Construction Value (\$): \$20,000.

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

PERMIT REFERRED / DENIED FOR:

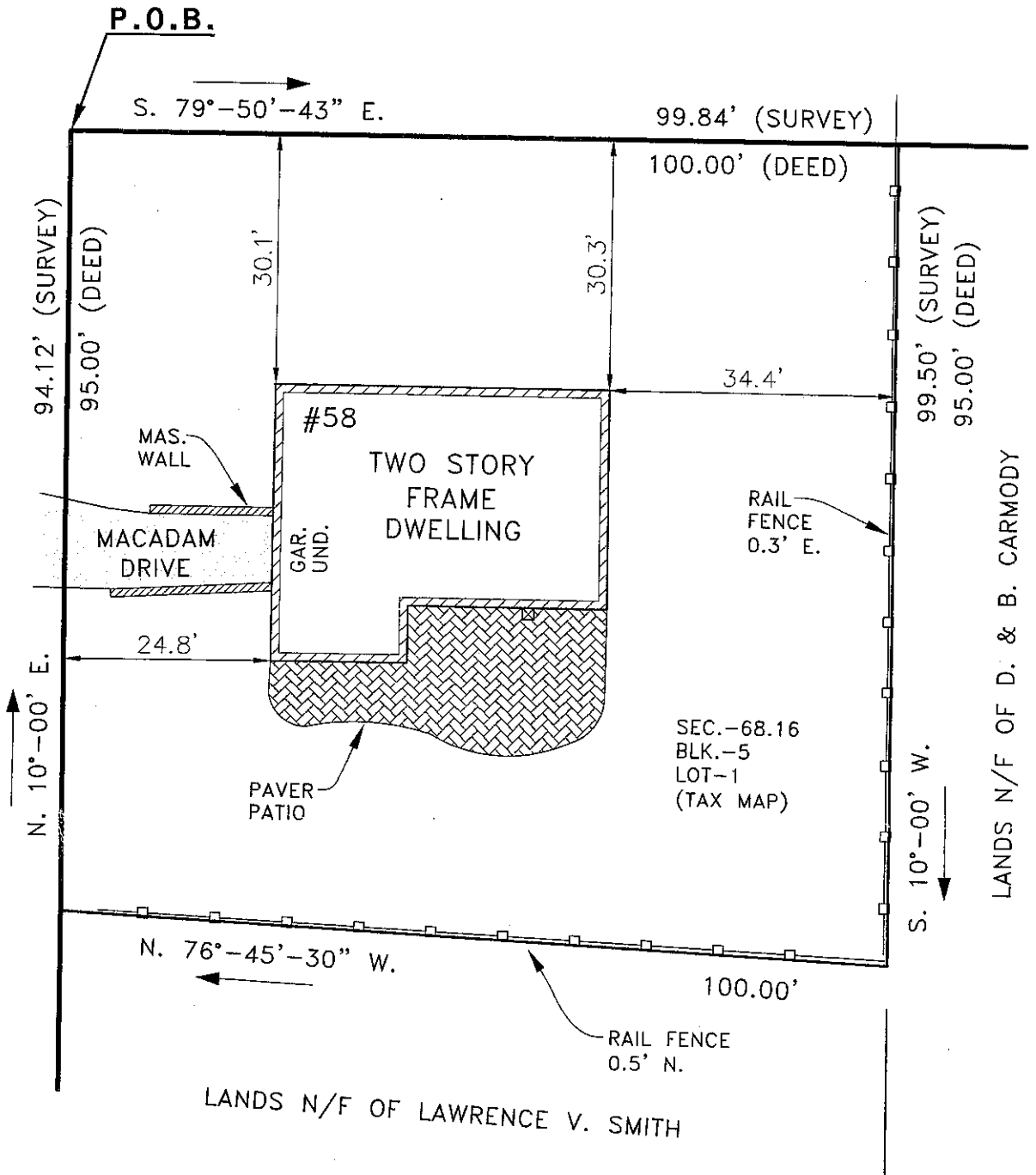
Chapter 45 Table 3.12 Column 1 R6 Column 2 Group C
Column 3 SR. Column 8 Front Yard 25' Required w/ 23' 10"
proposed.

RG Dom
1/8/21

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT#

ROOSEVELT STREET

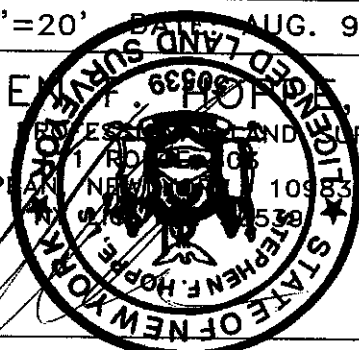
HUNT AVENUE



SURVEY OF PROPERTY
#58 HUNT AVENUE
LOT 1, BLOCK 5, SECTION 68.16
PEARL RIVER, ROCKLAND CO., NY

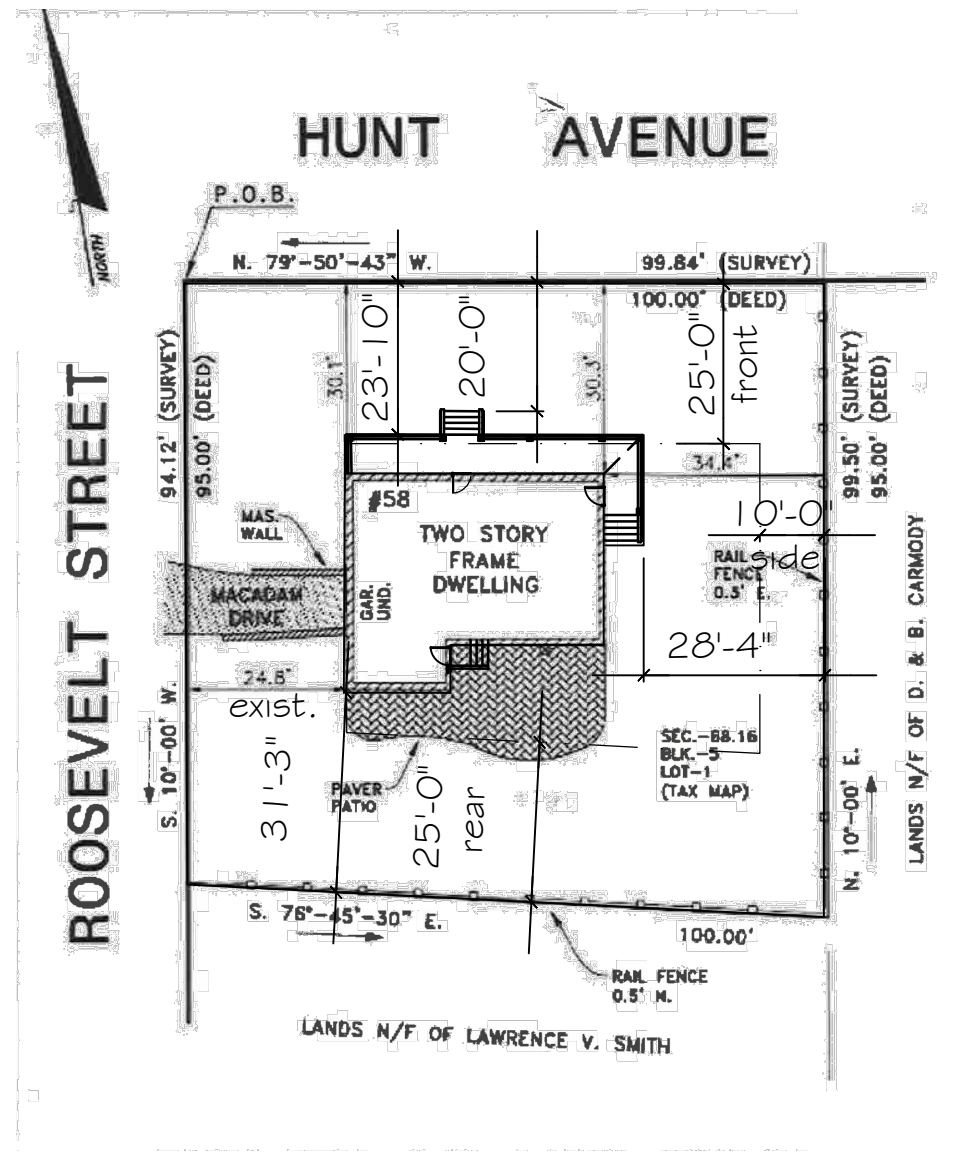
SCALE: 1"=20' DATE: AUG. 9, 2009

STEPHEN F. HOPKINS L.S.
LICENSED PROFESSIONAL LAND SURVEYOR



LIST OF DRAWINGS	
ARCHITECTURAL DRAWINGS SHEET	DESCRIPTION
A-1	SITE LOCATION PLAN, NOTES, LIST OF DRAWINGS
A-2	EXISTING/PROPOSED ELEVATIONS
A-3	DEMO AND FOUNDATION PLAN
A-4	PROPOSED FLOOR PLAN
A-5	SECTION / DETAILS

SITE PLAN GENERAL NOTES



SITE LOCATION PLAN

SCALE: 1"=30'-0"

THIS SITE PLAN IS BASED ON A SURVEY PROVIDED BY OWNER BY STEPHEN F. HOPPE, PLS DATED AUGUST 9, 2009. THE DESIGNER SHALL ASSUME NO RESPONSIBILITY FOR ACCURACY OF ORIGINAL SURVEY. REFER TO ORIGINAL SURVEY FOR ALL ADDITIONAL INFORMATION.

BULK TABLE

SITE DATA ZONING BULK TABLE		
58 Hunt Avenue - Pearl River NY 10965 - (RG-Zone) - Corner Lot - Existing Non-Conforming TAX MAP - SECTION 68.16, BLOCK 5, LOT 1		
LOT REQUIRED 10,000 S.F.	EXISTING LOT AREA= 9,610 +/- SQ. FT.	NO CHANGE
FAR - .30 (30%)	EXISTING FAR - 2,440 / 9,610 = .25.39 (25.39%)	PROPOSED FAR - 2,834 / 9,610 = .2960 (29.60%)
FRONT YARD (corner lot) SET BACKS: 25'-0" / 25'-0"	FRONT YARD (corner lot) SET BACKS: 24.8' / 30'-1"	FRONT YARD (corner lot) SET BACKS: 24.8' / 23'-1" 20'-0" to edge of stairs
SIDE YARD SET BACK: 1'-0"	EXISTING 34.4'	PROPOSED 28'-4"
COMBINED SIDE YARD SETBACK - N/A Corner Lot	COMBINED SIDE YARD SETBACK - N/A Corner Lot	COMBINED SIDE YARD SETBACK - N/A Corner Lot
REAR YARD SET BACK: 25'-0"	EXISTING 31.25'	NO CHANGE
LOT WIDTH: 75'-0"	99.84' EXISTING	NO CHANGE
STREET FRONTAGE: 50'-0"	91.12' + 99.84' = 190.96'	NO CHANGE
HEIGHT 1'-0" PER 1'-4"	EXISTING	SEE ELEVATIONS - NO CHANGE

EXISTING F.A.R. DATA	
EXISTING FIRST FLOOR	1,140 S.F.
SECOND FLOOR	700 S.F.
LEGAL BASEMENT - 2 ND DWELLING	600 S.F.
EXISTING TOTAL S.F.	2,440 S.F.
EXISTING FAR - 2,440 / 9,610 = .25.39 (25.39%)	

PROPOSED F.A.R. DATA	
EXISTING FIRST FLOOR	1,140 S.F.
SECOND FLOOR	700 S.F.
LEGAL BASEMENT - 2 ND DWELLING	600 S.F.
PROPOSED NEW PORCH	405 S.F.
PROPOSED TOTAL S.F.	2,845 S.F.
PROPOSED FAR - 2,834 / 9,610 = .2960 (29.60%)	

EXISTING NON-CONFORMING LOT - VARIANCE REQUIRED

● VARIANCE REQUIRED AT LOCATIONS NOTED ABOVE

GENERAL CONSTRUCTION SPECIFICATIONS DIVISION 1 - GENERAL CONDITIONS

- 1.1 **Scope of Work:** Contractor shall furnish and install all labor, materials and equipment required to complete all work shown on drawings and work required for a complete project. All materials and workmanship shall be of the best quality and shall meet all applicable codes. Drawings and specifications shall serve as general limits and minimum standards for scope of work. Contractors, sub-contractors and vendors shall abide by and provide for residential or commercial industry standards as well as adhering to building code requirements.
- 1.2 **Code Compliance & Building Standards:** All work and materials shall conform and comply with all local codes, ordinances and the following authorities as applicable:
2015 ICC - Residential Code of New York State
2017 New York State Supplement
- 1.3 **Permits:** The contractor is responsible for filing for any and all permits including the general permit from the local building department. The Owner shall pay the permit fee. Each construction trade shall be responsible for obtaining permits relevant to their respective trades, as well as all required inspections, (i.e. UL-electrical permits and inspection; plumbing permits and inspections if applicable). Final payments shall be subject to the contractor providing the Owner with a Certificate of Occupancy upon completion of the job.
- 1.4 **Certificates and Inspections:** The Contractor shall schedule and perform all required inspections. Contractor shall coordinate the required municipality inspections with the local code enforcement official. Contractor shall furnish Owner with a Certificate of Occupancy from the permitting agency. Contractor shall furnish all other warranties and documentation listed in specification before project completion and final payment.
- 1.5 **Certificate of Insurance:** Contractors shall furnish Owner copies of insurance policies required by permitting agency including workers compensation, naming Owner and Architect as certificate holders.
- 1.6 **Licenses:** General Contractor and each trade shall be licensed as required by the State of New York, Westchester County or the municipality governing the proposed work. Contractor shall furnish a copy of license certificate of all trades who will be working on the project to the Owner.
- 1.7 **GUARANTEE:** The General Contractor shall provide a one year guarantee for all workmanship and material from date of substantial completion as established by the Architect. General Contractor shall furnish all other documentation, manuals and warranties before project completion and receipt of final payment.
- 1.8 **Contract:** Contractor shall execute a contract with Owner using an AIA document or agreement approved by both parties. The Architect shall prepare the AIA contract.
- 1.9 **Contract Set of Prints:** If required by article of construction contract, the Contractor and owner shall sign a set of contract documents (drawings & specifications) which shall serve as the contract scope of work for the project. Additional agreed upon items shall be written and approved by both parties and become a part of the contract.
- 1.10 **Allowances:** Shall be included in the contractors Scope of Work. The allowances are to be applied toward the purchase of a pre-contract schedule of items created by the Owner, Architect and Contractor. Installation of all allowance items shall included in the general contract Scope of Work.
- 1.11 **SUBSTITUTIONS:** In general, equal or better product substitutions are permitted where specific esthetic desires or requirements are not in question. Proposed alternative submittal documents shall include a side by side comparison to the specified product's submittal document(s).

DIVISION 3 - CONCRETE

- 3.1 **Poured Concrete:**
 - A. MATERIALS:
 - B. concrete shall be 3,000 psi, air-entrained
 - C. (total air content, % by volume of concrete, shall be not less than 5% or more than 7%) and batched at a central plant.
 - D. SUBMITTALS: Product data, batch tickets and test results for 28-day compression tests
 - E. EXECUTION:
 1. No work with materials containing water shall be carried out during unreasonably cold weather.
 2. Work may be started when temperature is 28 degrees F and rising, and shall be stopped when temperature is 34 degrees F and falling. Furthermore, during such cold weather conditions the following precautions shall be taken: Water shall be heated and kept warm. Sand shall be heated and kept warm. An anti-freeze such as "Euco" made by Euclid Chemical Co. "Tri-Mix" by Sonnenborn, or "No Freeze" by Horn shall be added to the mixture in proportions as recommended by the manufacturer. Material shall be placed as soon as possible and shall not be permitted to get too cold. No material containing ice or frozen parts shall be used. All footings and trenches when exposed must be dewatered and protected from freezing.
 3. Work shall be protected against cold weather or frost by means of hay, straw, canvas, "salamanders" or other approved methods. Work damaged by cold weather or frost will not be accepted.
 4. Contraction joints shall be provided by placing plastic inserts or grooves into the fresh concrete to a depth of 1/4 the thickness of the slab or with saw cuts. Saw cuts shall be made the same day that the concrete is cast. Contraction joint spacing for interior concrete of 4" thickness shall be 16'-0" max on center and for interior concrete of 5" thickness shall be 20'-0" max on center.
 5. Do not overwork the concrete surface to avoid crazing cracks.
 6. Do not add mix water to concrete beyond the amount for proper slumps.

NOTE:
PLANS SUBMITTED FOR REVIEW AND PROCESS TO ZONING BOARD OF APPEALS (VARIANCE REQUIRED)
NOT FOR CONSTRUCTION

DIVISION 5 - METALS

- 5.1 **METAL FABRICATIONS:**
 - A. MATERIALS:
 1. **general:** For metal fabrications exposed to view in the completed Work, provide materials with smooth, flat surfaces without blemishes. Do not use materials with exposed pitting, seam marks, roller marks, rolled trade names or roughness.
 2. **steel plates, shapes, & bars:** ASTM A-36 or A-36M.
 3. **steel columns:** ASTM A-36 with welded steel plates at top and bottom
 4. **welding rods and bare electrodes:** Select according to AWS specifications for metal alloy welded.
 5. **primer for interior steel:** Shop paint with modified oil-alkyd primer, Tnemec 88-559 or 10-1009 or equivalent. Primer shall be compatible with finish paint.
 6. **primer for galvanized steel:** Shop paint with polyamide epoxy primer, Tnemec F.C. Typoxy Series 27, or equivalent. Primer shall be compatible with finish paint.
 7. **fasteners:** Provide Type 304 or 316 stainless-steel fasteners for exterior use and zinc-plated fasteners with coating complying with ASTM B633, Class Fe/Zn 5, where built into exterior walls, except as otherwise noted. Select fasteners for type, grade, and class required.
 8. **anchor bolts:** ASTM F 1554, Grade 36. Anchor bolts shall be rated for contact to 'ACQ' pressure treated material.
 9. **bolts and nuts:** Regular hexagon-head bolts, ASTM A-307, Grade A, with hex nuts, ASTM A-563 and flat washers. Bolts, nuts and washers shall be rated for contact to 'ACQ' pressure treated material.
 10. **machine screws:** ASME B 1 8.6.3
 11. **Lag bolts:** ASME B 1 8.2.1
 12. **wood screws:** Flat head, carbon steel, ASME B 1 8. G. 1
 13. **PLATE WASERS:** Round, carbon steel, ASME B 1 8.22. 1
 14. **lock washers:** Helical, spring type, carbon steel, ASME B 1 8.2. 1
 15. **expansion anchors:** Carbon-steel components zinc-plated to comply with ASTM B-G33, Class Fe/Zn 5. Anchor bolt and sleeve assembly of material indicated below with capability to sustain, without failure, a load equal to six times the load imposed when installed in unit masonry and equal to four times the load imposed when installed in concrete, by testing per ASTM E 488.
 - B. SUBMITTALS: For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, environmental 'green' performance/certifications and installation manual.
 1. **product data:** For Paint products
 2. **shop drawings:** Detail fabrication and erection of each metal fabrication indicated. Include plans, elevations, sections and details with their connections. Show anchorage and accessory items.
 3. **Welding certificates:** Copies of certificates for welding procedures and personnel. Certify each welder has passed the AWS qualification tests for welding processes involved and, if pertinent, has undergone recertification.
 - C. EXECUTION:
 1. For each product indicated, comply with the manufacturer's specifications and installation instructions.
 2. Anchor bolts shall be galvanized steel 1/2" diameter anchor bolts, with a minimum embedment of 12" in 2" 3" 'hook'. Bolts shall be spaced as per plans. All bolts must have washer and nut securely fastened.

DIVISION 6 - WOOD

- 6.2 **Wood Porch and Decks:** Contractor to furnish and install all materials, labor and equipment required for a complete deck installation as shown on plans.
 - A. MATERIALS:
 - Wood Decking: See Plan Details and alternates.
 - B. SUBMITTALS: For each product indicated, submit manufacturer's product data.
 - C. EXECUTION:
 1. All framing not resting on wood headers shall rest on metal hangers "Simpson's - Zmax line or USP Connectors with triple zinc" or equal. All hangers shall be rated for contact to 'ACQ' pressure treated material and all fasteners shall be approved type.
 2. Wood decking members, except for tongue and groove members, shall be installed with a "Finish-nail" thickness separation to allow drainage of water and expansion.
 3. No framing or finished wood shall be within 8" of finished grade.
 4. Deck ledger shall be decay resistant (pressure treated/Volmanized) and thru bolted to adjacent construction with (2 rows) 1/2" galvanized lag bolts @ 36" on center in staggered layout. Contractor to provide flashing system which shall be approved for contact to pressure treated material and galvanized hangers, Yorkshield 10G PT system or equal with joist protection tape. Contractor to waterproof underlayment membrane behind ledger and approved flashing noted above ledger to divert water away from structure. Contractor to install 'simpson' lateral load anchors which secure deck framing to house ledger at max. spacing 48" on center. See manufacturer's installation guidelines for installation at deck side and interior side of floor framing.
 5. Railing assemblies shall be able to resist a single concentrated load of 200 pounds, applied in any direction at any point along the top. Properly anchor all posts and rails to meet this criteria. Review installation methods with Architect.

TABLE R301.6 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (in pounds per square foot)	
USE	LIVE LOAD
Uninhabitable attics without storage ^a	10
Uninhabitable attics with limited storage ^{b, c}	20
Habitable attics and attics served with fixed stairs	30
Balconies (exterior) and decks ^d	40
Fire escapes	40
Guards and handrails ^e	200 ^h
Guard in-fill components ^f	50 ^h
Passenger vehicle garages ^g	50 ^h
Rooms other than sleeping rooms	40
Sleeping rooms	30
Stairs	40 ⁱ

For SI: 1 pound per square foot = 0.0479 kPa; 1 square inch = 645 mm²; 1 pound = 4.45 N.

a. Elevated garage floors shall be capable of supporting a 2,000-pound load applied over a 20-square-inch area.

b. Uninhabitable attics without storage are those where the clear height between joists and rafters is not greater than 42 inches, or where there are not two or more adjacent trusses with web configurations capable of accommodating an assumed rectangle 42 inches in height by 24 inches in width, or greater, within the plane of the trusses. This live load need not be assumed to act concurrently with any other live load requirements.

c. Individual truss webs shall be designed for the uniformly distributed live load or a 300-pound concentrated load acting over an area of 4 square inches, whichever produces the greater stresses.

d. A single concentrated load applied in any direction at any point along the top.

e. See Section 1027 for details attached to exterior walls.

f. Guard in-fill components (all those except the handrail), balusters and panel fillers shall be designed to withstand a horizontally applied normal load of 50 pounds on an area equal to 1 square foot. This load need not be assumed to act concurrently with any other live load requirements.

g. Uninhabitable attics with limited storage are those where the clear height between joists and rafters is not greater than 42 inches, or where there are two or more adjacent trusses with web configurations capable of accommodating an assumed rectangle 42 inches in height by 24 inches in width, or greater, within the plane of the trusses. This live load need not be assumed to act concurrently with any other live load requirements.

h. The attic area is accessible from an opening not less than 20 inches in width by 30 inches in length that is located where the clear height in the attic is not less than 30 inches.

i. The slopes of the joists or truss bottom chords are not greater than 2 inches vertical to 12 inches horizontal.

j. Required insulation depth is less than the joist or truss bottom chord member depth.

The remaining portions of the joists or truss bottom chords shall be designed for a uniformly distributed concurrent live load of not less than 10 pounds per square foot.

k. Clearing used in handrail assemblies and guards shall be designed with a safety factor of 4. The safety factor shall be applied to each of the concentrated loads applied to the top of the rail, and to the load on the rail components. These loads shall be determined independent of one another, and loads are assumed not to occur with any other live load.

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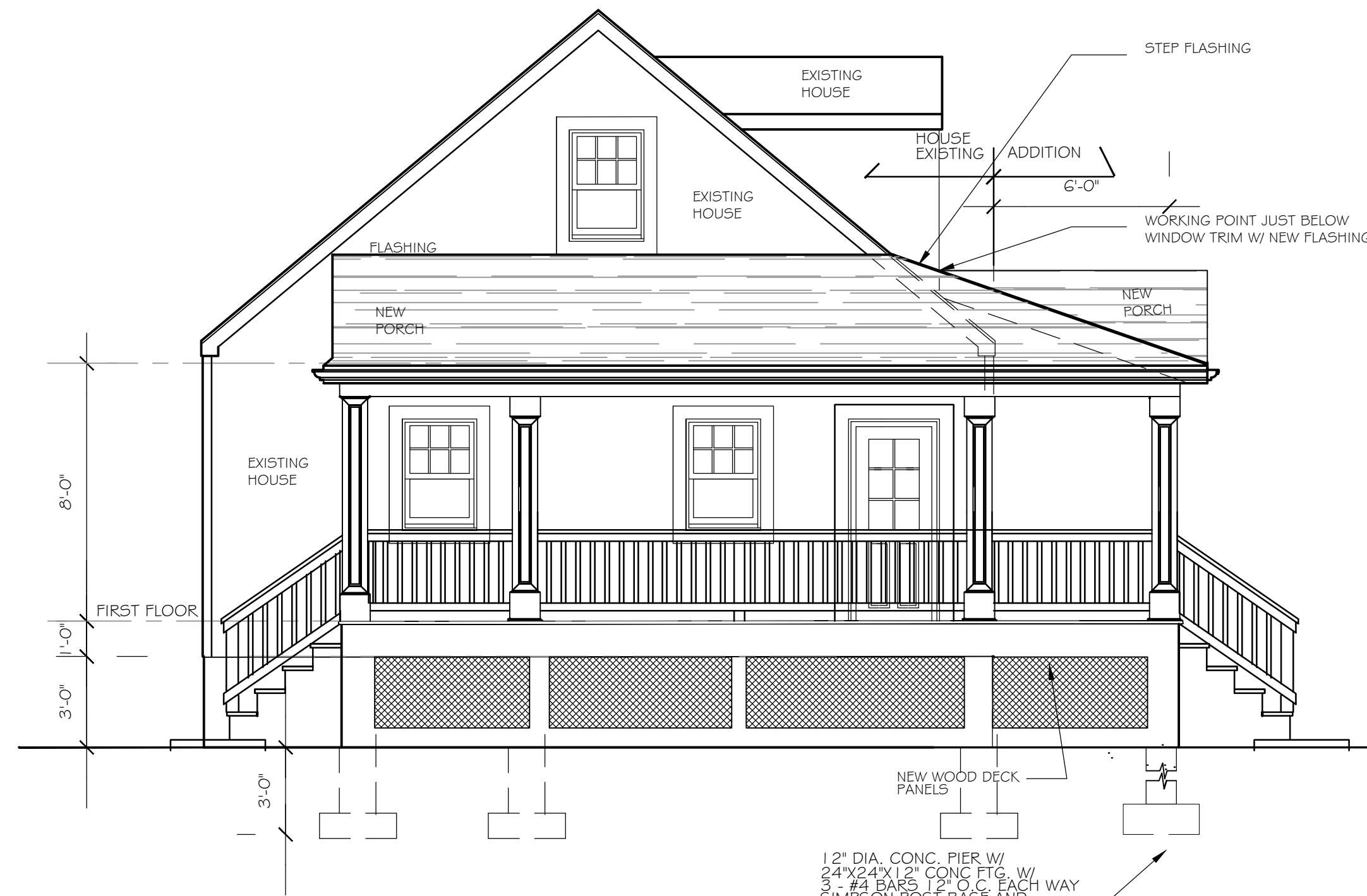
Proposed Front Porch for
Mr & Mrs Gleeson
58 Hunt Avenue, Pearl River NY 10965

Issue Date: 6/19/19

Revisions

Building Permit 01/04/21

Sheet No. **A-1**



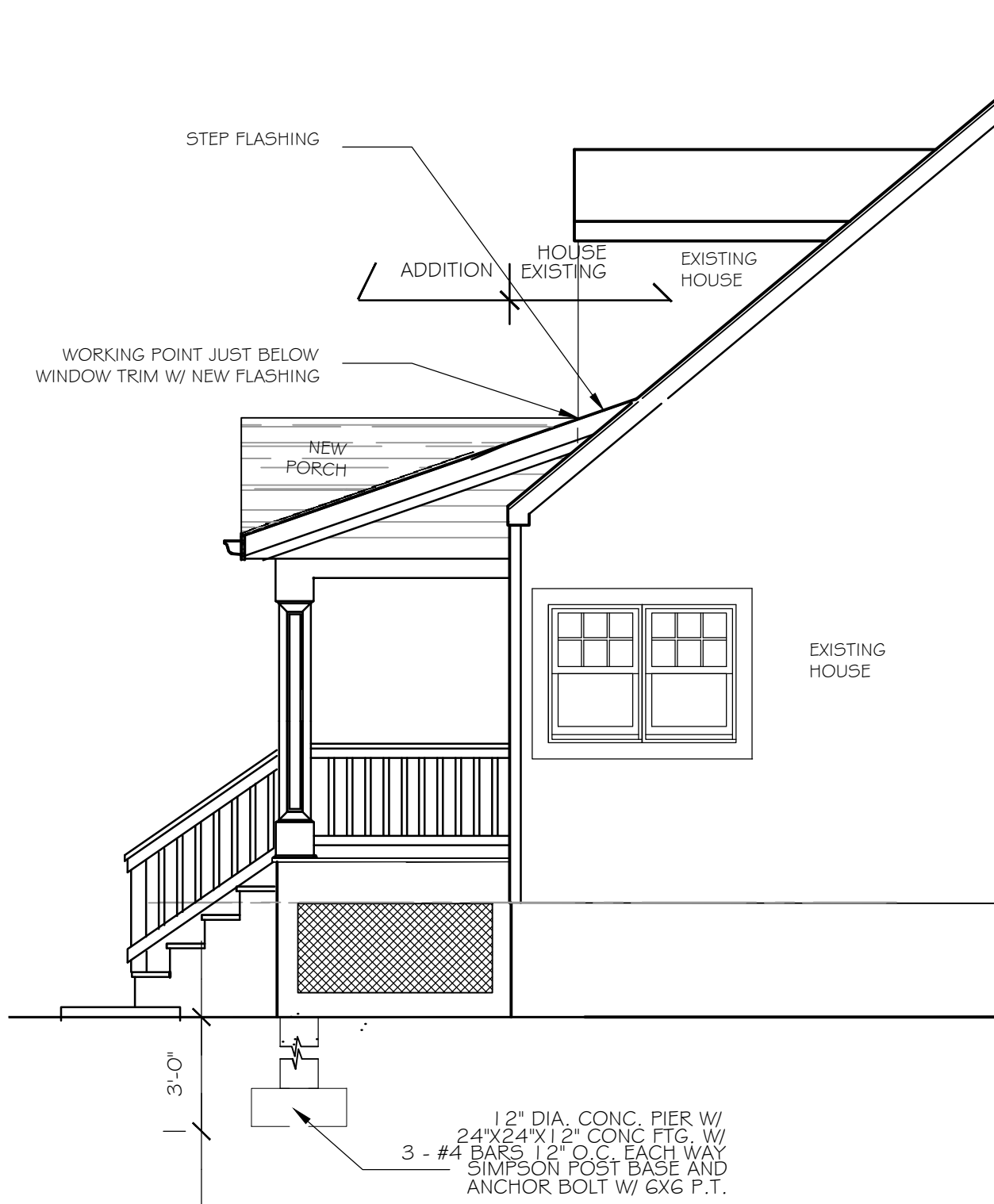
**PROPOSED
ALTERNATE - PORCH EAST SIDE ELEVATION**

SCALE: 1/4"= 1'-0"



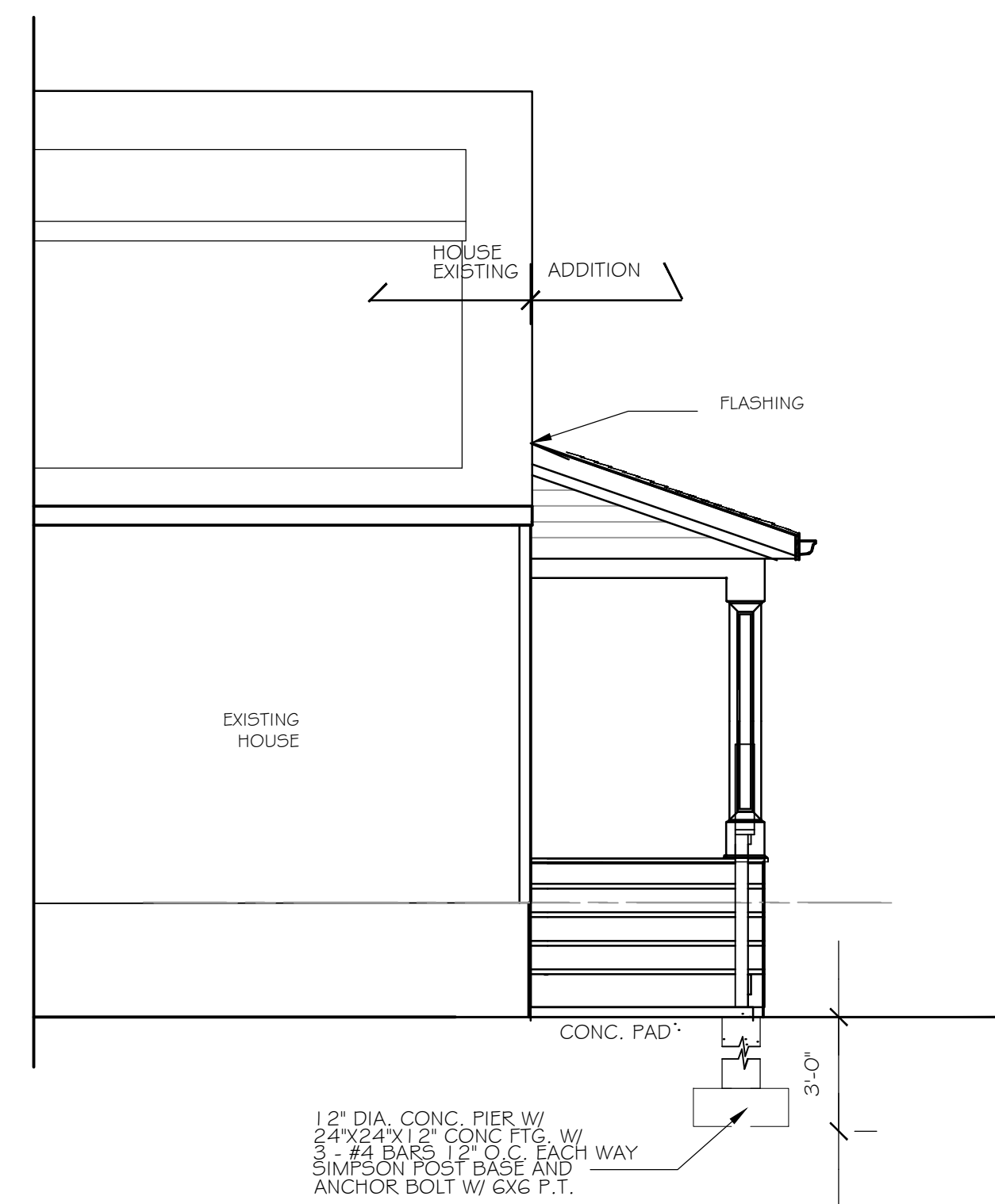
PROPOSED FRONT PORCH NORTH ELEVATION

SCALE: 1/4"= 1'-0"



**PROPOSED
PORCH WEST SIDE ELEVATION**

SCALE: 1/4"= 1'-0"



**PROPOSED
REAR SOUTH ELEVATION**

SCALE: 1/4"= 1'-0"

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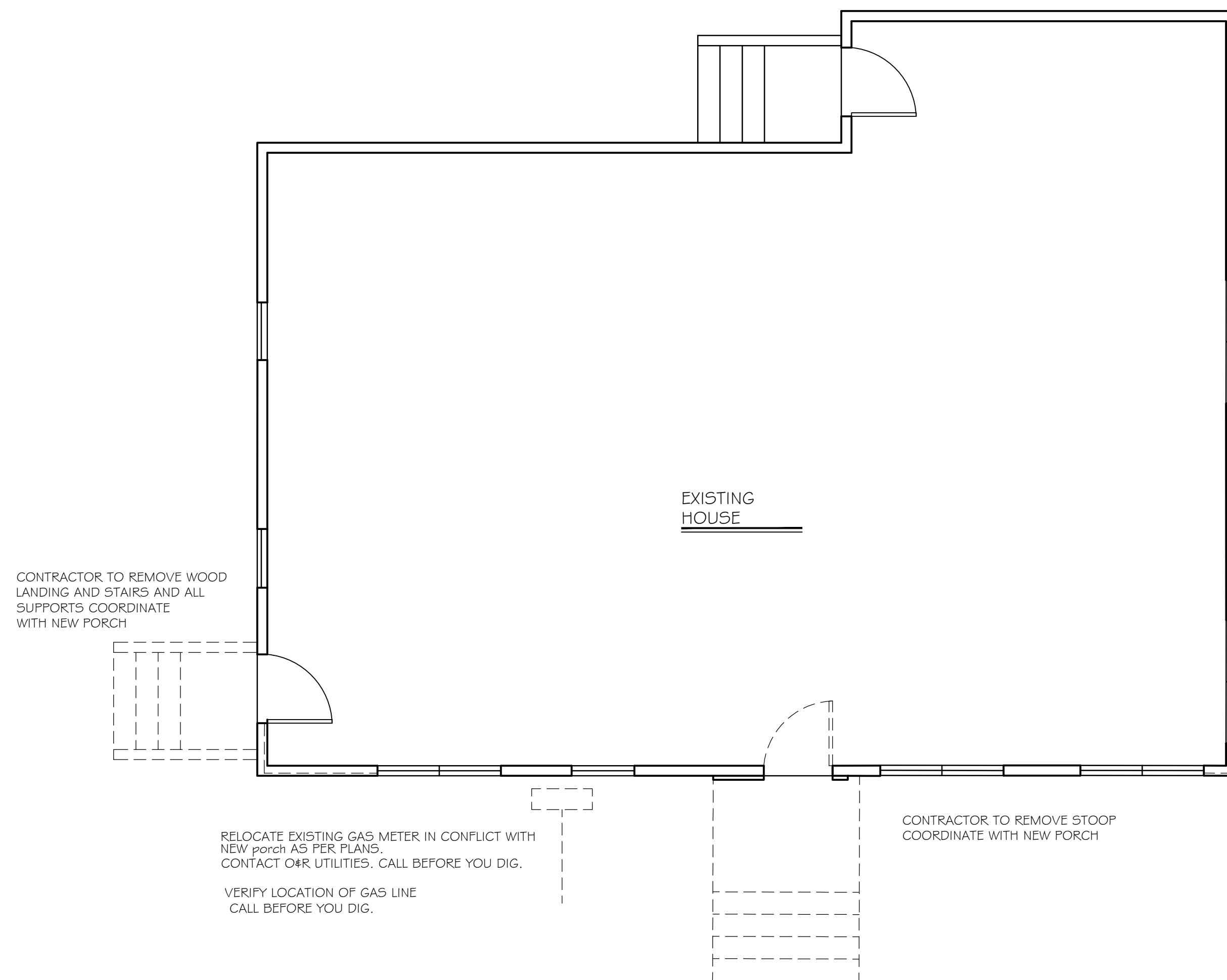
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Revisions	
Building Permit	01/04/21

Sheet No.

A-2

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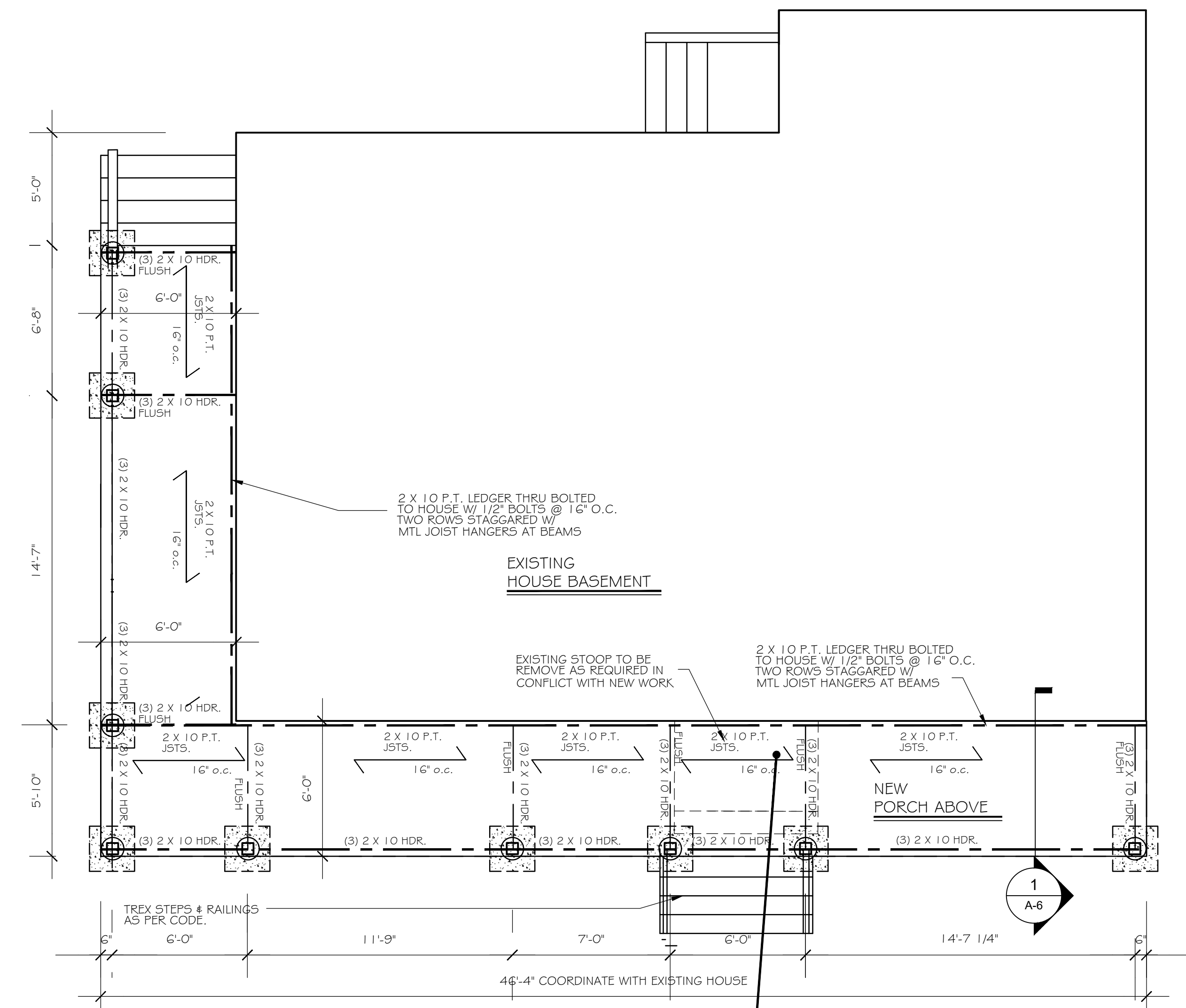


DEMO LEGEND

- NEW STUD WALL
- WALL TO BE REMOVED

FIRST FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"



FOUNDATION LEGEND

- EXISTING FOUNDATION WALL TO REMAIN
- NEW CONCRETE FOUNDATION WALL

FOUNDATION / FRAMING

SCALE: 1/4" = 1'-0"

NEW PORCH/STOOP
 NEW PORCH STAIRS & DECKING PORCH. SEE DETAILS ALTERNATE TREX RAILINGS AND DECKING.
 PROVIDE RAILING AND STEPS AS PER CODE. MAX 4" SPACES ON RAILINGS AND STEPS. 6" SPHERE SPACE MAX AT STRINGERS.
 CONTRACTOR TO FURNISH AND INSTALL VINYL BEADED SOFFIT. ALTERNATE REAL WOOD BEAD BRD.

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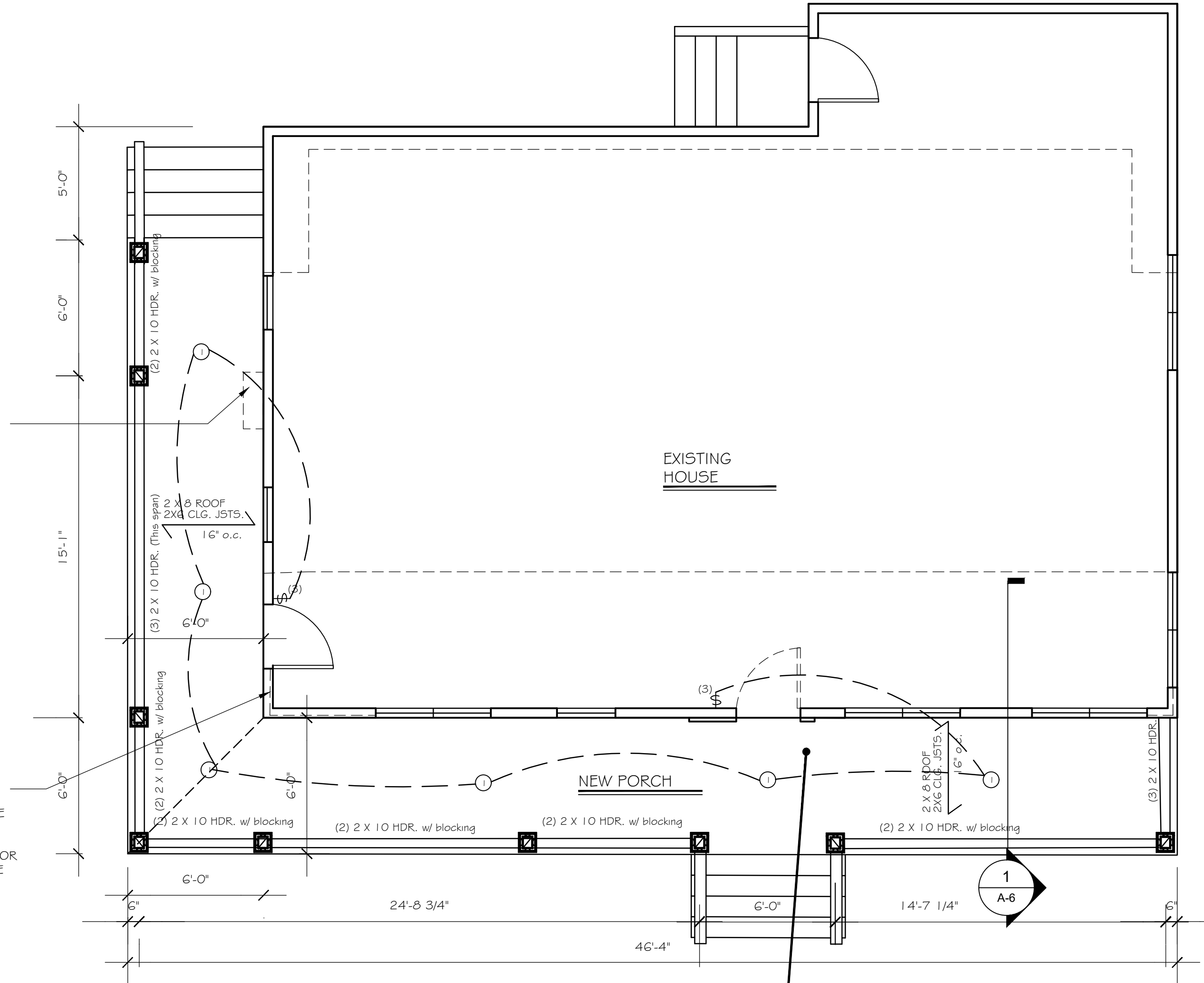
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Issue Date: 6/19/19	
Revisions	
Building Permit	01/04/21

Sheet No.
A-3

NEW EXTERIOR ELECTRICAL METERS CONDUIT FROM EXISTING DROP AND BACK TO EXISTING HOUSE ENTRANCE LOCATION BELOW NEW PORCH

NEW EXTERIOR SERVICE AT APPROX. SAME LOCATION AND 200 AMP PANEL UPGRADE PROVIDE NEW RISER / WHIP AND DROP W/ CONDUIT BELOW PORCH TO NEW EXTERIOR METER LOCATION COORDINATE WITH NEW PORCH PROVIDE ALL FLASHING AND ACCESSORIES REQUIRED COORDINATE NEW SERVICE WITH ORANGE AND ROCKLAND



CONSTRUCTION LEGEND

- NEW STUD WALL
- EXISTING STUD WALL
- 2" X BUILT UP WOOD POST EQUAL IN WIDTH TO BEAM ABOVE

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NEW PORCH/STOOP

NEW PORCH STAIRS & DECKING PORCH. SEE DETAILS ALTERNATE TREX RAILINGS AND DECKING.

PROVIDE RAILING AND STEPS AS PER CODE. MAX 4" SPACES ON RAILINGS AND STEPS. 6" SPHERE SPACE MAX AT STRINGERS.

CONTRACTOR TO FURNISH AND INSTALL VINYL BEADED SOFFIT. ALTERNATE REAL WOOD BEAD BRD.

Electrical Fixture Schedule

NOTE: FINAL LOCATION OF ALL PROVIDED TO BE LOCATED IN FIELD WITH OWNER
NOTE: ALL OUTLETS, PHONE AND CABLE JACKS TO BE MOUNTED 16" A.F.F. UNLESS NOTED
NOTE: ALL SWITCHES AND OUTLETS TO BE COATED (ENCLAMP A.P.F.)

Symbol	Fixture Type
○	5" RECESSED WET RATED LED DOWNLIGHT - PHILLIPS - 4 GANG BACK BOX REQUIRED PHILIPS - SURFACE MOUNT LED DOWNLIGHT - MODEL 4 SQUARE P SPEC CHANGED - IC RATED LIGHTS MUST BE USED IN CONTACT WITH INSULATION
⊕	WALL SWITCH
⊕ ³	3 WAY SWITCH
HS	HARD WIRE INTERCONNECTED COMBO SMOKE/CO2 DETECTOR UPGRADE ALL BEDROOMS AND ONE ON EACH FLOOR AS PER CODE

ELECTRICAL SERVICE

ALL ELECTRICAL FIXTURES TO BE ENERGY STAR RATED IF POSSIBLE. SEE ROOF PLAN AND FOUNDATION PLAN FOR ADDITIONAL SCOPE OF WORK.

CONTRACTOR TO FURNISH AND INSTALL NEW 200 AMP ELECTRICAL SERVICE AND METER. COORDINATE WITH UTILITY COMPANY IF REQUIRED.

CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL PANEL WITH LIGHTING PROTECTION.

CONTRACTOR TO PROVIDE NEW CIRCUITS AS REQUIRED. ALL BED ROOM CIRCUITS MUST HAVE ARC FAULT BREAKERS.

CONTRACTOR TO COORDINATE ALL NEW UTILITIES WITH UTILITY COMPANIES.

CONTRACTOR TO CONNECT ALL KITCHEN APPLIANCES AND DISHWASHER.

ALLOW FOR (6) SWITCHED CRAWLSPACE SOCKETS

PROVIDE POWER TO ALL APPLIANCES. COORDINATE W/ OWNERS FINAL SELECTIONS.

PROVIDE GFI OUTLET BELOW ALL KITCHEN SINKS W/ SHUT OFF SWITCH. FOR FUTURE GARBAGE DISPOSAL OR OTHER OWNER SELECTED USE.

CONTRACTOR TO FURNISH AND INSTALL (2) TWO MUSHROOM ATTIC FANS ON THE REAR SECTION OF THE GARAGE AND MAIN NEW ROOF. PROVIDE THERMOSTAT AND ELECTRICAL CONNECTIONS OR FANS BEHIND GABLE LOUVERS.

NOTE

OWNER/ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ALL NEW WIRING, SWITCHES AND DEVICES.

NOTE

INSTALL NEW COMBO SMOKE DETECTORS ON EACH FLOOR AS PER CODE

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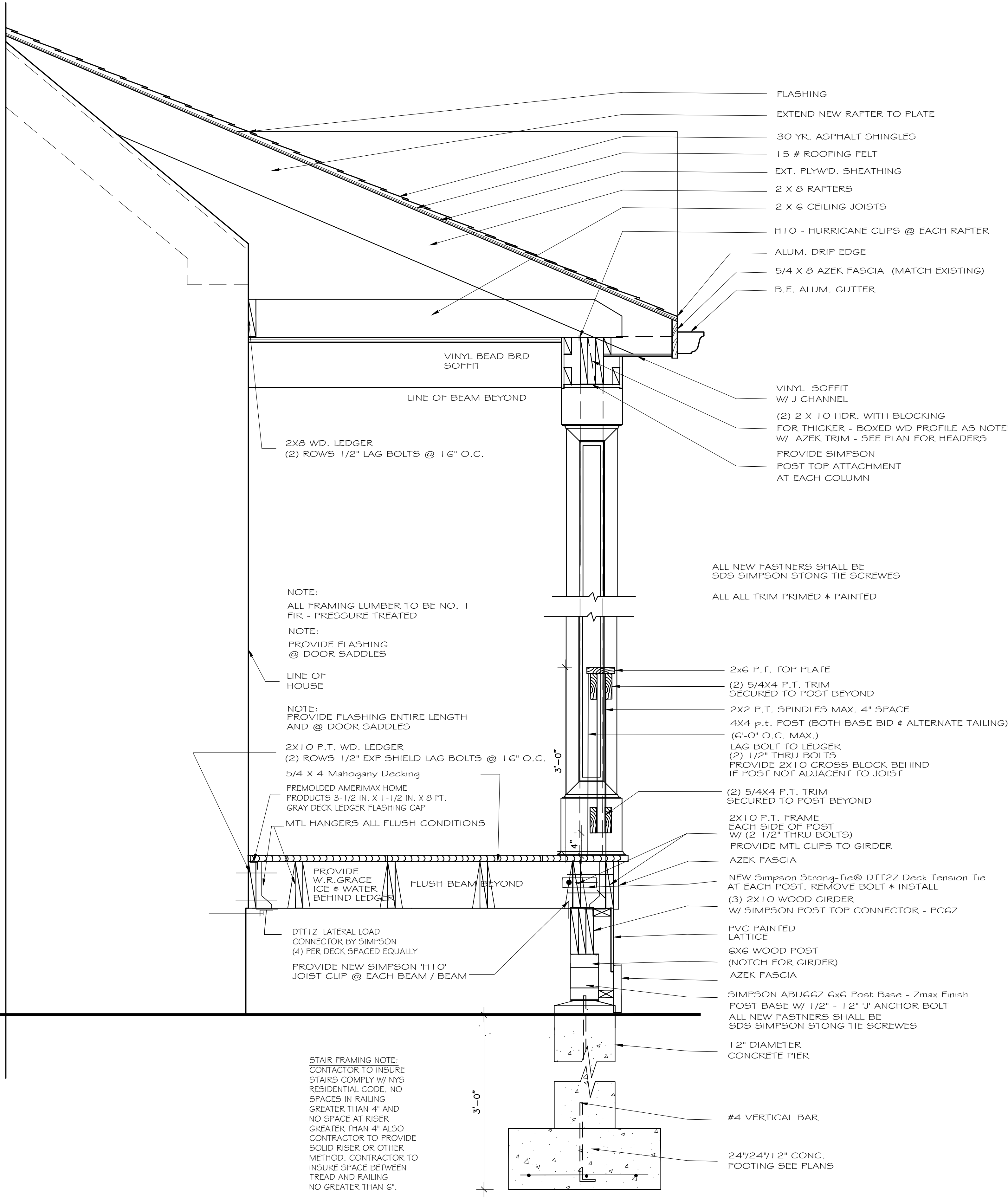
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A-4

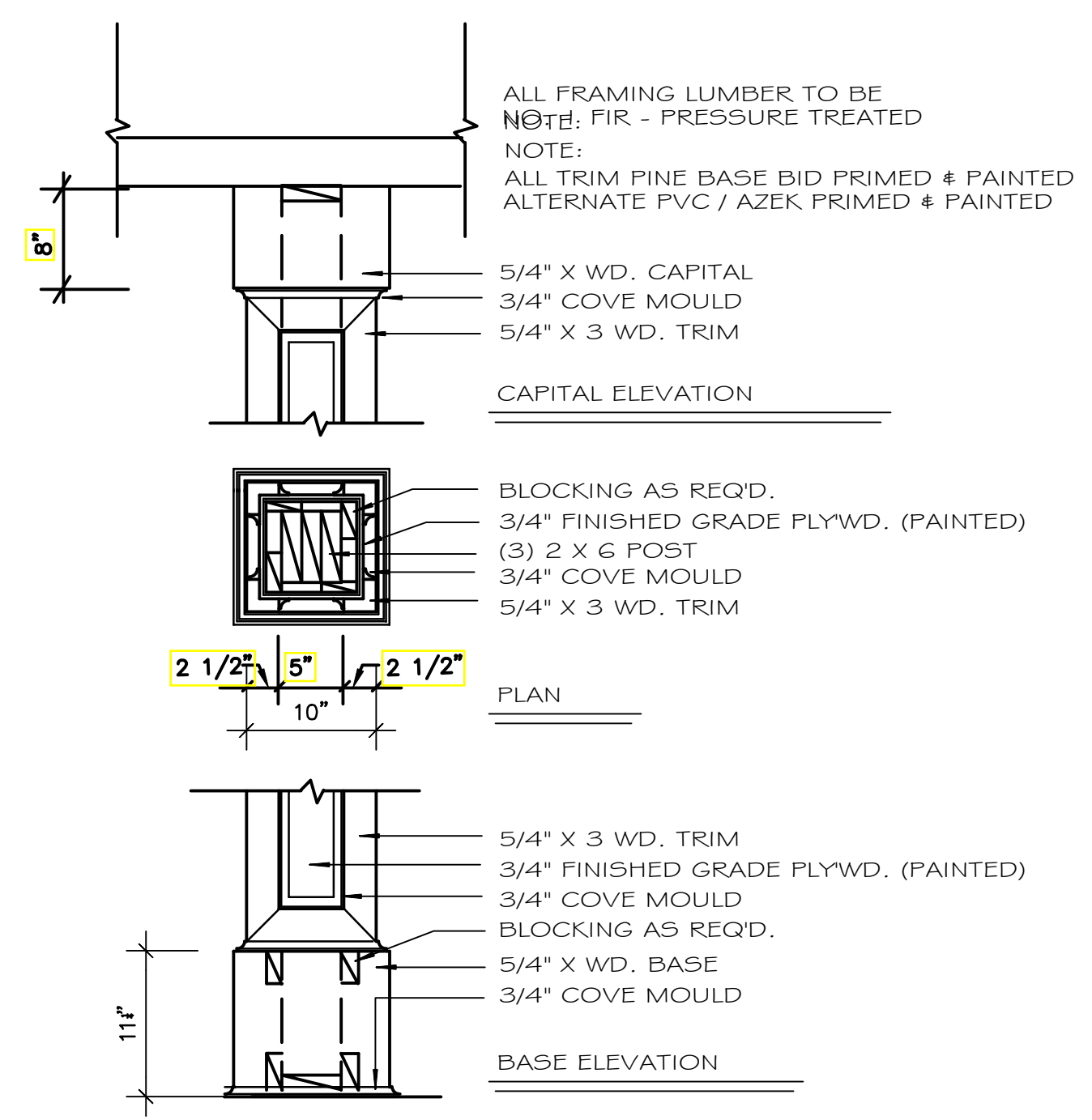
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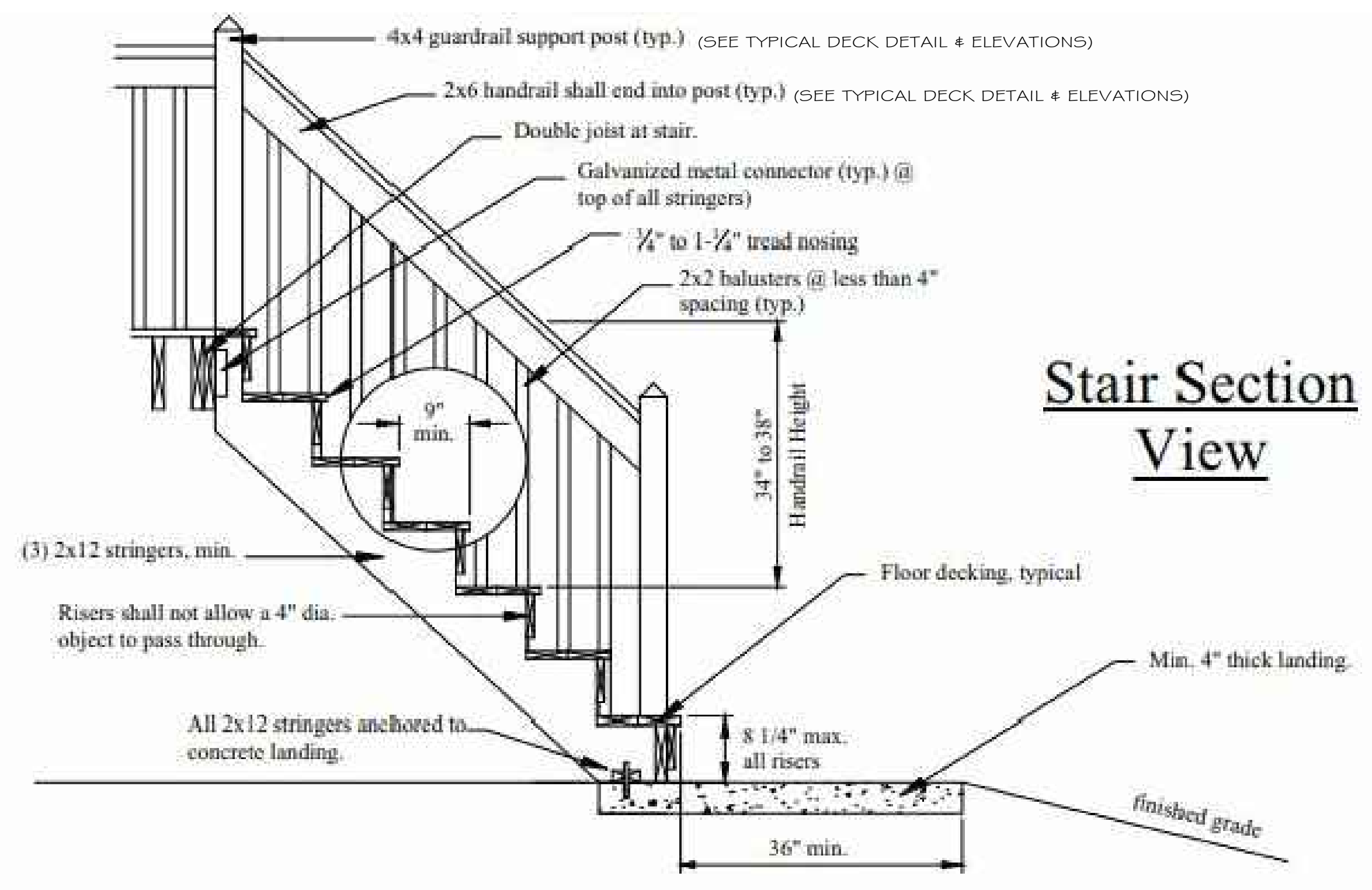
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Architect
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2 COLUMN DETAIL – ALTERNATE PURCHASED 1/2 COLUMNS
SCALE: 1" = 1'-0"



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3 TYPICAL DECK STAIR – CODE MIN. DIAGRAM
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Revisions	
Building Permit	01/04/21

Sheet No.
A-5

1 PORCH SECTION
SCALE: 1" = 1'-0"

SCALE: 1" = 1'-0"

SCALE: 1" = 1'-0"