

ZONING BOARD OF APPEALS

Town of Orangetown  
20 Greenbush Road  
Orangeburg, New York 10962  
(914) 359-8410 (ex. 4331)

Date: February 10, 2020

TO: OBAPAE

- Environmental Management and Engineering
- ✓ Rockland County Sewer District #1
- New York State Dept. of Transportation
- Palisades Interstate Park Commission
- Orange and Rockland Utilities
- Orangetown Highway
- Fire Prevention (Performance Standards)

- Rockland County Drainage ✓
- Rockland County Health ✓
- Rockland County Planning ✓
- Rockland County Highway ✓
- CSX

Review of Plans: Rockland Homes for Heroes, 335 Western Highway, Tappan, Orangeburg, NY  
Section 74.18 Block 3 Lot 48 R-15 zone  
This matter is scheduled for:

Chapter 43, R-15 District, Section 3.12, Group N, Column 5, see Note #18 (Not more than five (5) units per acre for adult housing on a minimum parcel size of five (5) acres and a maximum parcel of seven (7) acres not separated by a road and/ or right-of-way. 8.16 acres exist) for veteran housing.

Please review the information enclosed and provide comments. These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: [darbolino@orangetown.com](mailto:darbolino@orangetown.com) or
- Fax to the Town of Orangetown ZBA @845 359 8526

**Zoning Board Meeting Date: March 18, 2020**

- ( ) Comments attached
- ( ) No Comments at this time. Please send future correspondence for review.
- ( ) No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- ( ) This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, March 18, 2020**. **Kindly forward your completed review to this office by March 18, 2020.**

Reviewing Agency \_\_\_\_\_

Name \_\_\_\_\_ date: \_\_\_\_\_

Signature: \_\_\_\_\_

Thank you, Deborah Arbolino



OFFICE OF BUILDING, ZONING, PLANNING  
ADMINISTRATION AND ENFORCEMENT

TOWN OF ORANGETOWN  
20 GREENBUSH ROAD  
ORANGETOWN, N.Y. 10962

Jane Slavin, RA  
Director

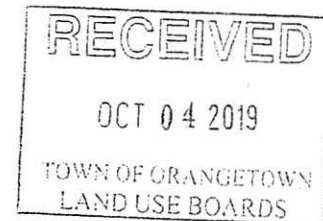
(845) 359-8410

Fax: (845) 359-8526

Date: October 4, 2019

To: Cheryl Coopersmith, Chief Clerk  
Planning Board

From: Jane Slavin, RA.,  
Director O.B.Z.P.A.E.



Subject: **Camp Shanks Homes for Hero's Site Plan**  
Prepreliminary/ Preliminary Site Plan,  
Conditional Use Permit and SEQRA Review  
335 Western Highway, Tappan  
74.18/3/48; R-15 zoning district

**PB#19-68**

Submission Reviewed:

Site plan Package as prepared by Jay A Greenwell, P.E., last revised 1/9/19.

1. Applicant is proposing the renovation of existing buildings for an additional 14 unit expansion to the existing Home for Heros, Inc. site.
- 2. Code allows for a maximum lot area of 7 acres for Attached Veteran Housing with 8.16 acres proposed. A variance is required.
3. ACABOR review and approval is required.
4. The amount of existing pavement to be removed shall be clearly delineated on the plan.
5. A walking path is proposed from the site to the town's green infrastructure project. Town Board approval is required.

JS  
10-4-19

ZONING

43 Attachment 13

Town of Orangetown  
 Table of General Bulk Regulations  
 (§ 3.12)  
 R-80 District  
 R-40 District  
 R-22 District  
 R-15 District

[Amended 9-27-2016 by L.L. No. 9-2016; 5-23-2017 by L.L. No. 6-2017]

1	2	3	4	5	6	7	8	9	10	11	12
District	Group	For Uses Listed Below	Maximum Floor Area Ratio	Minimum Lot Area (See Note 16) (square feet)	Minimum Lot Width (feet)	Minimum Street Frontage (See Note 5) (feet)	Required Front Yard (See Notes 6 and 7) (feet)	Required Side Yard (See Note 2) (feet)	Total Side Yard (feet)	Required Rear Yard (See Note 2) (feet)	Maximum Building Height* (See Note 7)
R-80	A	Single-family detached residences	0.10	80,000	150	100	50	30	100	50	8 inches
	B	Uses 3, 4 and 6 in Column 2 of Use Table	0.10	5 acres	400	50	50	30	100	50	8 inches
	C	Fire, police, government buildings	None	None	None	50	100	100	200	100	None
	D	All other uses allowed in R-80, except those in § 4.32. (See Notes 3 and 13)	0.10	160,000	300	150	100	100	200	100	None
R-40	E	Single-family detached residences	0.15	40,000	150	100	50	30	80	50	8 inches
	F	Same as Group B	0.15	5 acres	400	50	50	30	80	50	8 inches
	G	Same as Group C	None	None	None	50	100	100	200	100	None
	H	All other uses allowed in R-40 (See Notes 3 and 13)	0.15	80,000	300	150	100	100	200	100	3 inches
R-22	I	Single-family detached residences	0.20	22,500	125	75	40	25	60	45	9 inches
	J	Same as Group B	0.20	3 acres	250	75	40	30	75	45	9 inches
	K	Same as Group C	None	None	None	50	100	100	200	100	None
	L	All other uses allowed in R-22 (See Notes 3 and 13)	0.20	44,000	250	100	100	100	200	100	3 inches
R-15	M	Single-family detached residences and uses in Group B	0.20	15,000	100	75	30	20	50	35	1 foot
	M1	Same as Group B	0.20	3 acres	200	150	60	40	80	50	1 foot
	N	Attached veteran housing and single-family attached residences for adults in buildings not more than 2 stories high*****	0.20 (See Note 15)	See Note 18	100	75	30	30	75	35	8 inches
	O	All other uses allowed in R-15 (See Notes 3 and 13)	0.20	30,000	250	100	100	75	200	100	3 inches
	P	Police, fire, government buildings	None	None	None	50	100	100	200	100	None

NOTES:

\* Maximum height in feet and inches per foot from lot line.

\*\* Not more than five dwelling units per acre for adult housing on a minimum of five acres.

\*\*\* The limitations of Note 18 shall not apply to attached veteran housing to the extent same impose limits or requirements relating to bedroom count or prior construction within 500 feet.

ZONING

43 Attachment 18

Town of Orangetown  
Notes to Use and Bulk Tables  
[Amended 5-23-2017 by L.L. No. 6-2017]

Note 1: See also the following sections: Required front yards and maximum height: § 5.111; Corner lots, required yards, § 5.112. Lots divided by district boundary: § 5.12; Lots within twenty-five (25) feet of a district boundary: § 5.13; Courts: § 5.14; Spacing of buildings on same lot: § 5.15; Height of buildings within five hundred (500) feet of airports: § 5.16; Existing small lots: § 5.21; Permitted obstructions in required yards courts, usable open space: § 5.22; Permitted height exceptions: § 5.23; Buildings with nonconforming bulk: § 9.2.

Note 2: Where the side or rear lot line of a lot in CS, CC, CO, LO, LJO, LI or OP adjoins or lies within twenty-five (25) feet of any R District, the following buffers shall be required:

District	Required Buffer (feet)	Minimum Front Yard Depth (feet)
LO, LJO, LI or OP	100	40
CS	15/50	40
CC	15/25	35
CO	15	25
RG		20

The Planning Board may reduce by no more than fifty percent (50%) the side or rear yard requirement for the yard opposite the buffer for nonresidential uses in the LO, LJO, LI and OP Districts, except where the opposite yard abuts a residential district. All such uses shall conform to these buffer requirements. For the CS and CC Districts fifty (50) and twenty-five (25) feet, respectively, will be required for a conditional or special permit use. The buffer area shall only be used for planting, landscaping and screening to provide environmental compatibility of dissimilar uses.

Note 3: Notwithstanding the Bulk Regulations for Groups D, H, L, O, T, X, CC, EE, GG, PP, QQ and RR, certain uses in these groups are subject to additional bulk regulations specified as to each such use in the Use Table.

Note 4: In LO and LJO Districts, the floor area devoted to the manufacturing of prototype products may not exceed twenty-five percent (25%) of the total gross floor area of the building.

Note 5: (Reserved)<sup>1</sup>

Note 6: Required front yard depths in residential subdivisions in any residential district must comply with the zoning regulations as an average, provided that the following minimum depths are maintained, and that the averaging shall be computed in any single case for one (1) side of the street and between the two (2) nearest intersecting streets within the subdivision:

District	Required Buffer (feet)
R-80	40
R-40	40
R-22	35
R-15	25
RG	20

Note 7: Required front yards and maximum building heights are subject to § 5.111, with the designated street line being used as lot line.

Note 8: However, any residence not located in the same building as a use first permitted in LI must be separated from such use by at least 100 feet.

Note 9: None required, but if provided shall be at least twelve (12) feet wide.

Note 10: Where a lot line in an LO, LI or LJO District abuts a railroad right-of-way, the normally required rear or side yard may be reduced to twenty-five (25) feet, and the maximum building height shall apply for that portion of a building over twenty-five (25) feet in height.

Note 11: For existing small lots in LO and LJO, see § 5.24.

Note 12: In OP Districts, the Planning Board may permit an average of floor area ratios on individual plots, but the maximum floor area ratio on the entire tract shall not exceed forty-hundredths (0.40). All buildings shall be separated by at least seventy-five (75) feet or the height of the lowest building, whichever distance will provide the greater separation.

Note 13: In addition to the particular requirements, any board or town agency having jurisdiction may require fences, and other safety devices and adequate landscaping and screening. The landscaping and screening shall be approved by the board or town agency having jurisdiction prior to the issuance of the building permit. Such screening must provide an opaque screen during the entire year. A new use that is, in the opinion of the board having jurisdiction, sufficiently detrimental to adjoining and surrounding properties and which cannot be screened to protect the property values adjoining and surrounding the proposed use shall not be permitted, notwithstanding the provisions of the Use Table.

Note 14: Maximum land coverage shall not exceed seventy-five percent (75%), including buildings, parking, road and road widening. The open area shall be a minimum of twenty-five percent (25%). Parking area within a building will not be charged against the floor area ratio. In OP Districts, the percentages shall be sixty-five percent (65%) and thirty-five percent (35%), respectively. In LO Districts, W Groups, and MFR District, U Group, the percentages shall be fifty percent (50%) and fifty percent (50%), respectively. In LI Districts, the percentages shall be eighty percent (80%) and twenty percent (20%), respectively.

Note 15: In order to facilitate and encourage flexibility of design and development of land in such a manner as to promote its most appreciable use to facilitate the adequate and economical provision of streets and utilities and to preserve the natural and scenic qualities of open land, the Planning Board may also permit a cluster development of not more than four (4) attached veteran housing or adult housing residences, provided that there shall be provided on the plat sufficient open land area (not required for other permitted uses) to provide the required floor area ratio and other bulk requirements that would be required if the detached residences were erected. However, such clustering shall not:

- A. Result in an overall density in any development of more than five (5) units per acre.
- B. Reduce the maximum floor area ratio per dwelling unit for any development below the requirements of § 3.12, Group N, Column 4, R-15 Districts, twenty-hundredths (0.20) per acre.
- C. Reduce the usable open space requirements for any development below five hundred (500) square feet for each dwelling unit and one thousand (1,000) square feet for each dwelling unit with two (2) bedrooms. Such space shall have a minimum dimension of fifty (50) feet, except for one-bedroom, single-family dwelling units, which require a minimum dimension of twenty-five (25) feet
- D. Reduce yard requirements on the periphery of any development below those established for the R-15 District.
- E. Reduce the overall floor area ratio for any development below twenty-hundredths (0.20).

Note 16: As part of any minimum lot area requirement for residential uses, not more than fifty percent (50%) of any land under water, within a freshwater wetland, subject to flooding or within the one-hundred-year frequency floodplain, within easements or rights-of-way for sanitary or storm sewers, drainage, access or overhead utilities or with slopes (unexcavated) of over twenty-five percent (25%) shall be counted and within the designated street line of a road.

Note 17: The maximum density shall be as follows:

Number of Bedrooms in Unit	Units per Acre	Land Area Per Unit (square feet)
1	6.0	7,250
2	4.8	9,000
3 or more	4.0	10,750

Note 18: Not more than five (5) units per acre for adult housing on a minimum parcel size of five (5) acres and a maximum parcel size of seven (7) acres not separated by a road or right-of-way. The unit ratio shall be two (2) one-bedroom units and three (3) two-bedroom units per acre. The number of units permitted per acre shall be in compliance with all other R-15 bulk regulations. In no event, however, shall the number of adult housing units per acre exceed five (5). No special permit shall be permitted within five hundred (500) feet of any adult housing previously permitted.

<sup>1</sup> Editor's Note: Note 5, which established exceptions to the minimum street frontage requirements, was repealed 5-14-1990 by L.L. No. 5-1990. This local law also provided that "any application predicated upon the provisions of Note No. 5 which has received pre-preliminary approval from the Planning Board on the date when this local law takes effect shall not be affected by this local law."

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

**2019 LAND USE BOARD APPLICATION**

*Please check all that apply:*

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 49045  
ASSIGNED \_\_\_\_\_  
INSPECTOR: M.M.

Referred from Planning Board: YES / NO  
If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: Camp Shanks - Rockland Home for Heroes Phase II

Street Address: 335 Western Highway  
Tappan, NY 10983

Tax Map Designation:  
Section: 74.18 Block: 3 Lot(s): 48  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

Directional Location:  
On the east side of Western Highway, approximately 0 feet of the intersection of Independence Ave, in the Town of ORANGETOWN in the hamlet/village of Tappan.

Acreage of Parcel <u>8.16</u>	Zoning District <u>R-15</u>
School District <u>So. Orangetown</u>	Postal District <u>Tappan</u>
Ambulance District <u>So. Orangetown</u>	Fire District <u>Tappan</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*  
The project proposes renovation of two existing buildings on site to provide a 14-unit multi-family housing building for veterans (2 two-bedroom & 12 one-bedroom) with associated driveways and parking.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 2/5/20 Applicant's Signature: John A. Murphy

# APPLICATION REVIEW FORM

**Applicant:** Rockland Homes for Heroes Phone # 917-447-1092

**Address:** One Blue Hill Plaza, 5th Floor Pearl River NY 10965  
Street Name & Number (Post Office) City State Zip Code

**Property Owner:** \_\_\_\_\_ Phone # \_\_\_\_\_

**Address:** \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Engineer/Architect/Surveyor:** Brooker Engineering Phone # 845-357-4411

**Address:** 74 Lafayette Ave, Suite 501 Suffern NY 10901  
Street Name & Number (Post Office) City State Zip Code

**Attorney:** Donald Brenner Phone # 845-359-2210

**Address:** 4 Independence Ave Tappan NY 10983  
Street Name & Number (Post Office) City State Zip Code

**Contact Person:** Ken Degennaro - Brooker Engineering Phone # 845-357-4411

**Address:** 74 Lafayette Ave, Suite 501 Suffern NY 10901  
Street Name & Number (Post Office) City State Zip Code

## GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:  
(Check all that apply)

**IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path                       | <input type="checkbox"/> County Stream        |
| <input type="checkbox"/> Municipal Boundary              | <input type="checkbox"/> County Facility      |

List name(s) of facility checked above:  
Western Highway

### Referral Agencies:

- |  |  |
|--|--|
| <input type="checkbox"/> RC Highway Department       | <input type="checkbox"/> RC Division of Environmental Resources  |
| <input type="checkbox"/> RC Drainage Agency          | <input type="checkbox"/> RC Dept. of Health                      |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority       | <input type="checkbox"/> Palisades Interstate Park Commission    |
| <input type="checkbox"/> Adjacent Municipality _____ |  |
| <input type="checkbox"/> Other _____                 |  |

**APPLICATION REVIEW FORM**

**FILL IN WHERE APPLICABLE.**

**( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )**

**If subdivision:**

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

**If site plan:**

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

**If special permit, list special permit use and what the property will be used for.**

\_\_\_\_\_  
\_\_\_\_\_

**Environmental Constraints:**

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there **streams** on the site? If yes, please provide the names. \_\_\_\_\_

Are there **wetlands** on the site? If yes, please provide the names and type:

\_\_\_\_\_

**Project History:**

Has this project ever been reviewed before? \_\_\_\_\_

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

\_\_\_\_\_  
\_\_\_\_\_

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

\_\_\_\_\_  
\_\_\_\_\_



**NY OFFICE**  
74 Lafayette Avenue  
Suite 501  
Suffern, NY 10901

845.357.4411 Tel.  
845.357.1896 Fax

**NJ OFFICE**  
22 Paris Avenue  
Suite 105  
Rockleigh, NJ 07647

201.750.3527 Tel.

January 30, 2020

Donald Brenner Co.  
4 Independence Ave  
Tappan, NY 10983

Re: Camp Shanks – Rockland Homes for Heroes Phase II (tax lot 74.18-3-48)  
Zoning Board of Appeals Application  
BBE #18288

Dear Mr. Brenner:

As per our conversation, attached are three sets of Site Plan drawings (Revision 2, dated 01/23/2020) stamped preliminary for your use in filing for a Zoning Board of Appeals application before the Town of Orangetown ZBA for the Camp Shanks Homes for Heroes project.

The site is located in the R-15 zone, which allows under Use Group N "Attached Veteran Housing" as a Conditional Use by the Planning Board under Section 3.11 Column 4 of the R-15 Use Table. The project received Preliminary Site Plan Approval and a negative declaration with respect to SEQRA from the Town of Orangetown Planning Board at their October 7, 2019 Planning Board meeting.

The project contains a lot area of 8.16 acres and requires a variance for lot area. The zoning has a lot area requirement of a minimum of 5 acres and a maximum of 7 acres. This is found in Note 18 of the Town of Orangetown Notes to Use and Bulk Tables (43 Attachment 18, Note 18), which is referenced by the R-15 Bulk Table (as per 43 Attachment 13, District R-15, Group N, Column 5).

Additional zoning bulk information can be found in the Bulk Table on Drawing 3 of the attached site plans.

Also attached is the determination from Jane Slavin, RA, Director, Orangetown O.B.Z.P.A.E., dated October 4, 2019 regarding the variance requirement for this project.

Very truly yours,

**BROOKER ENGINEERING, P.L.L.C.**  
Kenneth DeGennaro, P.E.

P:\BBE\18\18288\Correspondence\2020-01-30 brenner.docx

**LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • WATER RESOURCES • LAND SURVEYING**

Brian Brooker, P.E.	Eve Mancuso, P.E., C.M.E.	Ken DeGennaro, P.E., C.F.M.	Stuart Strow, P.E., C.F.M.
Anthony Riggi, P.E.	Dennis Rocks, P.E., C.F.M.	John Bezuyen, P.L.S.	Hillary Chadwick, P.E.
Vincent Kane, P.E.	Nestor Celiz, P.E.	Benjamin Levitz, P.E.	Joseph Nyitray, P.E.



**PB#19-68: Camp Shanks Homes for Hero's Site Plan      Permit #49045**  
**Preliminary Site Plan Approval Subject**  
**to Conditions/ Neg. Dec.**

**Town of Orangetown Planning Board Decision**  
**October 7, 2019**  
**Page 1 of 12**

**TO:            Donald Brenner, 4 Independence Avenue, Tappan, New York**  
**10983**  
**FROM:        Orangetown Planning Board**

**RE:            Camp Shanks – RHFH Phase II Site Plan:** The application of Rockland Homes for Heroes, owner, for Prepreliminary/ Preliminary/ Final Site Plan Review at a site to be known as “**Camp Shanks – RHFH Phase II Site**”, in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the Code of the Town of Orangetown and to determine the environmental significance of the application pursuant to the requirements of the New York State Environmental Quality Review Act. The site is located at 335 Western Highway, Tappan, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.18, Block 3, Lot 48 in the R-15 zoning district.

Heard by the Planning Board of the Town of Orangetown at a meeting held **Monday, October 7, 2019**, the Board made the following determinations:

Donald Brenner, Ken DeGennaro, John Allen Murphy, Tony Kowipafe, Joel Ives and Eugene Wasielewski appeared and testified.

The Board received the following communications:

1. A Project Review Committee Review dated October 2, 2019.
2. An Interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R. A., A.I.A., Director, dated October 4, 2019.
3. An Interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E., dated October 3, 2019.
4. A letter from Maser Consulting signed and sealed by Jesse Cokeley, dated October 1, 2019.
5. Letters from the Rockland County Department of Highways, signed by Dyan Rajasingham, Engineer II, dated September 26, 2019 and Joseph Arena, dated October 2, 2019.
6. Letters from the Rockland County Department of Health, signed by Elizabeth Mello, P.E., Senior Public Health Engineer, dated September 26, 2019.
7. A letter from the Rockland County Sewer District No.1, signed by Joseph LaFindra, Engineer I, dated September 13, 2019.

TOWN CLERK'S OFFICE  
2019 OCT 25 A 9:14  
TOWN OF ORANGETOWN

**Town of Orangetown Planning Board Decision**  
**October 7, 2019**  
**Page 2 of 12**

8. A letter from the New York State Department of Environmental Conservation, dated September 27, 2019, signed by Carrie Mackey, Division of Environmental Permits, Region 3.
9. A Short Environmental Assessment Form, signed by Kenneth DeGennaro, dated August 16, 2019
10. A Project Narrative prepared by Donald Brenner, dated August 12, 2019.
11. A letter prepared by Brooker Engineering, consultant for the applicant, signed by Kenneth DeGennaro, dated June 26, 2019.
12. A Building Permit Referral dated July 1, 2019, prepared by Rick Oliver, Deputy Building Inspector.
13. Plans prepared by Brooker Engineering, dated June 26, 2019:
  - 1: Title Sheet
  - 2: Existing Conditions & Demolition Plan
  - 3: Proposed Site Plan
  - 4: Proposed Grading & Utility Plan
  - 5: Soil Erosion & Sediment Control Plan
  - 6: Construction Details

The Board reviewed the plans. The hearing was then opened to the Public.

**Public Comment:**

Janel Cooper, 360 Western Highway, Tappan; questioned how many people will live in phase II of the development, how many stories will the construction be and will the development be visible from Western Highway.

There being no one else from the Public, a motion was made to close the Public Hearing portion of the meeting by Stephen Sweeney seconded by Michael Mandel and carried as follows: Thomas Warren, Chairman, aye; William Young, Vice Chairman, aye; Michael McCrory, aye; Michael Mandel, aye; Robert Dell, absent; Bruce Bond, absent and Stephen Sweeney, aye.

The proposed action is classified as an "unlisted action" as defined by Section 617.2 (a) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA. On motion by Stephen Sweeney and seconded by William Young and carried as follows: Thomas Warren, Chairman, aye; William Young, Vice Chairman, aye; Michael McCrory, aye; Michael Mandel, aye; Robert Dell, absent; Bruce Bond, absent and Stephen Sweeney, aye the Board declared itself Lead Agency.

TOWN CLERK'S OFFICE  
OCT 25 9 14 AM '19  
TOWN OF ORANGETOWN

**Town of Orangetown Planning Board Decision**  
**October 7, 2019**  
**Page 3 of 12**

Pursuant to New York Code, Rules & Regulations (NYCRR) Section 617.7, the Town of Orangetown Planning Board, as lead agency, for the reasons articulated in this Board's analysis of all of the submissions by the applicant, interested agencies, departments and the public, with respect to this project including the Environmental Assessment Form, which reasons are summarized in the motion, hereby determines that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared.

After having identified the relevant areas of environmental concern, namely drainage, surface water runoff, land clearing, vegetation, fauna, traffic and noise levels, and after having taken a hard look at said environmental issues, and after having deliberated regarding such concerns, and having heard from the applicant, the applicant's professional representatives, namely Brooker Engineering and having heard from the following offices, officials and/or Departments: (Town of Orangetown): The Office of Building, Zoning, Planning Administration and Enforcement and Department of Environmental Management and Engineering; and having heard from the following involved and interested agencies: Town of Orangetown Zoning Board of Appeals, Rockland County Sewer District No.1, Rockland County Drainage Agency No.1, Rockland County Department of Health, Rockland County Department of Highways, New York State Department of Environmental Conservation and having reviewed proposed Site Plan by prepared by Brooker Engineering, a summary of the reasons supporting this determination are, and the Planning Board finds, that the proposed action:

- Will not significantly affect existing air quality or noise levels;
- Will not significantly affect existing surface water quality or quantity or drainage;
- Will not significantly affect existing ground water quality or quantity;
- Will not significantly affect existing traffic levels;
- Will not create a substantial increase in solid waste production;
- Will not create a potential for erosion, flooding, leaching or drainage problems;
- Will not have a significant adverse impact on the environmental characteristics of our critical environmental area or environmentally sensitive sites or features;
- Will not have an impairment of the character or quality of important historical, archeological or architectural resources;
- Will not have an impairment of the character or quality of important aesthetic resources;
- Will not have an impairment of existing community or neighborhood character;
- Will not remove or destroy large quantities of vegetation or fauna;
- Will not remove or destroy large quantities of wildlife species or migratory fish;
- Will not have a significant adverse impact to natural resources;
- Is consistent with the Town of Orangetown's Comprehensive/Master Plan;
- Will not have adverse economic or social impacts upon the Town;

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- Will not create a hazard to human health; and
- Will not create a substantial change in the use of land, open space or recreational resources.

On motion by Stephen Sweeney and seconded by William Young and carried as follows: Thomas Warren, Chairman, aye; William Young, Vice Chairman, aye; Michael McCrory, aye; Michael Mandel, aye; Robert Dell, absent; Bruce Bond, absent and Stephen Sweeney, aye, the Board made a Negative Declaration pursuant to SEQRA.

**DECISION:** In view of the foregoing and the testimony before the Board, the application was granted **Preliminary Site Plan Approval Subject to the Following Conditions:**

1. The following note shall be placed on the Site Plan: "At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a Pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a Meeting".
2. Stormwater Management Phase II Regulations: Additional certification, by an appropriate licensed or certified design professional shall be required for all matters before the Planning Board indicating that the drawings and project are in compliance with the Stormwater Management Phase II Regulations.
3. All outdoor construction activities, including site clearing operations if applicable, shall take place between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday. No such activities shall take place on Sunday or a legal holiday. The same criteria shall apply to indoor construction activities, except that such activities may take place between the hours of 7:00 a.m. and 10:00 p.m.
4. The applicant is proposing the renovation of existing buildings for an additional 14 unit expansion to the existing Homes for Hero's, Inc. site.
5. Town of Orangetown Town Code allows for a maximum lot area of 7 acres for Attached Veteran Housing with 8.16 acres proposed. A variance from the Town of Orangetown Zoning Board of Appeals is required.
6. The site, landscaping and architectural plans shall be reviewed by the Town of Orangetown Architecture and Community Appearance Board of Review.

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7. The amount of existing pavement to be removed shall be clearly delineated on the Site Plan.

8. A walking path is proposed for the site to the Town of Orangetown green infrastructure project. Town of Orangetown Town Board approval is required.

9. It was mentioned at the Project Review Committee meeting of October 2, 2019 that some of the pavement areas that are labeled as to be removed are now not going to be removed. If this is the case, then the applicant's engineer' letter of June 26, 2019, regarding drainage (exemption from water quality and quantity requirements) would no longer apply. The applicant and the applicant's engineer shall determine exactly what areas of pavement are to be removed, show that uniformly/ clearly and correctly on the drawings, and provide drainage calculations addressing all requirements based on the design.

10. The total area of disturbance (a.o.d.) shall be added to the plan. The applicant/ applicant's engineer is reminded that if the a.o.d. exceeds one (1) acre, a full SWPPP shall be submitted to DEME for review and approval.

11. Drainage calculations, prepared and sealed by a New York State Licensed Professional Engineer, shall be submitted to DEME for review and approval. These calculations shall demonstrate whether or not water quality and quantity requirements will be met by impervious surface reduction or by installation of stormwater facilities.

12. The areas of existing pavement that are to be removed as part of this site plan, shall be clearly defined on drawings 2-5. A suggestion would be to show a special cross hatching in all areas of pavement that are to be removed.

13. The applicant's engineer shall coordinate the proposed drainage work for this project with the Town's Homes for Hero's (H4H) Green Infrastructure Project. This shall include ensuring that all proposed drainage improvement take into account/ line up with what is going to be done on the Town's site.

14. Sanitary calculations for the proposed site, prepared by a New York State Licensed Professional Engineer, shall be submitted to DEME for review and approval. These calculations shall include an analysis of the existing sanitary mains that the project will tie into, down to the proposed new piping the Town is planning to install as part of the Homes for Hero's (H4H) Green Infrastructure Project.

15. The existing sanitary main is only 8 feet off of the southernmost proposed multi-family dwelling. The main is also 8-10 feet deep. This is too close. Given the main's age, there is the real possibility that the Town will need to perform maintenance on it in the future. Having to excavate that deep, near what will be an occupied residence is unacceptable. Therefore, the applicant's engineer shall design a new sanitary main that is further away from the proposed dwelling. Profiles and details for same shall be added to the drawings.

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16. Currently, the drawing shows multiple sanitary building connections tying into one line of unspecified size, before connecting to the existing sanitary main. In order for this to be acceptable, the individual building connection must tie into a new 8 inch main or have separate connections from the buildings to the existing main.

17. The existing sanitary main shall be shown in it's entirely through the site.

18. The applicant's attorney shall prepare a 20 foot wide easement, for the existing sanitary main that runs through the site, to benefit the Town of Orangetown. This easement, with metes and bounds, shall be shown on the drawings. The easement shall also "run" from the dead end manhole, through the proposed driveway, to the existing access easement the Town has at the entrance to the site. The easement document shall be submitted to the Town Attorney's office and to DEME for review and approval.

19. The project proposes to construct a walking path from the site to the Town's H4H Green Infrastructure Project. This includes construction on Town property. **The applicant shall obtain approval for this work from the Town Board prior to the map/ plan being signed.**

20. A profile for the proposed walkway to the Green Infrastructure Project shall be provided on the plans.

21. Profiles for all proposed sanitary and drainage piping shall be added to the plans.

22. A note shall be added to the plan stating that the Town of Orangetown Sewer Inspector shall be notified at least 48 hours prior to any and all work being performed in connection with this site plan.

23. The soil erosion and sediment control plans and details are under review by DEME.

24. A note shall be added to the Site Plan indicating the source benchmark for the referenced datum, including the BM elevation.

25. If the drainage calculations demonstrate the need for stormwater quality and quantity facilities/ controls, a post construction stormwater maintenance agreement, in accordance with NYSDEC Phase II Regulations, for the proposed stormwater systems, shall be submitted to DEME and the Town Attorney's office for review and approval. Said agreement shall include a maintenance and management schedule, inspection check list, contact person with telephone number, yearly report to be submitted to DEME, etc.

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26. Iron pins shall be drawn and labeled at each property corner.

**27. Drainage Review Recommendation – Maser Consulting**

The proposed stormwater management plan is attempting to provide a greener redevelopment of an existing property which meets the intent of the regulations and therefore, Maser Consulting, the Planning Board's Drainage Consultant recommends that Camp Shanks – RHFH Phase II Site Plan be approved for drainage subject to the following conditions.

**Project Comments**

1. According to a note on Drawing 5 of the plans, the site in question is considered a redevelopment activity with an overall reduction in impervious coverage over 25% and therefore post construction water quality and quantity measures are not required. While the Drainage Consultant does not disagree with this approach for drainage on this project, this statement is not entirely accurate, and additional information is required to confirm.
2. Water Quantity controls such as Channel Protection and ten-year and hundred-year criteria would not apply IF the development activities result in no change to the hydrology that increase the discharge rate from the project. Therefore, a pre versus post comparison shall be provided to determine if that is indeed the case for this project.
3. Water Quality treatment objectives can be achieved by the reduction of existing impervious cover by a minimum of 25% of the total disturbed, impervious area. Please elaborate on the breakdown of the impervious surfaces to remain, to be removed, and to be replaced and/ or newly constructed shown in the table provided on Drawing 5. It would be helpful to key them to the areas on the plan so this can be reviewed and confirmed. It is also somewhat confusing in that there is an existing pavement total of 71,266 SF of impervious surface comprised of buildings but it is not clear. In order to claim this reduction, a clear graphic representation on the plans shall be provided, and it shall match the input numbers utilized in the pre versus post comparison requested in comment #2 above.
4. It is also worth noting that Chapter 9 of the NYSSMDM states that the final grading of the site should be planned to minimize runoff contribution from new pervious area onto the impervious cover. Effective implementation of this option requires restoration of soil properties in the newly created pervious areas. Soil restoration is achieved by practices such as soil amendment, deep-ripping, and de-compaction.

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**Continuation of Condition #27...**

5. A SWPPP is still required based on the Area of Disturbance being 2.43 acres as indicated on Drawing 5, which is greater than 1 acre.

6. Please show the limit of disturbance graphically on the drawings, as well.

**28.** The Rockland County Health Department (RCDOH) reviewed the submitted information and offered the following comments:

1. A copy of the sanitary sewer analysis is to be submitted directly to RCDOH for review.
2. Application is to be made to the Health Department for review of the stormwater system for compliance with the County Mosquito Code.
3. In accordance with Article 13.8.1 of the Rockland County Sanitary Code, all multiple dwellings with three (3) or more rental units and all rooming houses must register and obtain a Multiple Dwelling Rental Certificate from the Rockland County Health Department Rockland Codes Initiative (RCI) prior to occupancy.

**29.** Based upon the plans and information received, Rockland County Highway Department offered the following comments:

1. The existing access easement in favor of Town of Orangetown in the property may need to be redefined and recorded in the County Clerk's office as the access easement does not align with the existing driveway/ private road.
2. The proposed sidewalk in the property shall be extended up to Western Highway.
3. Traffic control signs may be required at the existing driveway due to increase in traffic flow through the driveway.
4. A road work permit shall be obtained from the Rockland County Highway Department prior to starting any construction work in the property.

**30.** The Rockland County Sewer District #1 does not object to the plan as shown. This project does not affect any sanitary sewers within the District and request no future correspondence for this site.

**31.** The New York State Department of Environmental Conservation (DEC) indicated that based upon its review of the circulated documents, it appears that the project may require the following permits:

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**Continuation of Condition #31...**

The New York State Department of Environmental Conservation (DEC) indicated that based upon its review of the circulated documents, it appears that the project may require the following permits:

- **SPDES Stormwater (Construction):** Since project activities will disturb over one acre of land, the project sponsor must obtain coverage under the current SPDES General Permit for Stormwater Discharges from Construction Activities (GP-0-15-002) and develop a Stormwater Pollution Prevention Plan (SWPPP) that conforms to requirements of the General Permit. As this site is within a Municipal Separate Storm Sewer System (MS4) community, the Town of Orangetown is responsible for review and acceptance of the SWPPP and the MS-4 Acceptance Form must be submitted to NYSDEC.
- **State Pollution Discharge Elimination System (SPDES) Wastewater:** It is not clear from the Short Environmental Assessment Form (EAF) how much sanitary wastewater the proposed project will generate or whether the sanitary wastewater will be discharged into a public or private system. Please be aware that if the project site will connect to an existing Sewer District, then an engineering report must be prepared to confirm the capacity of that wastewater facility to serve the proposed project and that the NYSDEC's Division of Water is required to review and approve plans for any proposed sewer extensions or facility expansion. If the project site will connect to a private system, then note that sewage effluent discharges of 1,000 gallons per day or greater to groundwater are regulated under Article 17 of the Environmental Conservation Law and require a SPDES permit.
- **Water Withdrawal:** It is not clear from the Short EAF how much water the proposed project will generate or whether the water will be provided by a public or private water supply. Please note that if the project site is served by a public water supply, additional NYSDEC approval may be required to ensure that the site is covered under an existing Water Withdrawal permit and does not exceed the authorized maximum taking of water into the existing water district or service area. If the proposed project site is served by a private water supply, an Article 15 Water Withdrawal permit may be required to undertake activities pursuant to 6NYCRR Part 601.6, such as the construction, operation and maintenance of a water withdrawal system with the capacity to withdraw 100,000 gallons or more per day regardless of the actual demand on the system (6NYCRR Part 601.6c).

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**Town of Orangetown Planning Board Decision**  
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**Continuation of Condition #31...**

- **Cultural Resources:** DEC has reviewed the statewide inventory of archaeological resources maintained by the New York State Museum and the New York State Office of Parks, Recreation, and Historic Preservation. These records indicate that the project is located within an area considered to be sensitive with regard to archaeological resources. Visit NYS Office of Historic Preservation website at [nysparks.com/shop/online-tools](http://nysparks.com/shop/online-tools).
- Other permits from DEC or other agencies may be required for projects conducted on this property now or in the future. Also, regulations applicable to the location subject to this determination occasionally are revised and therefore, the applicant should verify the need for permits if the project is delayed or postponed. This determination regarding the need for permits will remain effective for a maximum of one year unless you are otherwise notified.

**32.** The following agencies do not object to the Town of Orangetown Planning Board assuming responsibilities of lead agency for SEQRA purposes:

- Town of Orangetown Zoning Board of Appeals
- Rockland County Sewer District No. 1
- Rockland County Department of Health
- Rockland County Highway Department
- New York State Department of Environmental Conservation

**33.** The applicant shall comply with all pertinent items in the Guide to the Preparation of Site Plans and Board Decisions prior to signing the final plans.

**34.** All reviews and approvals from various governmental agencies must be obtained prior to stamping of the Site Plan.

**35. TREE PROTECTION:** The following note shall be placed on the Site Plan: The Tree Protection and Preservation Guidelines adopted pursuant to Section 21-24 of the Land Development Regulations of the Town of Orangetown will be implemented in order to protect and preserve both individual specimen trees and buffer area with many trees. Steps that will be taken to reserve and protect existing trees to remain are as follows:

- a. No construction equipment shall be parked under the tree canopy.
- b. There will be no excavation or stockpiling of earth underneath the trees.
- c. Trees designated to be preserved shall be marked conspicuously on all sides at a 5 to 10 foot height.

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**Continuation of Condition #35...**

d. The Tree Protection Zone for trees designated to be preserved will be established by one of the following methods:

- One (1) foot radius from trunk per inch DBH
- Drip line of the Tree Canopy. The method chosen should be based on providing the maximum protection zone possible. A barrier of snow fence or equal is to be placed and maintained one yard beyond the established tree protection zone. If it is agreed that the tree protection zone of a selected tree must be violated, one of the following methods must be employed to mitigate the impact:
  - Light to Heavy Impacts – Minimum of eight inches of wood chips installed in the area to be protected. Chips shall be removed upon completion of work.
  - Light Impacts Only – Installation of ¾ inch of plywood or boards, or equal over the area to be protected.

The builder or its agent may not change grade within the tree protection zone of a preserved tree unless such grade change has received final approval from the Planning Board. If the grade level is to be changed more than six (6) inches, trees designated to be preserved shall be welled and/or preserved in a raised bed, with the tree well a radius of three (3) feet larger than the tree canopy.

**36.** All landscaping shown on the site plans shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.

**37.** Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.

**38.** The contractor's trailer, if any is proposed, shall be located as approved by the Planning Board.

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**39.** If the applicant, during the course of construction of any required public improvements or private sanitary or storm sewer improvements, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant (or the applicant's engineer) shall submit their recommendations as to the special treatment or design modification to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's (applicants' engineer's) recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's (applicants engineer's) disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Federal Wetlands - U.S. Army Corps of Engineers).

**40.** Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.

**41.** Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEME with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications

**42.** The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse control.

**43.** All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and/or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21A-9. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Site Plan Approval pursuant to Town Code §21A-4.

The foregoing Resolution was made and moved by Stephen Sweeney and seconded by Michael Mandel and carried as follows: Thomas Warren, Chairman, aye; William Young, Vice Chairman, aye; Bruce Bond, absent; Michael Mandel, aye; Robert Dell, absent; Michael McCrory, aye and Stephen Sweeney, aye.

The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

**Dated: October 7, 2019**

**Cheryl Coopersmith, Chief Clerk Boards and Commissions**

**Town of Orangetown Planning Board** attachment

*Cheryl Coopersmith*  
TOWN OF ORANGETOWN  
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**NEGATIVE DECLARATION  
Notice of Determination of Non-Significance**

**PB#19-68: Camp Shanks Homes for Hero's Site Plan      Permit #49045  
Preliminary Site Plan Approval Subject  
to Conditions/ Neg. Dec.**

**Town of Orangetown Planning Board Decision  
October 7, 2019**

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Regulation) of the Environmental Conservation Law.

The PLANNING BOARD, TOWN OF ORANGETOWN, as Lead Agency, has determined that the proposed action described below will not have a significant impact on the environment and a Draft Environmental Impact Statement will not be prepared.

**NAME OF ACTION: Camp Shanks Homes for Hero's Site Plan - Preliminary Site Plan Approval Subject to Conditions/ Neg. Dec.**

SEQR STATUS:    Type I \_\_\_\_\_ Unlisted XXXXXX

CONDITIONED NEGATIVE DECLARATION: Yes \_\_\_\_\_ No XXXXXX

**DESCRIPTION OF ACTION: Site Plan Review**

**LOCATION:** The site is located at 335 Western Highway, Tappan, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.18, Block 3, Lot 48 in the R-15 zoning district.

**REASONS SUPPORTING THIS DETERMINATION:**

The Orangetown Planning Board, as Lead Agency, determined that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared. The reasons supporting this determination are as follows:

The project will not have a significant impact upon the environment and a DEIS need not be prepared because the proposed action does not significantly affect air quality, surface or ground water quality, noise levels or existing external traffic patterns. In addition, it will have no impact upon the aesthetic, agricultural or cultural resources of the neighborhood. No vegetation, fauna or wildlife species will be affected as a result of this proposed action. The proposed action is consistent with the Town of Orangetown's Master Plan and will not have any adverse economic or social impacts upon the Town or its businesses or residences.

If Conditioned Negative Declaration, the specific mitigation is provided on an attachment.

For Further Information contact:

Office of Building, Zoning and Planning  
Administration and Enforcement  
Town of Orangetown  
20 Greenbush Road  
Orangeburg, NY 10962  
Telephone Number: 845-359-5100

For Type I Actions and Conditioned Negative Declarations, a copy of this notice is sent: - Commissioner, New York State Department of Environmental Conservation, - Region 3 Headquarters, NYSDEC, - Town Supervisor, Applicant, Involved Agencies

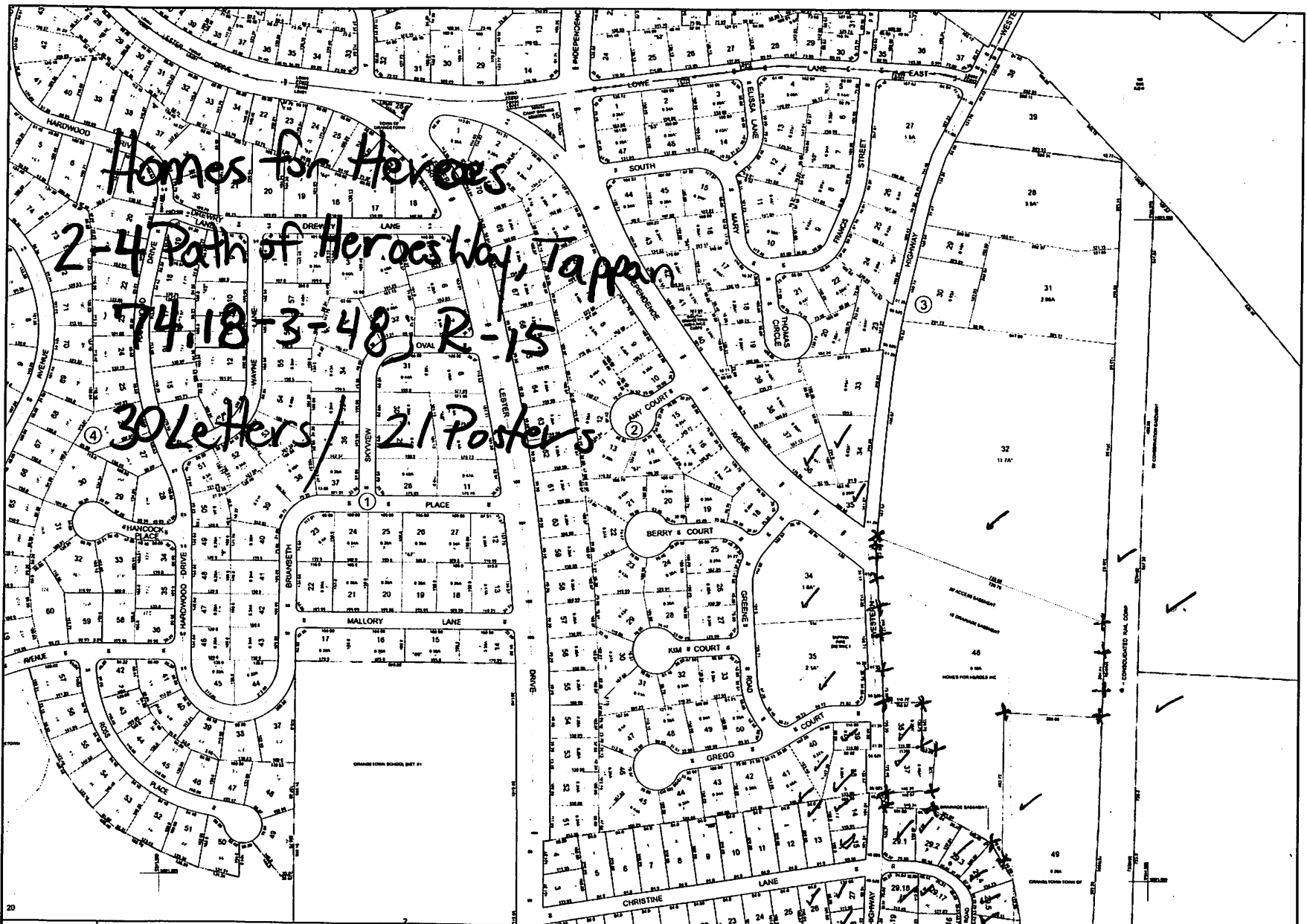
TOWN OF ORANGETOWN  
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Homes for Heroes

2-4 Path of Heroess Way, Tappan

74.18-3-48 R-15

30 Letters / 21 Posters



**SEWALL**  
 Planning & Surveying  
 1000 West Street  
 Tappan, NY 10984  
 Phone: 845.291.1111  
 Fax: 845.291.1112  
 www.sewall.com

MAP REVISIONS	
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TOWN OF GRANGETOWN  
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# SITE PLAN DRAWINGS PREPARED FOR

# CAMP SHANKS - RHFH PHASE II

## TOWN OF ORANGETOWN

## ROCKLAND COUNTY, NEW YORK

**NOTES:**

1. THIS IS A SITE PLAN OF TAX LOT 74-18-3-48, AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
2. RECORD OWNER/APPLICANT: HOMES FOR HEROES  
ONE BLUE HILL PLAZA, 5TH FLOOR  
ORANGETOWN, NY 1096
3. ZONE: R-15
4. PROPOSED USE: N, ATTACHED VETERANS HOUSING
5. LOT AREA: 8.16 ACRES
6. FIRE DISTRICT: TAPPAN FD006
7. SCHOOL DISTRICT: SOUTH ORANGETOWN CSD 392401
8. WATER DISTRICT: PEARL RIVER WT003
9. WATER SUPPLY BY: SUEZ WATER NEW YORK
10. SEWER DISTRICT:
11. DATUM: N.A.V.D. 88
12. ALL UTILITIES SHALL BE UNDERGROUND. ELECTRIC SERVICE SHALL BE IN CONDUIT OF NOT LESS THAN TWO (2) INCH DIAMETER.
13. THIS SITE PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239-L & N OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
14. THIS SITE PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION PLANS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
15. LOT DRAINAGE SHOWN ON SUCH PLANS SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
16. ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
17. MONUMENTS TO BE SET AT ALL CORNERS OF THE ORIGINAL PARCEL WHERE NOT OTHERWISE MARKED (SHOWN THIS)
18. CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE TOWN.
19. ALL AREAS DISTURBED BY ON-SITE GRADING WILL BE LIMED AND FERTILIZED PRIOR TO SEEDING.
20. SIDEWALKS AND CURBS, WHERE REQUIRED, SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPT.
21. NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPT.
22. NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED BY ACABOR.
23. ALL SEWER CONNECTIONS SHALL BE APPROVED BY THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING.
24. AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEME. SUPT. OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING & PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
25. ALL LANDSCAPING SHOWN ON THE SITE PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
26. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION & SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN DEME SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION & SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEME AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
27. THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.
28. IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO DEME. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE PERMANENT AND SATISFACTORY CONSTRUCTION. DEME SHALL INVESTIGATE THE CONDITION(S), AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITION(S) OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF DEME OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SITE PLAN OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THE MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (i.e. WETLANDS-US ARMY CORPS OF ENGINEERS)
29. PERMANENT VEGETATIVE COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
30. PRIOR (AT LEAST 14 DAYS) TO THE PLACING OF ANY ROAD SUB-BASE, THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SUPT. OF HIGHWAYS & DEME WITH A PLAN & PROFILE OF THE GRADED ROAD TO BE PAVED IN ORDER THAT THESE DEPARTMENTS MAY REVIEW THE DRAWINGS CONFORMANCE TO APPROVED CONSTRUCTION PLANS & TOWN STREET SPECIFICATIONS.
31. THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING SIGNS, AND REFUSE CONTROL.
32. NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY DEPT. OF HEALTH, AND/OR THE TOWN OF ORANGETOWN.
33. A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
  - a. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
  - b. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH TREES.
  - c. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
  - d. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
    1. ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH.
    2. DRIP LINE OF THE TREE CANOPY.

THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUIV. IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:

  1. LIGHT TO HEAVY IMPACTS- MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
  2. LIGHT IMPACTS ONLY- INSTALLATION OF 3/4 INCH OF PLYWOOD OR BOARDS, OR EQUIV. OVER THE AREA TO BE PROTECTED. THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
34. ROAD WORK PERMIT SHALL BE OBTAIN FROM THE ROCKLAND COUNTY HIGHWAY DEPARTMENT PRIOR TO STARTING ANY CONSTRUCTION WORK IN THE PROPERTY.



**VICINITY MAP**  
SCALE 1"=200'

**INDEX TABLE**

1. TITLE SHEET
2. EXISTING CONDITIONS AND DEMOLITION PLAN
3. PROPOSED SITE PLAN
4. PROPOSED GRADING & UTILITY PLAN
5. SOIL EROSION AND SEDIMENT CONTROL PLAN
6. CONSTRUCTION DETAILS
7. PLANTING AND LIGHTING PLAN

**APPLICANT/OWNER:**

ROCKLAND HOMES FOR HEROES  
ONE BLUE HILL PLAZA, 5TH FLOOR  
ORANGETOWN, NY 10962  
(817) 447-1092

**SITE ENGINEER:**

BROOKER ENGINEERING P.L.L.C.  
74 LAFAYETTE AVENUE  
SUITE 501  
SUFFERN, NEW YORK 10901  
(845) 357-4411

**LAND SURVEYOR:**

BROOKER ENGINEERING P.L.L.C.  
74 LAFAYETTE AVENUE  
SUITE 501  
SUFFERN, NEW YORK 10901  
(845) 357-4411

**ARCHITECT:**

IVES ARCHITECTURE STUDIO  
4-25 PLAZA ROAD  
FAIR LAWN, NJ 07410  
(201) 773-9111

REV	DESCRIPTION	BY	DATE
2	FOR ZBA SUBMISSION	MT	01/23/20
1	LANDSCAPE AND LIGHTING PLAN, COUNTY HIGHWAY	AP	10/01/19

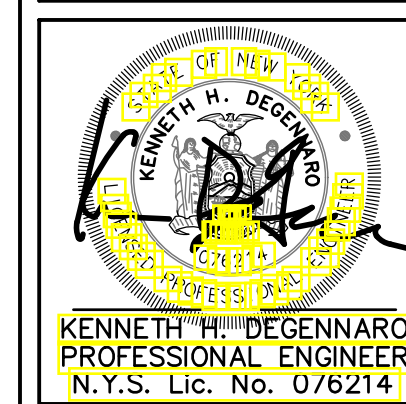
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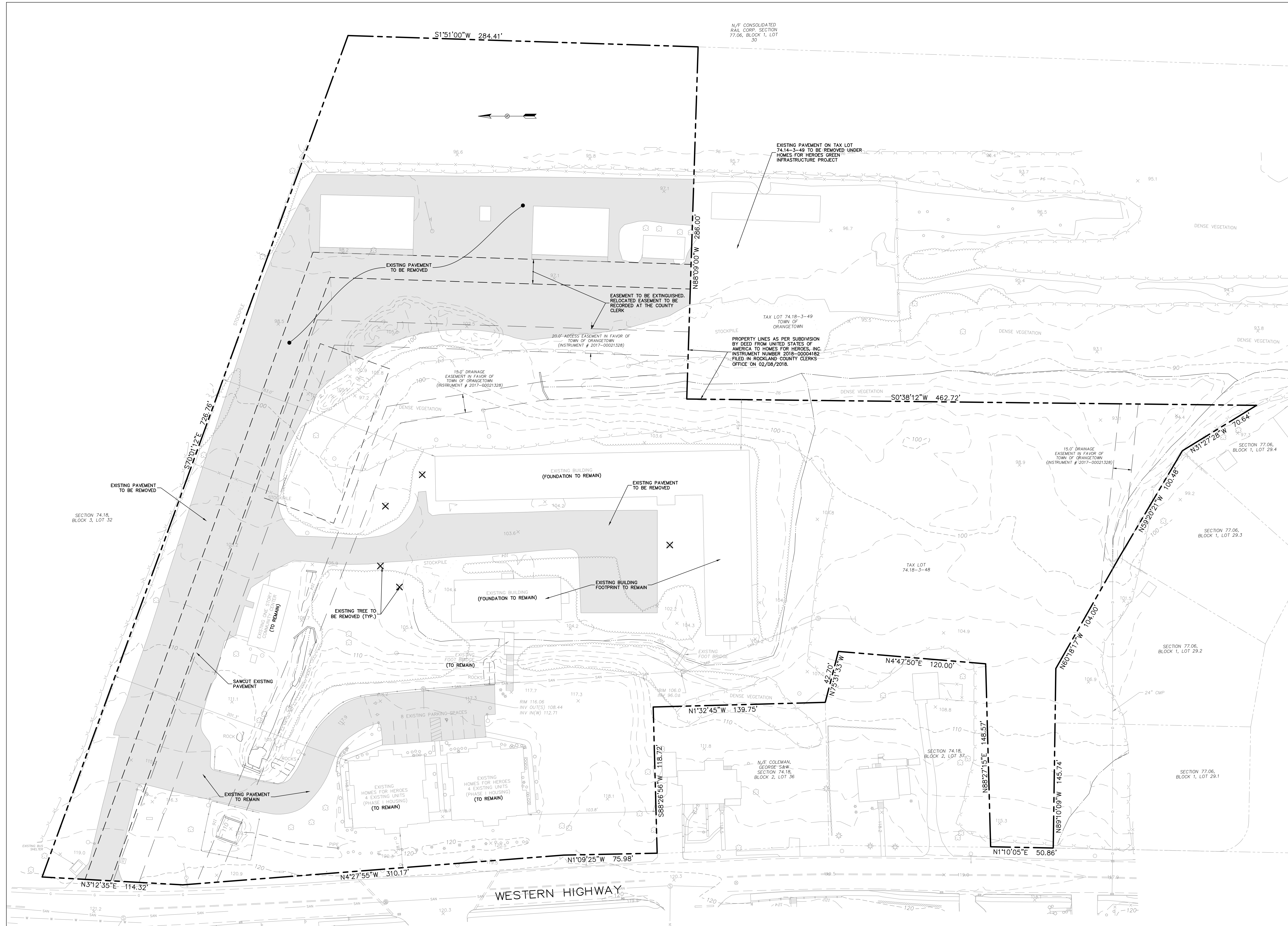
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74 Lafayette Avenue, Suite 501 | 22 Paris Avenue, Suite 105  
Suffern, NY 10901 | Rockleigh, NJ 07847  
(845) 357-4411 | (201) 684-1221

**PROJECT:**  
CAMP SHANKS -- RHFH PHASE II  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

**TITLE:**  
TITLE SHEET

PROJECT NO:	DRAWN:	CHECKED:
18288	AP	KD
SCALE:	AS NOTED	
GRAPHIC SCALE:		
DATE:	DRAWING NO:	
06/26/2019	1	





N/4 CONSOLIDATED  
RAIL CORP. SECTION  
77.06, BLOCK 1, LOT  
30

EXISTING PAVEMENT ON TAX LOT  
74.18-3-49 TO BE REMOVED UNDER  
HEROES GREEN  
INFRASTRUCTURE PROJECT

EASEMENT TO BE EXTINGUISHED.  
RELOCATED EASEMENT TO BE  
RECORDED AT THE COUNTY  
CLERK.

20.0' ACCESS EASEMENT IN FAVOR OF  
TOWN OF ORANGETOWN  
(INSTRUMENT # 2017-00021328)

15.0' DRAINAGE  
EASEMENT IN FAVOR OF  
TOWN OF ORANGETOWN  
(INSTRUMENT # 2017-00021328)

PROPERTY LINES AS PER SUBDIVISION  
BY DEED FROM UNITED STATES OF  
AMERICA TO HOMES FOR HEROES, INC.  
INSTRUMENT NUMBER 2016-000482  
FILED IN ROCKLAND COUNTY CLERKS  
OFFICE ON 02/08/2018.

15.0' DRAINAGE  
EASEMENT IN FAVOR OF  
TOWN OF ORANGETOWN  
(INSTRUMENT # 2017-00021328)

EXISTING PAVEMENT  
TO BE REMOVED

SECTION 74.18,  
BLOCK 1, LOT 32

EXISTING ONE STORY  
COMMUNITY CENTER  
(TO REMAIN)

EXISTING TREE TO  
BE REMOVED (TYP.)

EXISTING BUILDING  
(FOUNDATION TO REMAIN)

EXISTING PAVEMENT  
TO BE REMOVED

EXISTING BUILDING  
(FOUNDATION TO REMAIN)

EXISTING BUILDING  
FOOTPRINT TO REMAIN

SAWKUT EXISTING  
PAVEMENT

EXISTING FOOT BRIDGE  
(TO REMAIN)

EXISTING PAVEMENT  
TO REMAIN

EXISTING HEROES  
HOMES FOR HEROES  
UNITS (PHASE I HOUSING)  
(TO REMAIN)

EXISTING HEROES  
HOMES FOR HEROES  
UNITS (PHASE II HOUSING)  
(TO REMAIN)

EXISTING HEROES  
HOMES FOR HEROES  
UNITS (PHASE III HOUSING)  
(TO REMAIN)

N/E COLEMAN,  
GEORGE S&W  
SECTION 74.18,  
BLOCK 2, LOT 36

SECTION 74.18,  
BLOCK 2, LOT 32

SECTION 77.06,  
BLOCK 1, LOT 29.1

WESTERN HIGHWAY

REV	DESCRIPTION	BY	DATE
2	FOR ZBA SUBMISSION	MT	01/23/20
1	LANDSCAPE AND LIGHTING PLAN, COUNTY HIGHWAY	AP	10/01/19

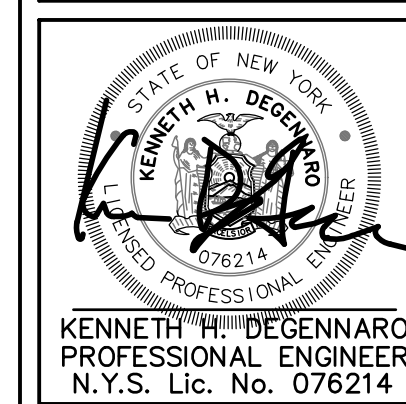
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PROJECT:  
**CAMP SHANKS — RHFH PHASE II**  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

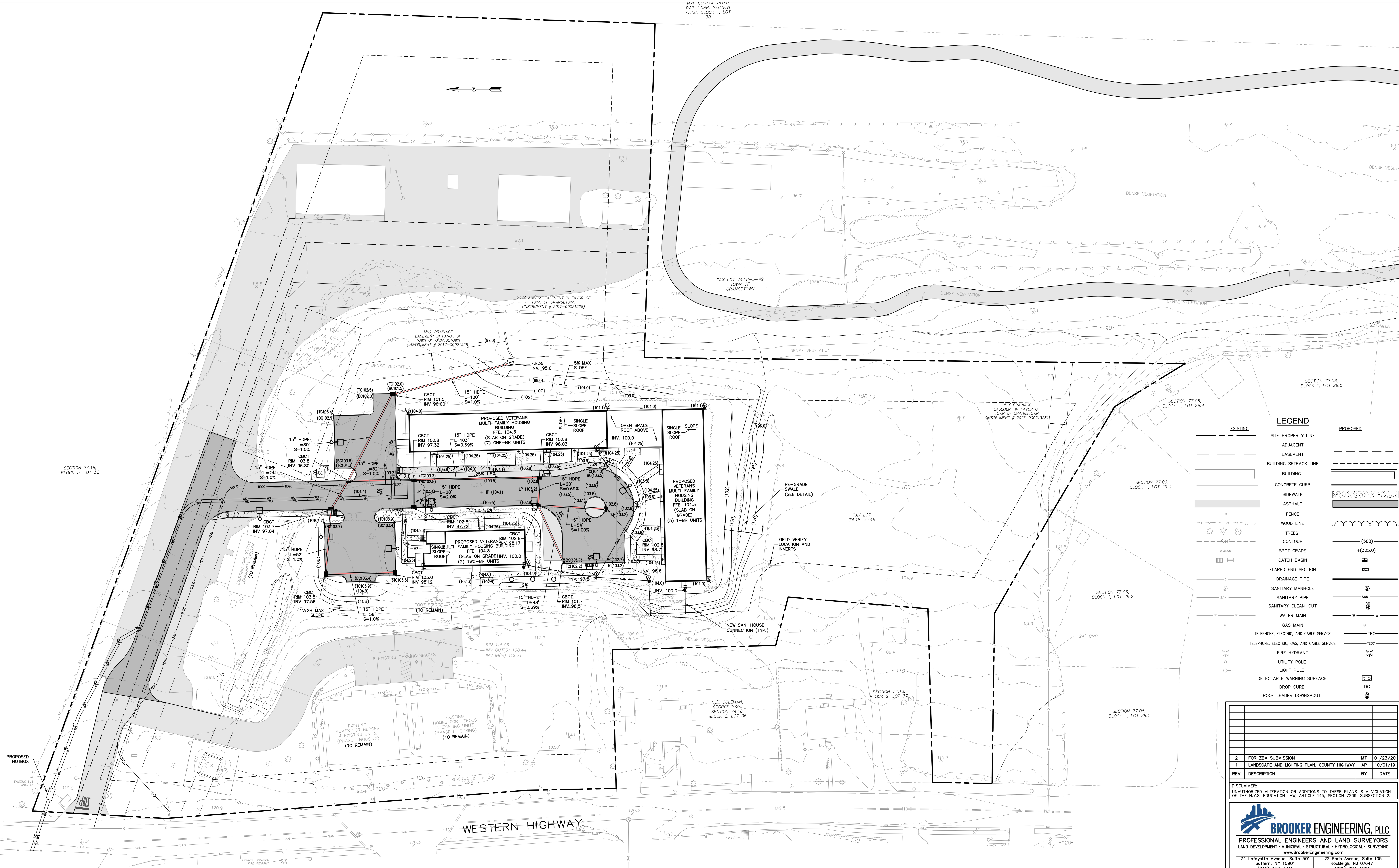
TITLE:  
**EXISTING CONDITIONS  
AND DEMOLITION PLAN**

PROJECT NO: 18288 | DRAWN: AP | CHECKED: KD  
SCALE: 1" = 30'  
GRAPHIC SCALE: 0 30' 60'  
DATE: 06/26/2019 | DRAWING NO: 2









EXISTING		PROPOSED	
---	SITE PROPERTY LINE	---	ADJACENT
---	EASEMENT	---	EASEMENT
---	BUILDING SETBACK LINE	---	BUILDING
---	CONCRETE CURB	---	SIDEWALK
---	ASPHALT	---	FENCE
---	WOOD LINE	---	TREES
---	CONTOUR	---	CONTOUR
---	SPOT GRADE	---	SPOT GRADE
---	CATCH BASIN	---	CATCH BASIN
---	FLARED END SECTION	---	FLARED END SECTION
---	DRAINAGE PIPE	---	DRAINAGE PIPE
---	SANITARY MANHOLE	---	SANITARY MANHOLE
---	SANITARY PIPE	---	SANITARY PIPE
---	SANITARY CLEAN-OUT	---	SANITARY CLEAN-OUT
---	WATER MAIN	---	WATER MAIN
---	GAS MAIN	---	GAS MAIN
---	TELEPHONE, ELECTRIC, AND CABLE SERVICE	---	TELEPHONE, ELECTRIC, AND CABLE SERVICE
---	TELEPHONE, ELECTRIC, GAS, AND CABLE SERVICE	---	TELEPHONE, ELECTRIC, GAS, AND CABLE SERVICE
---	FIRE HYDRANT	---	FIRE HYDRANT
---	UTILITY POLE	---	UTILITY POLE
---	LIGHT POLE	---	LIGHT POLE
---	DETECTABLE WARNING SURFACE	---	DETECTABLE WARNING SURFACE
---	DROP CURB	---	DROP CURB
---	ROOF LEADER DOWNSPOUT	---	ROOF LEADER DOWNSPOUT

REV	DESCRIPTION	BY	DATE
2	FOR ZBA SUBMISSION	MT	01/23/20
1	LANDSCAPE AND LIGHTING PLAN, COUNTY HIGHWAY	AP	10/01/19

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74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411

22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 884-1221

PROJECT:  
**CAMP SHANKS -- RHFH PHASE II**  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

TITLE:  
**PROPOSED GRADING  
 & UTILITY PLAN**

PROJECT NO. 18288 DRAWN: AP CHECKED: KD  
 SCALE: 1" = 30'  
 GRAPHIC SCALE: 0 30' 60'

DATE: 06/26/2019 DRAWING NO: 4

KENNETH W. DEGENNARO  
 PROFESSIONAL ENGINEER  
 N.Y.S. Lic. No. 076214

SECTION 74.16,  
 BLOCK 3, LOT 32

SECTION 77.06,  
 BLOCK 1, LOT 29.5

SECTION 77.06,  
 BLOCK 1, LOT 29.4

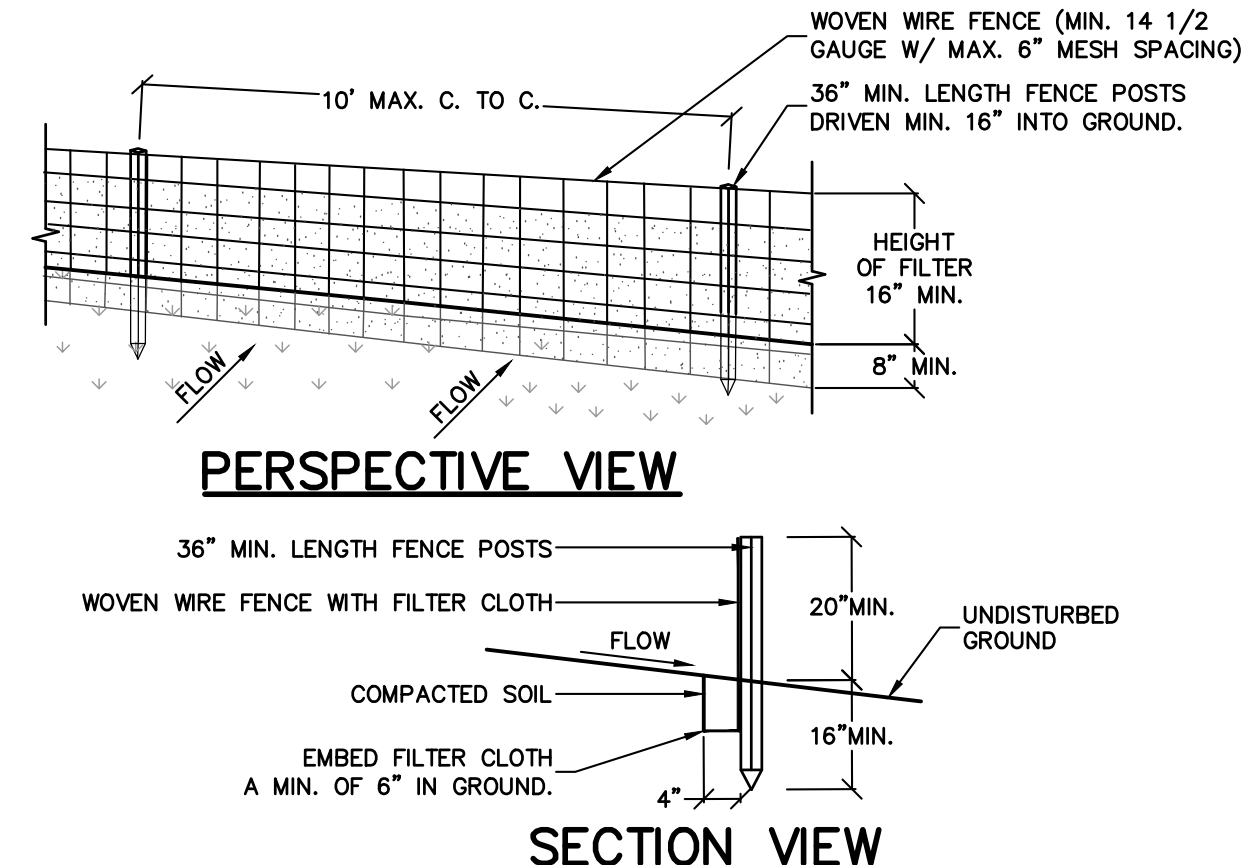
SECTION 77.06,  
 BLOCK 1, LOT 29.3

SECTION 77.06,  
 BLOCK 1, LOT 29.2

SECTION 77.06,  
 BLOCK 1, LOT 29.1

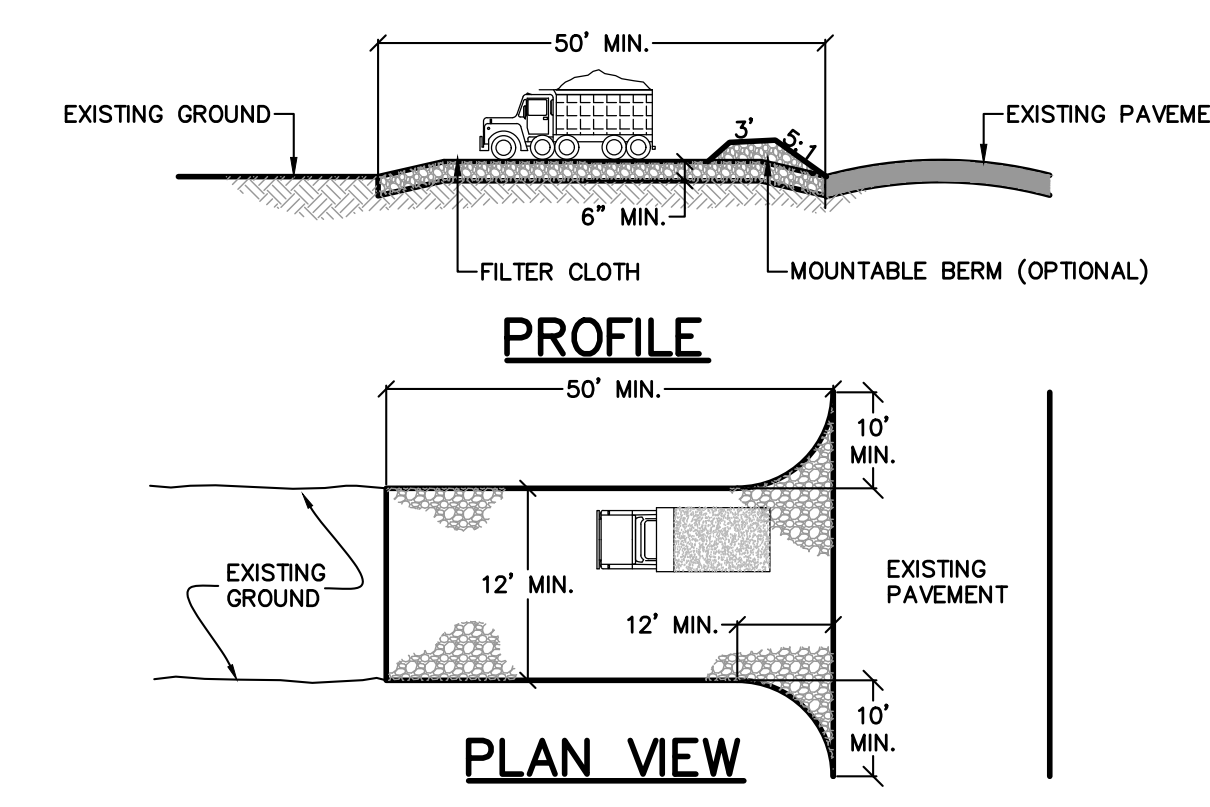
TAX LOT  
 74.18-3-48

WESTERN HIGHWAY



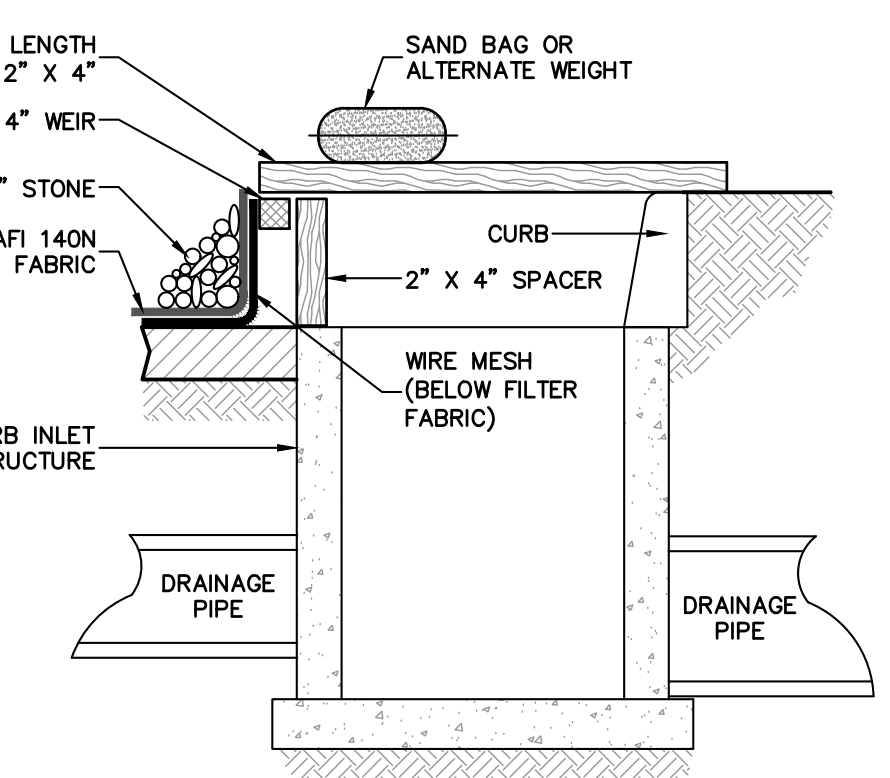
- NOTES:**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "1" OR "1/2" TYPE OR HARDWOOD.
  - FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER 3, MIRAFI 1400, STABILINKA 11400, OR APPROVED EQUIVALENT.
  - PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE**  
N.T.S.



- NOTES:**
- STONE SIZE - USE 1 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCURS. TWENTY (20) FOOT IF SINGLE ENTRANCE SITE.
  - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
N.T.S.



- NOTES:**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
  - WOODEN FRAME SHALL BE CONSTRUCTED OF 2" X 4" CONSTRUCTION GRADE LUMBER.
  - WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" X 4" WEIR.
  - THE WEIR SHALL BE SECURELY NAILED TO 2" X 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
  - THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" X 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SAND BAGS OR ALTERNATE WEIGHTS.

**CURB INLET PROTECTION DETAIL**  
N.T.S.

**STANDARD EROSION CONTROL NOTES:**

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AND SHALL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- THE SITE AT ALL TIMES SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND INSPECTING ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
- STOCKPILES ARE NOT TO BE LOCATED WITHIN A FLOODPLAIN, BUFFER, ON A SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAY BALE SEDIMENT BARRIER OR SILT FENCE.
- A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACED OUTSIDE THE WORK AREA OR ONTO PUBLIC RIGHT-OF-WAY, SHALL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- DUST SHALL BE CONTROLLED AT ALL TIMES IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- TREES TO REMAIN AFTER CONSTRUCTION WITHIN THE WORK AREA SHALL BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO BE FILLED IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTION SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN OPEN OR UNFINISHED FOR MORE THAN 10 DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE. A TEMPORARY SEEDING AND/OR MULCHING SHOULD BE APPLIED TO DISTURBED AREAS THAT ARE LEFT FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS.
- SILT THAT LEAVES THE SITE SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPLIED PLANS.
- ALL AREAS DISTURBED BY ON-SITE GRADING, THAT WILL NOT BE CONSTRUCTED UPON, SHALL BE STABILIZED WITH PERMANENT VEGETATIVE COVER, USING THE FOLLOWING SEEDING SCHEDULE, OR EQUIVALENT:
 

1 LB. PER ACRE	1 LB. PER 1,000 SF
KENTUCKY BLUE GRASS - 20	0.45
CREeping RED FESCUE - 20	0.45
PERENNIAL RYE GRASS - 20	0.45
- ALL SEEDED AREAS TO HAVE AN APPLICATION OF THE FOLLOWING:
 

1 LB. PER ACRE	1 LB. PER 1,000 SF
FERTILIZER - 15 LBS. PER 1,000 SF OF 10-20-10 FERTILIZER OR APPROVED EQUAL	
IF NOT LANDSCAPED OTHERWISE ALL NEW CONSTRUCTED STEEP PERMANENT SLOPED LESS THEN 1 (VERTICAL) : 2.5 (HORIZONTAL) TO BE SEEDED WITH THE FOLLOWING:	
CREeping RED FESCUE - 10	0.45
CROWN VETCH - 15	0.35
BIRDFOOT TREFLOE - 8	0.20
TALL FESCUE OR SMOOTH BROMEGRASS - 15	0.35
W/PERENNIAL RYE GRASS - 5	0.10
- ALL SLOPES 1 (VERTICAL) : 2.5 (HORIZONTAL) TO BE MULCHED AND STABILIZED WITH CLOTH FABRIC AND PINNED TO THE GROUND.
- SOD CAN BE USED INSTEAD OF SEED.
  - CONSTRUCT STABILIZING CONSTRUCTION ENTRANCE.
  - INSTALL SEDIMENT BARRIERS AS PER NOTE 1 ABOVE.
  - CONSTRUCT DIVERSION SWALES AND DRAINAGE SYSTEMS WITH MINIMUM NECESSARY CLEARING.
  - CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED.
  - PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE. INSTALL STORM DRAINAGE SYSTEM.
  - INSTALL SEDIMENT CONTROL BARRIERS AROUND ALL STORM DRAIN INLETS.
  - SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OR 30 DAYS AS PER NOTE 2 ABOVE.
  - AFTER COMPLETION OF THE SITE CONSTRUCTION FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED AS PER NOTES 5 AND 6 ABOVE.
  - REMOVE SEDIMENT BARRIERS AS PER NOTE 4 ABOVE.
  - MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE SPECS.
- ALL CONSTRUCTION TO MEET CURRENT VILLAGE SPECS.
- 4" OF TOP SOIL TO BE SPREAD PRIOR TO SEEDING IN ALL DISTURBED AREAS.

**EXISTING CONDITIONS PAVEMENT BREAKDOWN**

EXISTING PAVEMENT, TOTAL	71,266 SQ. FT.
EXISTING PAVEMENT TO REMAIN	12,945 SQ. FT.
EXISTING PAVEMENT TO BE REMOVED	58,321 SQ. FT.
TBR & REPLACED WITH NEW PAVEMENT	13,378 SQ. FT.
TBR & REPLACED WITH OTHER IMPERVIOUS	635 SQ. FT.
TBR & REPLACED WITH GRASS/VEGETATION	44,308 SQ. FT.

**PROPOSED CONDITIONS PAVEMENT BREAKDOWN**

PROPOSED PAVEMENT, TOTAL	36,911 SQ. FT.
EXISTING PAVEMENT TO REMAIN	12,945 SQ. FT.
EX. PAVEMENT TBR & REPLACED WITH NEW PAVEMENT	13,378 SQ. FT.
PROPOSED PAVEMENT OVER EXISTING GRASS/VEGETATION	10,588 SQ. FT.

**IMPERVIOUS COVERAGE REDUCTION BREAKDOWN**

TOTAL EXISTING IMPERVIOUS PAVEMENT REDUCTION	104,546 SQ. FT.
PROPOSED SIDEWALKS	-34,335 SQ. FT.
PROPOSED GARBAGE ENCLOSURE	+6,937 SQ. FT.
PROPOSED IMPERVIOUS COVERAGE	77,356 SQ. FT.

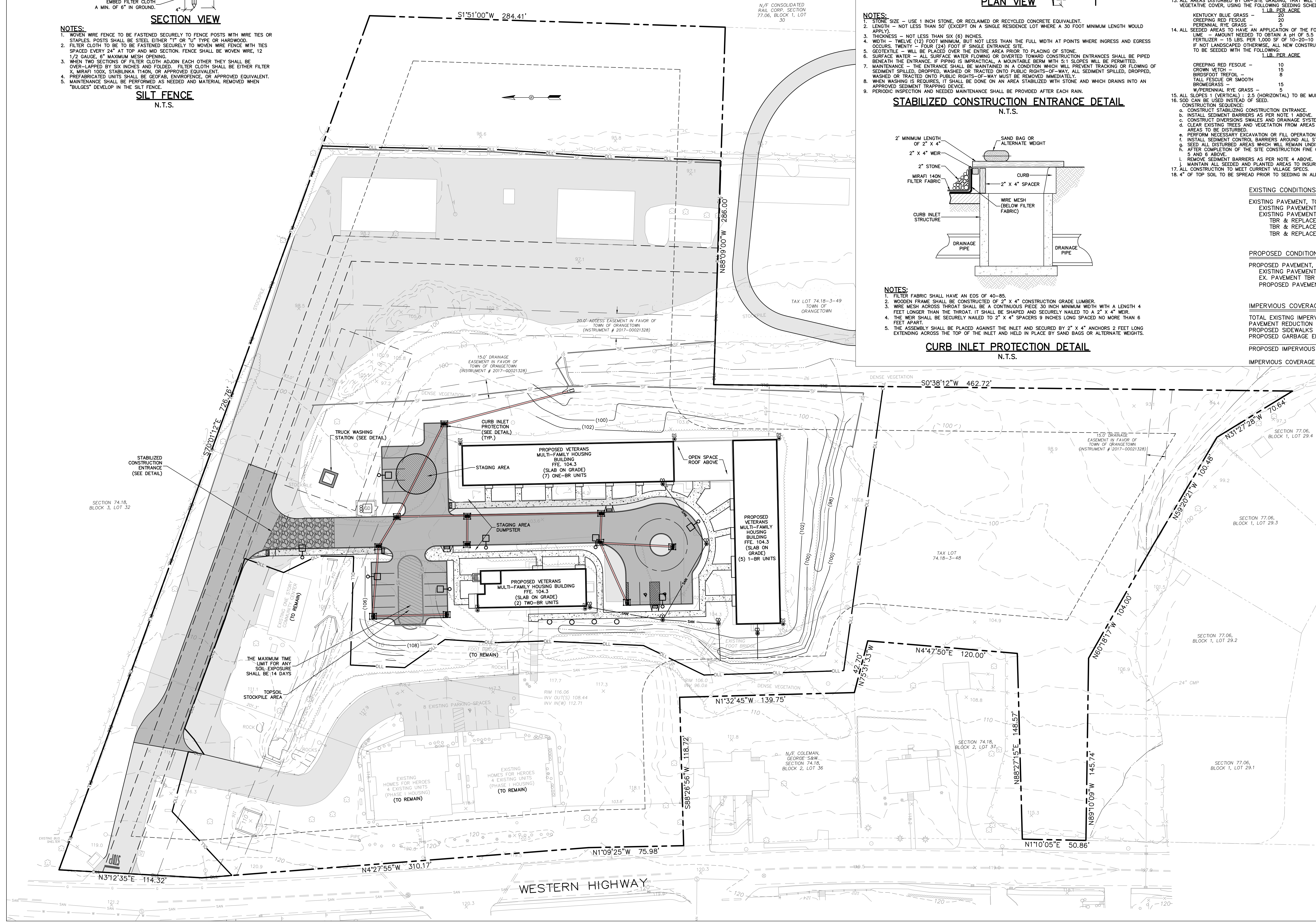
IMPERVIOUS COVERAGE REDUCTION = (104,546 - 77,356) = 27,190  
 → (27,190 / 104,546) X 100 = +26.0%

\*AS PER CHAPTER 9 OF THE NYS STORMWATER MANAGEMENT DESIGN MANUAL, SITE IN QUESTION IS CONSIDERED A REDEVELOPMENT ACTIVITY WITH AN OVERALL REDUCTION IN IMPERVIOUS COVERAGE OVER 25%. THEREFORE, POST CONSTRUCTION WATER QUALITY & QUANTITY MEASURES ARE NOT REQUIRED.

NOTE: AREA OF DISTURBANCE = 2.43 ACRES±

**LEGEND**

- CONSTRUCTION ENTRANCE
- SILT FENCE
- LIMIT OF DISTURBANCE
- INLET PROTECTION
- TRUCK WASHING STATION



REV	DESCRIPTION	BY	DATE
2	FOR ZBA SUBMISSION	MT	01/23/20
1	LANDSCAPE AND LIGHTING PLAN, COUNTY HIGHWAY	AP	10/01/19

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 Suffern, NY 10901 | Rockledge, NJ 07647  
 (845) 357-4411 | (201) 684-1221

**PROJECT:**  
CAMP SHANKS - RHFF PHASE II  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

**TITLE:**  
SOIL EROSION & SEDIMENT CONTROL PLAN

PROJECT NO: 18288 | DRAWN: AP | CHECKED: KD

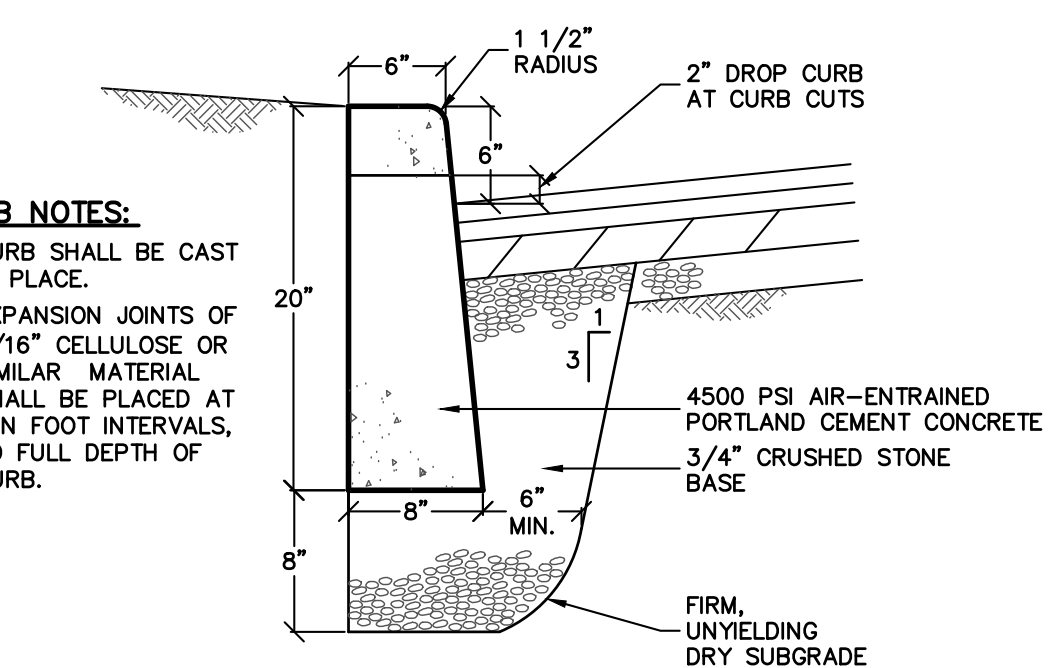
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DATE: 06/26/2019 | DRAWING NO: 5

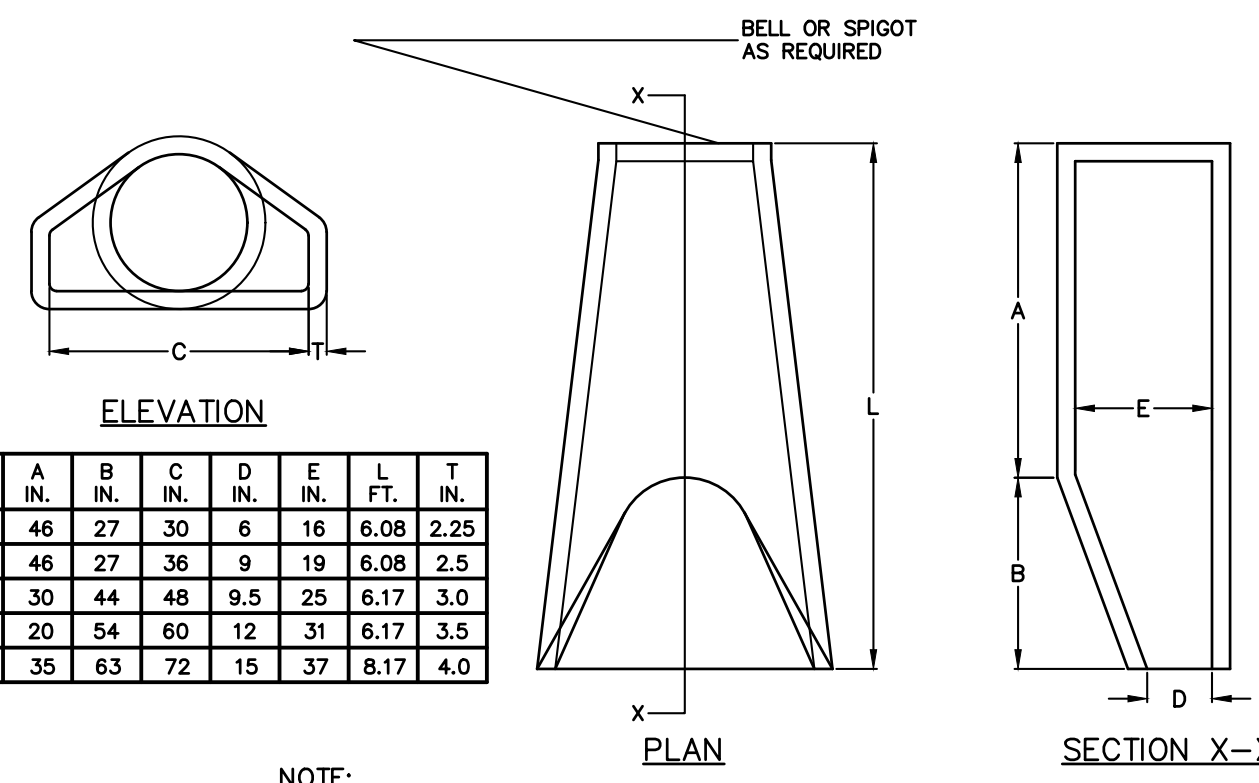
KENNETH W. DEGENNARO  
PROFESSIONAL ENGINEER  
N.Y.S. Lic. No. 076214

**PARKING LOT PAVEMENT SECTION**  
N.T.S.

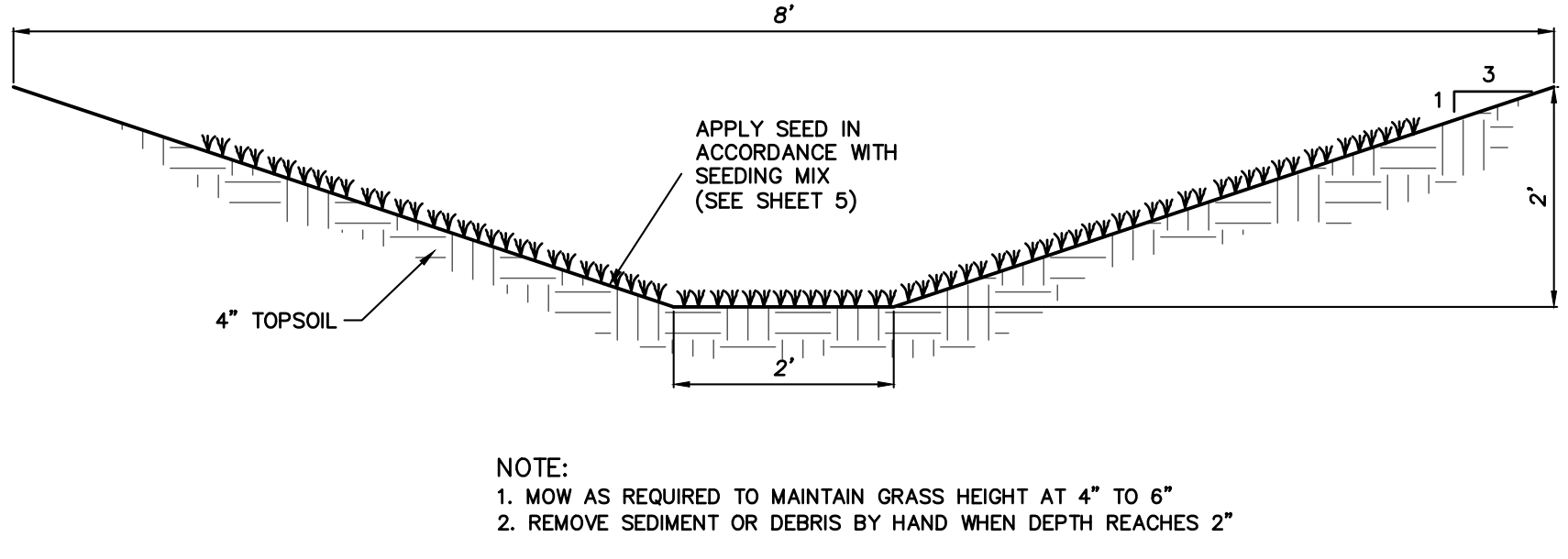


- CURB NOTES:**
1. CURB SHALL BE CAST IN PLACE.
  2. EXPANSION JOINTS OF 3/4\"/>

**CONCRETE CURB DETAIL**  
N.T.S.

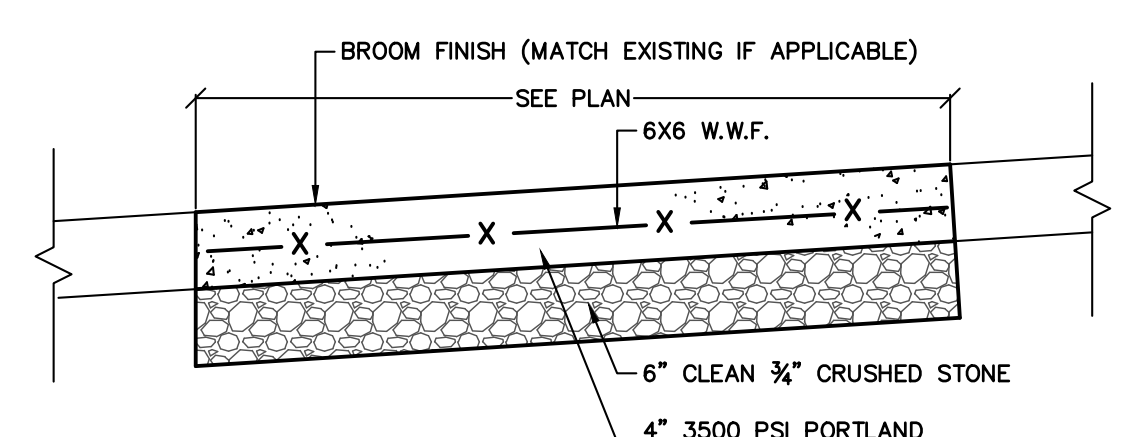


**FLARED END SECTION DETAIL**  
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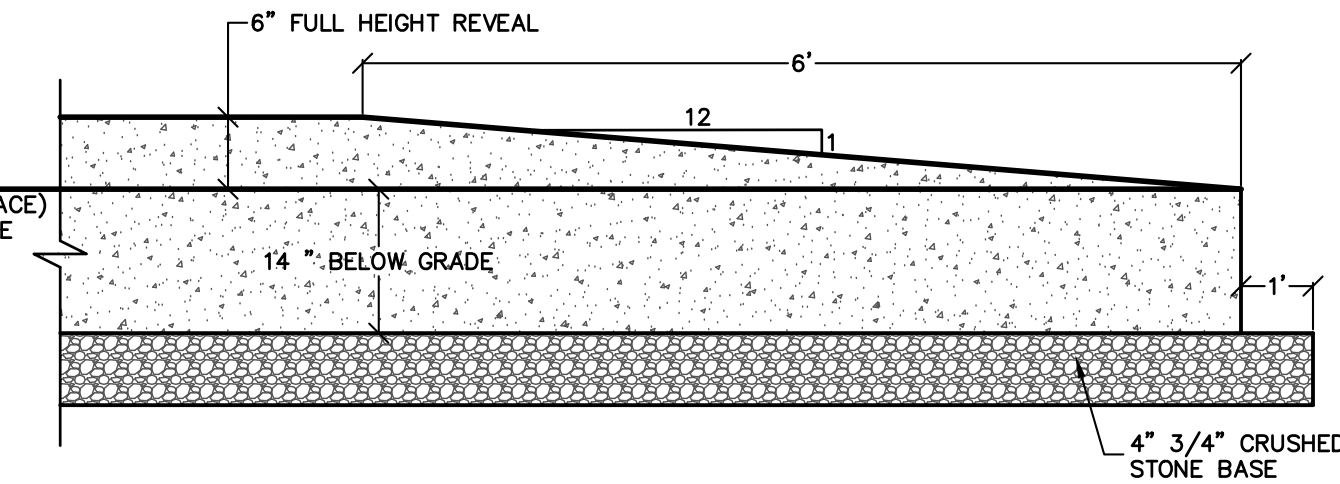
- NOTE:**
1. MOW AS REQUIRED TO MAINTAIN GRASS HEIGHT AT 4\"/>

**VEGETATED SWALE DETAIL**  
N.T.S.

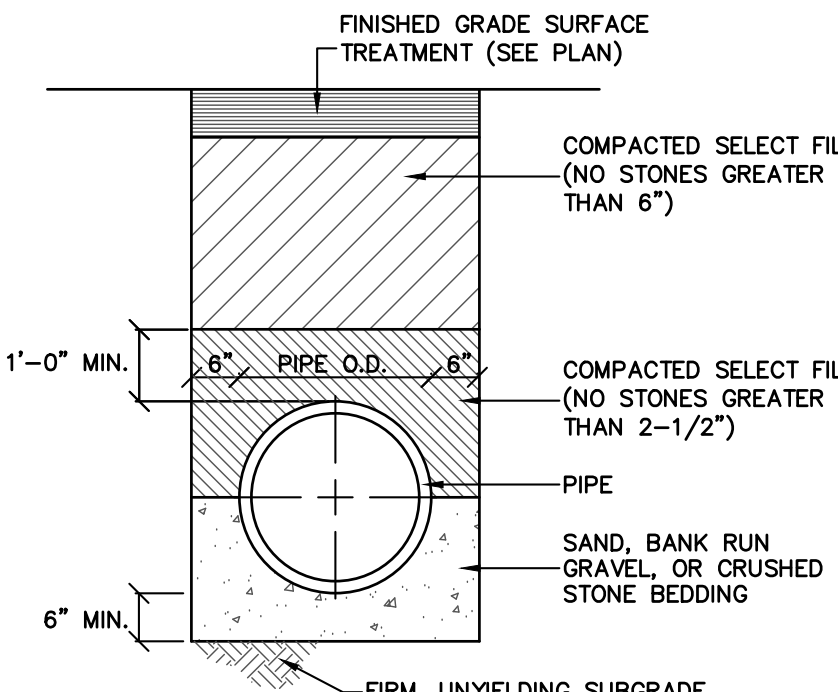


- CONCRETE SIDEWALK NOTES**
1. FULL DEPTH TRANSVERSE CONSTRUCTION JOINTS SHALL BE PLACED EVERY 18-20 FEET.
  2. CONCRETE SURFACE SHALL BE SCORED AND TOOLED EVERY 5 FEET.
  3. ALL EDGES SHALL BE FINISHED WITH AN EDGING TOOL WITH A RADIUS OF 1/4 INCH.
  4. A 3/4 INCH BITUMINOUS JOINT FILLER SHALL BE PLACED AT ALL JOINTS BETWEEN SIDEWALK, CURB, PAVEMENT, BUILDING, ETC.
  5. THE CONCRETE SHALL BE FINISHED TO PRODUCE A SMOOTH FINISH AND THEN LIGHTLY BROOMED TO A UNIFORM TEXTURE.
  6. A CLEAR MEMBRANE CURING COMPOUND SHALL BE USED UPON COMPLETION OF FINISHING.
  7. ALL SIDEWALKS SHALL ADHERE TO ADA GUIDELINES.

**CONCRETE SIDEWALK DETAIL**  
N.T.S.



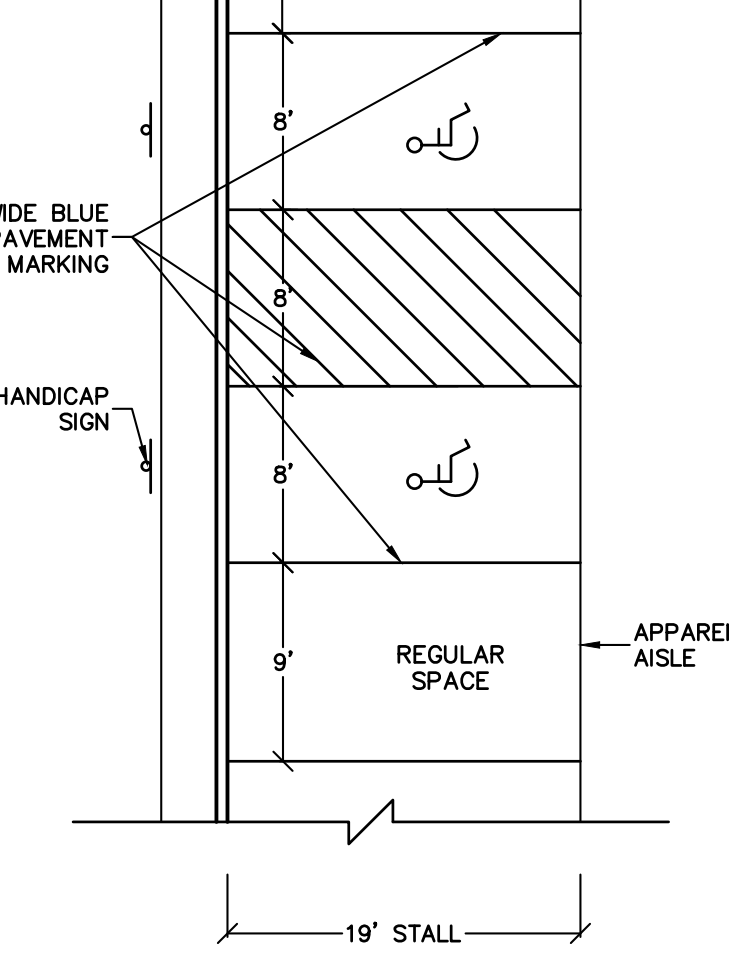
**CURB TERMINAL DETAIL**  
N.T.S.



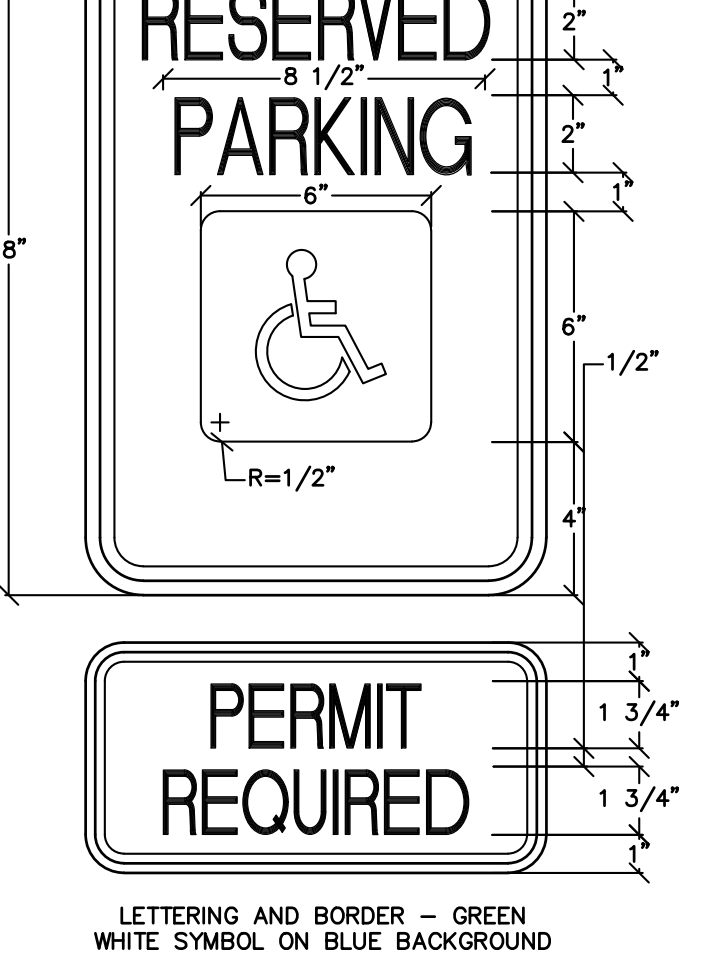
**STORM PIPE BEDDING DETAIL**  
N.T.S.



**HANDICAPPED PARKING SPACE DESIGN STANDARDS**  
N.T.S.



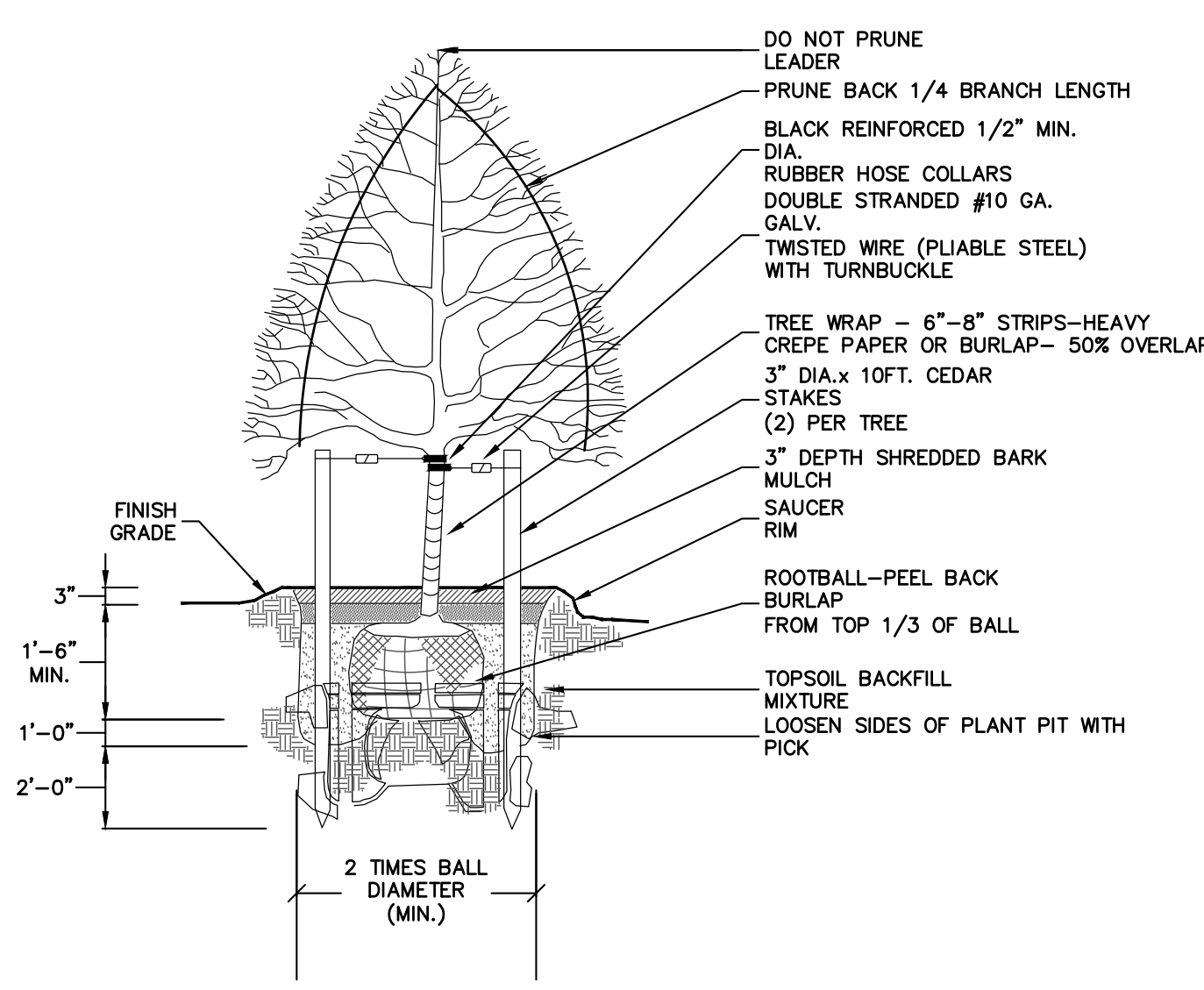
**SIGN FOR PARKING SPACE FOR THE HANDICAPPED**  
N.T.S.



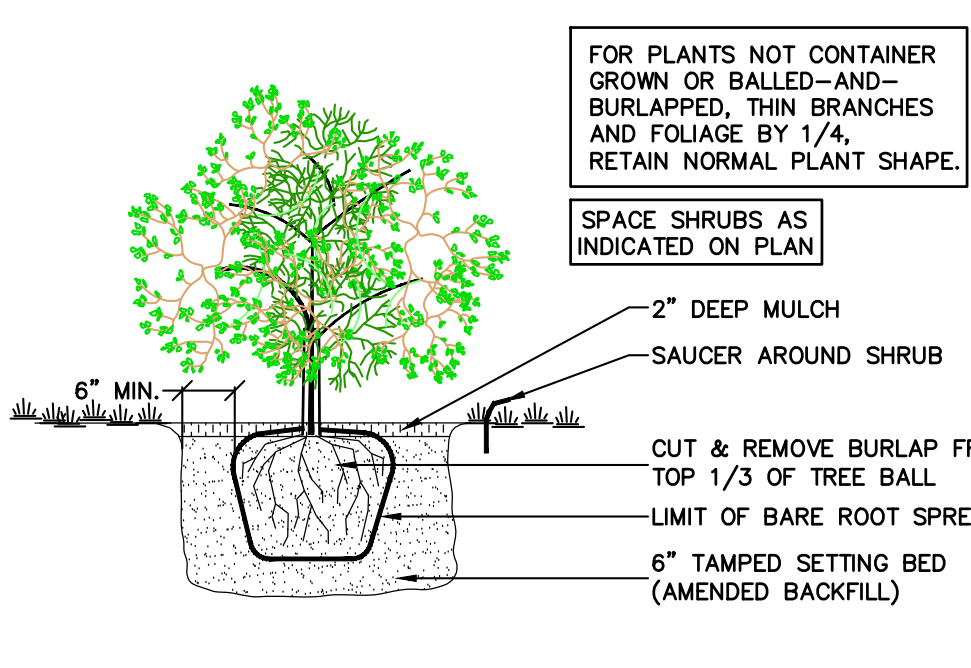
**PLANTING NOTES:**

1. MULCH ALL PLANT BEDS AND TREES WITH A 4\"/>
2. STAKE ALL TREES WITH 2 CEDAR STAKES, RUBBER HOSE AROUND TREE (6\"/>
3. PLANT PITS SHALL BE 12\"/>
4. GUARANTEE ALL PLANTS AND WORKMANSHIP FOR TWO PLANTING SEASONS.
5. ALL PLANTING SHALL BE PLACED UNDER DIRECTION OF AN APPROPRIATE LICENSED DESIGN PROFESSIONAL. NOTIFY 48 HOURS PRIOR TO PLANTING.
6. PROVIDE THE TOWN OF RAMAPO BUILDING INSPECTOR WITH A COPY OF THE STATE CERTIFICATE OF SOURCE FOR ALL PLANT MATERIAL.
7. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERY MEN'S STANDARDS.
8. PLACE 4\"/>
9. PLANT PITS SHALL BE 36\"/>
10. FERTILIZE AREAS BEFORE SEEDING OR SODDING WITH 15LBS. PER 1000 SQUARE FEET OF 10-20-10 FERTILIZER OR APPROVED EQUIVALENT. REPEAT AFTER 8 WEEKS.
11. MULCH ALL PLANTS AND PLANTED AREAS WITH A 4\"/>
12. FERTILIZE AREAS BEFORE SEEDING OR SODDING WITH 15 LBS. PER 1000 SQUARE FEET OF 10-20-10 FERTILIZER OR APPROVED EQUIVALENT. REPEAT AFTER 8 WEEKS. LAWN AREAS SHALL BE SEED AT 5 LBS. PER 1000 SF. WITH THE FOLLOWING SEED MIX: 40% JAMESSTOWN CHEMNIS FESCUE, 40% BARON KENTUCKY BLUEGRASS, AND 20% YORKTOWN PERENNIAL RYE OR APPROVED EQUIVALENT. MULCH NEWLY SEED LAWN AT 90 LBS. PER 1000 SQUARE FEET WITH HAY OR STRAW MULCH.
13. ALL EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4 FOOT HIGH SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK.
14. THE CONTRACTOR IS RESPONSIBLE TO PLANT THE TOTAL QUANTITIES OF ALL PLANTS SHOWN ON THE PLANTING PLAN. AVAILABLE FOR PLANTING SHALL HAVE PLANTING ADJUSTED ON SITE BY THE LANDSCAPE ARCHITECT. THE QUANTITIES OF PLANTS SHOWN ON THE PLANT LIST ARE NOT GUARANTEED. THE QUANTITIES OF PLANTS SHOWN GRAPHICALLY ON THE PLAN SHALL GOVERN.

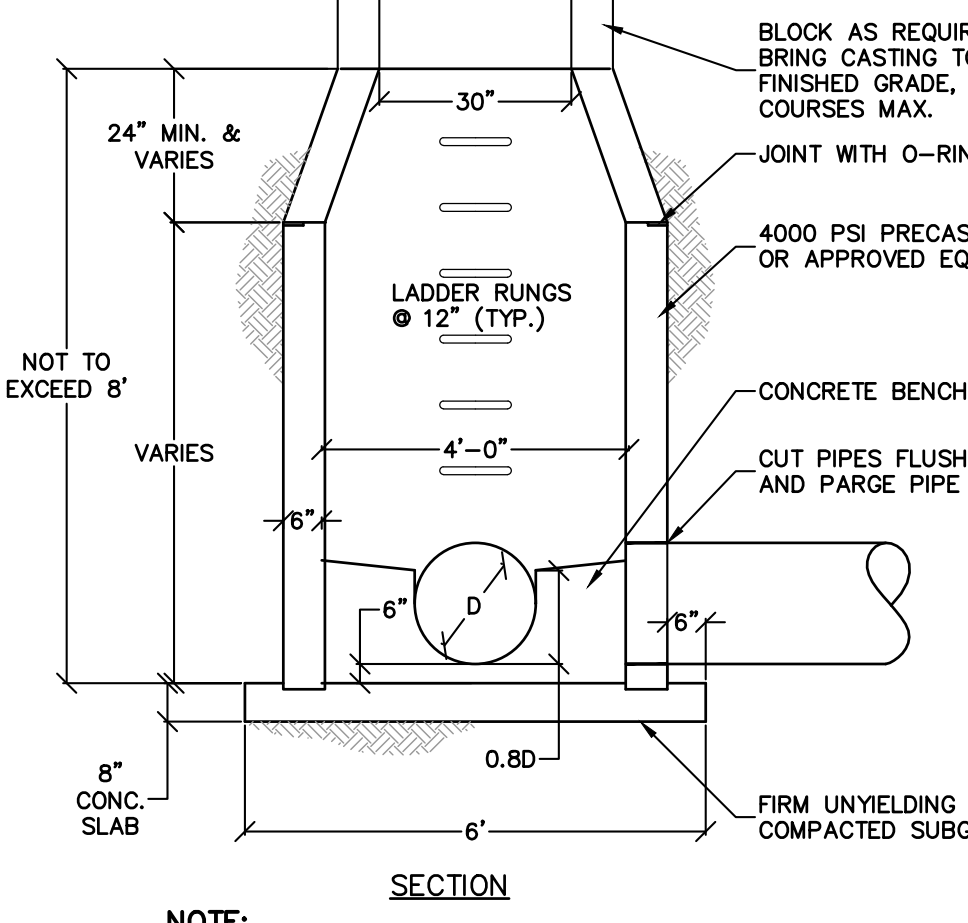
**DECIDUOUS TREE PLANTING**  
N.T.S.



**SHRUB PLANTING**  
N.T.S.

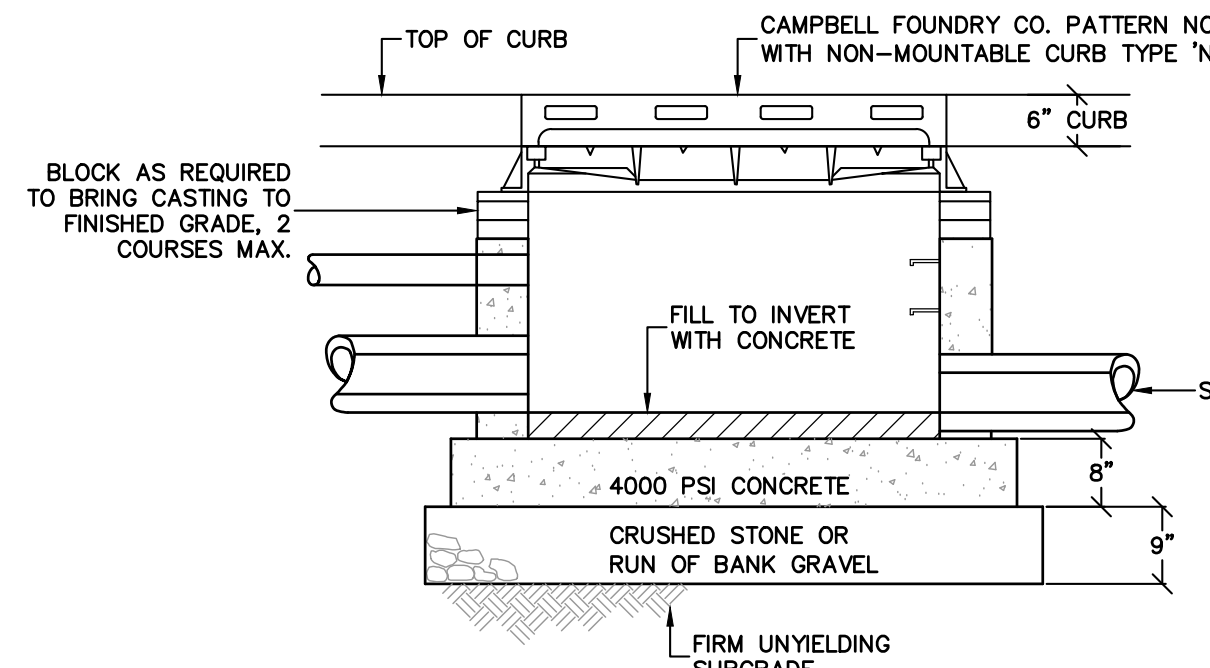


**STANDARD STORM MANHOLE DETAIL**  
N.T.S.



- NOTE:**
- MANHOLE REINFORCEMENT, CONCRETE AND FRAME AND CASTING MUST BE CERTIFIED FOR H20 LOADING

**CATCH BASIN DETAIL**  
N.T.S.

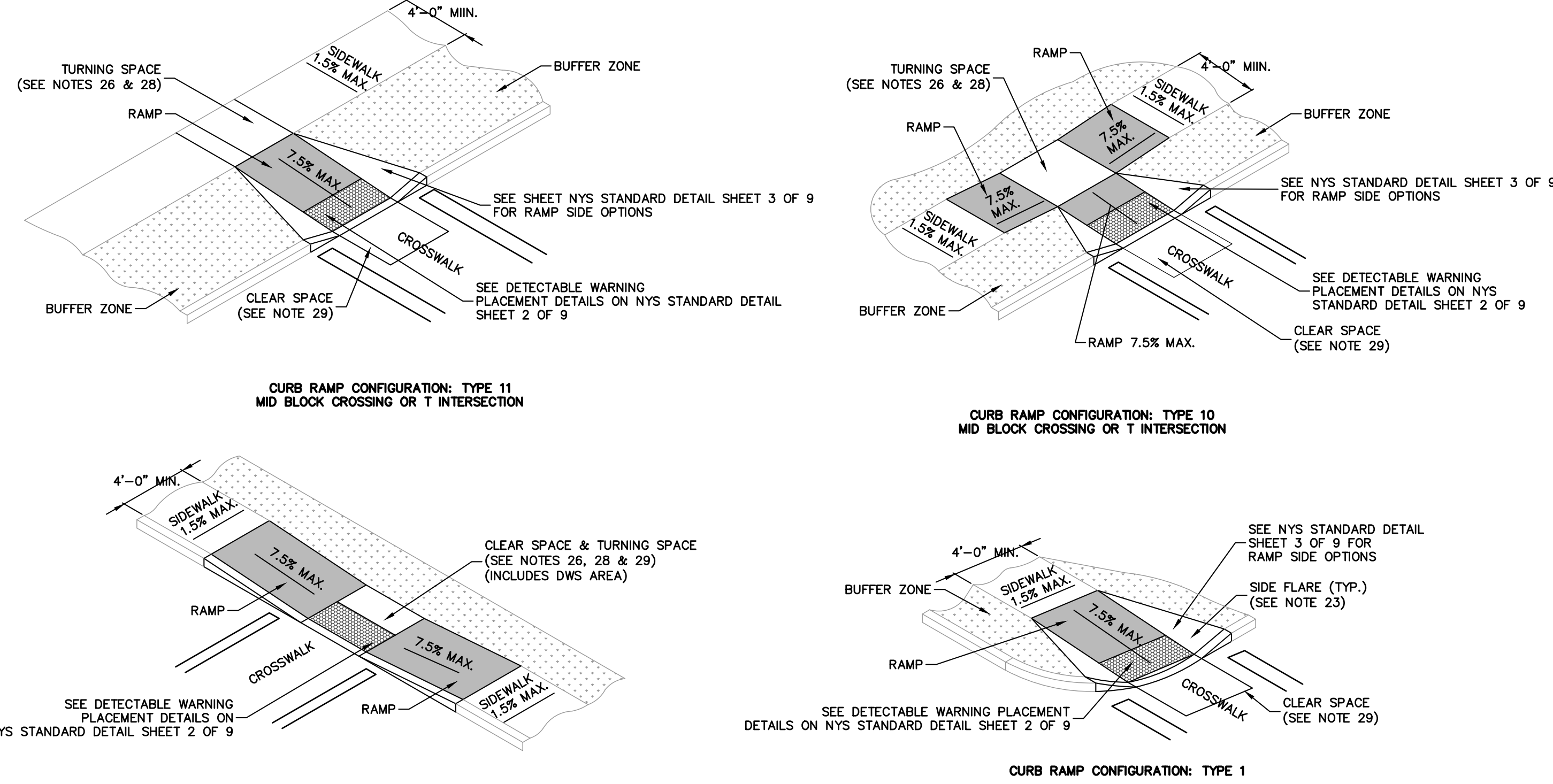


- NOTE:**
- MINIMUM STRENGTH CONCRETE 4000 PSI WALL THICKNESS 6\"/>

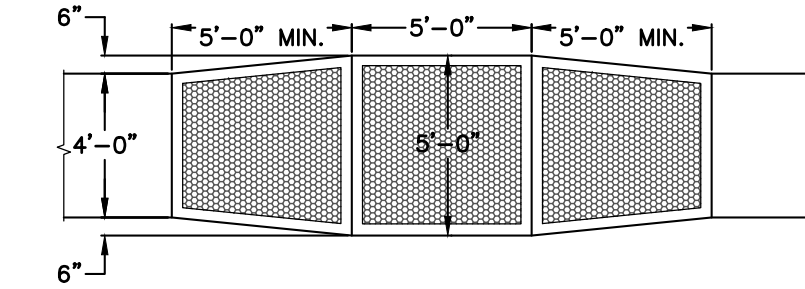
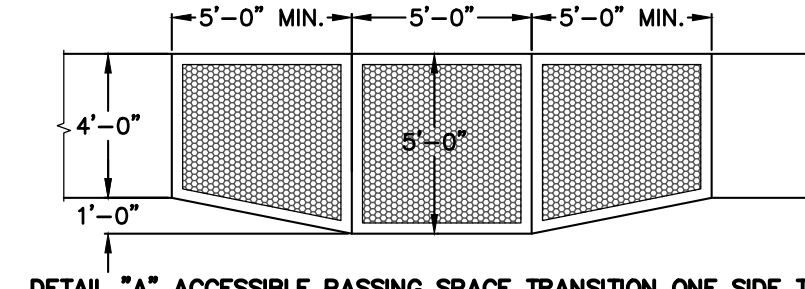
**GENERAL NOTES:**

1. THESE SHEETS ARE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA), AND THE REQUIREMENTS OF THE 2011 PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT OF WAY (PROWAG).
2. DIMENSIONS SHOWN IN THE DETAILS AS MINIMUMS AND MAXIMUMS ARE THE LIMITS FOR DESIGN AND FIELD LAYOUT. FACILITIES SHALL NOT BE CONSTRUCTED WITH VALUES OUTSIDE THE LIMITS FOR WORK ACCEPTANCE. SEE TABLE "DESIGN ELEMENT TOLERANCES" ON THIS SHEET. FURTHER INFORMATION IS PROVIDED ON CRITICAL ELEMENTS FOR THE DESIGN, LAYOUT, AND ACCEPTANCE OF PEDESTRIAN FACILITIES AVAILABLE ON THE NYSDOT HIGHWAY DESIGN MANUAL CHAPTER 18 WEBSITE.
3. NOT ALL FACILITIES CAN BE CONSTRUCTED TO MEET THE DESIGN STANDARDS. FACILITIES THAT CANNOT BE CONSTRUCTED TO MEET THE DESIGN STANDARDS SHALL BE CONSTRUCTED TO MEET THE STANDARDS TO THE GREATEST EXTENT PRACTICABLE. NONSTANDARD FEATURES SHALL BE JUSTIFIED PER HIGHWAY DESIGN MANUAL CHAPTER 2, EXHIBIT 2 - 15A.
4. TO CHECK FIELD LAYOUT AND TO VERIFY WORK ACCEPTANCE, ALL SLOPES AND GRADES WILL BE MEASURED WITH A FOOT LONG DIGITAL LEVEL USING AT LEAST TWO READINGS. THE MINIMUM VERTICAL MEASUREMENTS WILL BE AVERAGE GRADE (RUNNING SLOPE) WILL BE MEASURED ALONG THE CENTERLINE AND OFFSET 12\"/>

**SIDEWALK AND CURB RAMP NOTES**  
N.T.S.



32. MOST DETECTABLE WARNING DEVICES REQUIRE A CONCRETE BORDER FOR PROPER INSTALLATION. IF REQUIRED, THE BORDER SHALL NOT EXCEED 2\"/>
33. THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUANTITY OF DOMES DEPICTED ON THE DETECTABLE WARNING UNIT IS FOR ILLUSTRATION ONLY. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE A MINIMUM IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUDING ANY FLARED SIDES. THE WIDTH OF THE DETECTABLE WARNING FIELD INCLUDES A CONCRETE BORDER, IF PROVIDED.
34. ON SLOPES OF 5% OR GREATER, THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE LOWER GRADE BREAK ON THE RAMP RUN WHERE DOMES ARE ARRANGED RADIALY THEY MAY DIFFER IN DOME DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON SHEET 3. ON SLOPES LESS THAN 5% DOME ORIENTATION IS LESS CRITICAL AND MAY DIFFER FROM PERPENDICULAR OR RADIAL ALIGNMENT TO THE GRADE BREAK.
35. THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT CURB, STREET OR HIGHWAY, OR PEDESTRIAN ACCESS ROUTE SURFACE EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.



DESIGN ELEMENT TOLERANCES		
ELEMENT	DESIGN AND FIELD LAYOUT LIMIT	LIMIT FOR WORK ACCEPTANCE
SIDEWALK CROSS SLOPE	1.5% MAX.	2.0% MAX.
SIDEWALK GRADE (RUNNING SLOPE)	4.5% MAX.	5.0% MAX.
CURB RAMP GRADE (RUNNING SLOPE)	7.5% MAX.	8.3% MAX.
BLENDED TRANSITION GRADE (RUNNING SLOPE)	4.5% MAX.	5.0% MAX.

ALL VALUES SHOWN REFER TO DESIGN AND FIELD LAYOUT LIMITS. FOR ADDITIONAL REQUIREMENTS AND TOLERANCES, SEE "CRITICAL ELEMENTS FOR THE DESIGN, LAYOUT, AND CONSTRUCTION OF PEDESTRIAN FACILITIES" AVAILABLE ON THE NYSDOT HIGHWAY DESIGN MANUAL CHAPTER 18 WEBSITE.

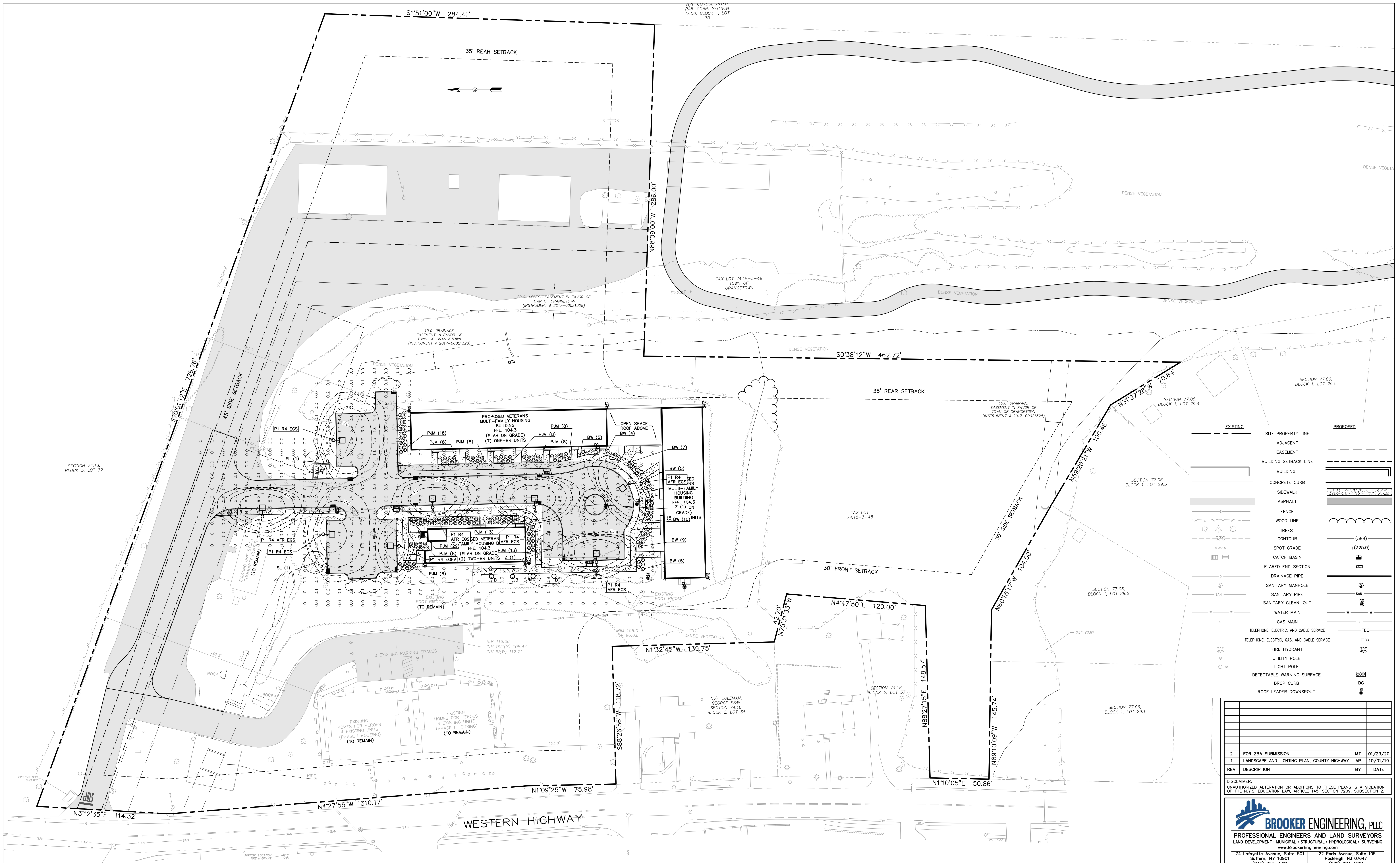
REV	DESCRIPTION	BY	DATE
2	FOR ZBA SUBMISSION	MT	01/23/20
1	LANDSCAPE AND LIGHTING PLAN, COUNTY HIGHWAY	AP	10/01/19

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PROJECT:  
**CAMP SHANKS -- RHFF PHASE II**  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK  
TITLE:  
**CONSTRUCTION DETAILS**

PROJECT NO: 18288  
SCALE: N.T.S.  
GRAPHIC SCALE:  
DATE: 06/26/2019  
DRAWING NO: 6



EXISTING	PROPOSED
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PROJECT: **CAMP SHANKS - RHFH PHASE II**  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

TITLE: **LANDSCAPE & LIGHTING PLAN**

	PROJECT NO:	DRAWN:	CHECKED:
	18288	AP	KD
SCALE:		1" = 30'	
GRAPHIC SCALE:			
DATE:	DRAWING NO:		
06/26/2019	7		

**LUMINAIRE SCHEDULE**

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	MODEL 1	VOLTS	QUANTITY	VOLTS	FIXTURE WATTS	FIXTURE TYPE	VOLTS
B	○	(1)	RADB LED P2 30K ASY DBLXD	ELECTRONIC	SURFACE	Lithonia Lighting, RADB LED P2 30K ASY DBLXD	Lithonia Lighting, RADB LED P2 30K ASY DBLXD	120V 1P 2W	4	120	64	LINEAR FLUORESCENT	120V 1P
P1 R4 AFR EGS	○□	(1)	RSX Area Fixture Size 1 P4 Lumen Package 3000K CCT Type AFR Distribution with EGS Shield	ELECTRONIC	POLE	Lithonia Lighting, RSX1 LED P4 30K AFR EGS	Lithonia Lighting, RSX1 LED P4 30K AFR EGS	120V 1P 2W	5	120	64	LINEAR FLUORESCENT	120V 1P
P1 R4 EGFV	○□	(1)	RSX Area Fixture Size 1 P4 Lumen Package 3000K CCT Type R4 Distribution with EGFV Shield	ELECTRONIC	POLE	Lithonia Lighting, RSX1 LED P4 30K R4 EGFV	Lithonia Lighting, RSX1 LED P4 30K R4 EGFV	120V 1P 2W	1	120	64	LINEAR FLUORESCENT	120V 1P
P1 R4 EGS	○□	(1)	RSX Area Fixture Size 1 P4 Lumen Package 3000K CCT Type R4 Distribution with EGS Shield	ELECTRONIC	POLE	Lithonia Lighting, RSX1 LED P4 30K R4 EGS	Lithonia Lighting, RSX1 LED P4 30K R4 EGS	120V 1P 2W	2	120	64	LINEAR FLUORESCENT	120V 1P

**PLANTING TABLE**

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY
SL	TILIA TOMENTOSA	SILVER LINDEN	2 1/2" CAL.	2
Z	ZELKOVA SERRATA	JAPANESE ZELKOVA	2 1/2" CAL.	2
PJM	RODODENDRON PJM	PJM RHODODENDRON	2.5 FEET HIGH	166
BW	BUXUS MICROPHYLLA JAPONICA	JAPANESE BOXWOOD	2.5 FEET HIGH	87