

**June 24, 2020 Board Items:**

**Continued from the June 1, 2020 Planning Board Meeting:**

**PB#20-20: SMK Greene Subdivision Plan**

Prepreliminary/Preliminary Subdivision Plan and SEQRA Review  
318 Western Highway, Tappan  
74.18/2/34, R-15 zoning district

**Continued from the January 29, 2020 Planning Board Meeting:**

**PB #20-10: Hyun Site Plan - Continued item**

Critical Environmental Area  
Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review  
161 Tweed Boulevard, Sparkill; 75.09/1/3; R-22 zoning district

**Continued from the January 15, 2020 Planning Board Meeting:**

**PB #20-04: Lander Minor Subdivision Plan - Continued item**

Prepreliminary/ Preliminary/ Final Subdivision Plan and SEQRA Review  
1 Duryea Place, Nanuet  
63.19/1/5; R-22 zoning district

**New Item:**

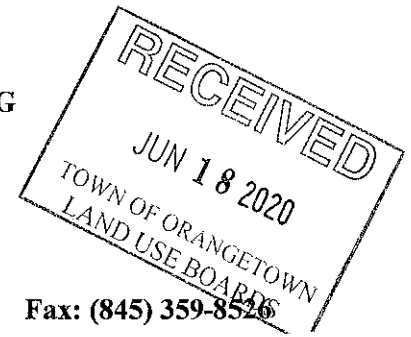
**PB#20-31: Henry Kaufmann Campgrounds Site Plan – 92Y and Camp 12 Trails**

Prepreliminary/ Preliminary Site Plan and SEQRA Review  
667 Blauvelt Road, Pearl River  
69.14/1/28 & 69.10/2/21; R-80 zoning district

Dated: June 12, 2020



OFFICE OF BUILDING, ZONING, PLANNING  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN  
20 GREENBUSH ROAD  
ORANGEBURG, N.Y. 10962



Jane Slavin, RA  
Director

(845) 359-8410

Fax: (845) 359-8526

Date: June 18, 2020

To: Cheryl Coopersmith, Chief Clerk  
Planning Board

From: Jane Slavin, RA,  
Director O.B.Z.P.A.E. 

Subject: **Hyun Site Plan** **PB #20-10**  
Critical Environmental Area  
Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review  
161 Tweed Boulevard, Sparkill  
75.09/1/3; R-22 zoning district

Submission Reviewed:

Site survey map as prepared by Jay A. Greenwell, PLS last revised 1/30/2020  
Slope category map as prepared by Jay A. Greenwell, PLS last dated 8/5/19, Addition  
and Alteration plans 1-4 as prepared by Michael Esmay, last revised 3/10/2020.

- 1) The variances requested are substantial; of most concern is the proposed 1.7' setback from the ROW. Applicant should consider alternate ways to achieve the desired additional space.
- 2) The following variances are required:
  - a) Front Yard required 40', existing 15.9', proposed 1.7'
  - b) Floor area ratio required .20, existing .52, proposed 1.19
  - c) Rear yard, 45' required, 0' existing, proposed 0' to new addition.
  - d) Height permitted 9"/1', existing 19.5"/1', proposed 208"/1'.
- 3) The proposed retaining walls range in height from 1 foot to 12 feet. Detailed information for the proposed retaining walls must be provided including structural details and elevations.
- 4) Per Chapter 2, section 2-4 (A) and 2-5B (4), ACABOR review and approval is required.



## Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangeburg New York 10962  
Tel: (845) 359-6502 • Fax: (845) 359-6951

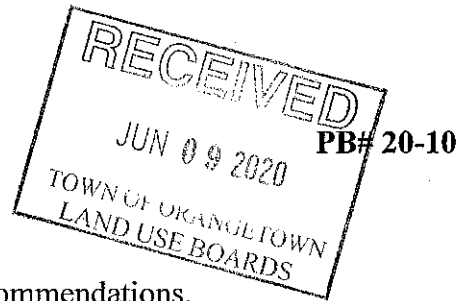
May 28, 2020

Planning Board  
Town of Orangetown  
1 Greenbush Road  
Orangeburg, New York 10962  
Attn: Cheryl Coppersmith, Chief Clerk

**Re: Hyun Site Plan**

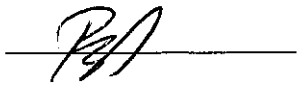
Gentlemen:

This Department has the following comments/ recommendations.  
(This letter supersedes our letter of 1/24/20)



1. The drainage calculations are under review. However, no actual stormwater mitigation practice has been designed yet. Also, the rainfall data used is out-of-date. For example, the 100 yr. storm rainfall intensity number is 9.07 inches. The calculations shall be revised using the current rainfall data and the calculations shall include the proposed stormwater practice.
2. A perc test, soil borings and determination of groundwater elevation shall be administered at the proposed drywell location. These tests shall be performed **PRIOR** to this proposal receiving **Final Approval** to ensure the adequacy of the proposed design. This information shall be added to the drainage calculations. The tests shall be performed in the spring when the ground water table is typically at its highest. The applicant's engineer shall provide a copy of the field perc test results to this Department and the Building Department for review and approval.
3. Soil erosion and sediment control details shall be added to the plans.
4. All proposed grading shall be shown on the plans.
5. Profiles and details for all proposed stormwater facilities shall be added to the plans
6. A post-construction stormwater maintenance plan shall be submitted for review and approval by this Department and the Town attorney's office. Once approved, the maintenance plan shall be made part of the site plan approval and attached as an amendment or schedule to the deed for the new lot.
6. Typical details shall be added to the drawings (pavement, curbing, etc.)

Very truly yours,



cc: Highway File  
Sewer File



# BROOKER ENGINEERING, PLLC

**NY OFFICE**  
74 Lafayette Avenue  
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Rockleigh, NJ 07647

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June 21, 2020

Town of Orangetown Planning Board  
20 Greenbush Road  
Orangeburg, New York 10962

Attn: Cheryl Coopersmith, Chief Clerk

Re: Hyun Site Plan, 161 Tweed Boulevard (tax lot 75.09-1-3)  
Planning Board Drainage Review (for June 23, 2020 Planning Board meeting)  
BBE #OTN0146



Dear Ms. Coopersmith:

As the drainage consultant for the Town of Orangetown Planning Board, we have prepared the following report in support of the Hyun Site Plan application to the Town of Orangetown Planning Board:

## Information Reviewed

1. "Slope Category Map Hyun", prepared by Jay A. Greenwell, PLS, LLC, last revised 8/26/2019, not signed and sealed.
2. "Addition and Alteration to the Hyun Residence", prepared by Michael Esmay/Architect, Drawings 1-4, last revised March 10, 2020
3. "Survey of Property for Hyun", prepared by Jay A. Greenwell, PLS, LLC, last revised 8/17/2019, signed and sealed by Jay A. Greenwell, PLS.
4. "Hydraulic Analysis and Stormwater Management Design for Hyun Site Plan", prepared by Dennis M. Letson PE & Associates, dated January 20, 2019, signed and sealed by Dennis M. Letson, PE
5. Project Application dated 12/09/2019

## Project Description

This is our second drainage review report for this application; our last review was dated January 29, 2020. The property is located at 161 Tweed Boulevard, which is on the east side of Tweed Boulevard. Stormwater runoff flows downhill to the east. There is an existing single family dwelling on the property in disrepair. The driveway slopes toward Tweed Boulevard and there is a bridge connecting the driveway to the home. There is a swale near the southern side of the property and a stormwater outfall from the Tweed Boulevard drainage system along the south side of the property.

There is a proposed building addition in the front of the house to replace the ramp and connect the existing house to the driveway. The driveway is being reconfigured and additional decks are proposed in the rear of the house and addition. Stormwater drywells are proposed along the south side of the house to provide stormwater runoff mitigation. The hydraulic analysis and stormwater management design provides the required volume of stormwater detention required for mitigation.

## Project Comments

1. As per our January 29, 2020 report, provide the basement floor elevations for the existing building and addition.
2. As per our January 29, 2020 report, show how the stormwater runoff from the new impervious areas will be intercepted and directed to the proposed stormwater management system.
3. As per our January 29, 2020 report, show positive drainage away from the south side of the house.

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### LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • WATER RESOURCES • LAND SURVEYING

Brian Brooker, P.E.      Eve Mancuso, P.E., C.M.E.      Ken DeGennaro, P.E., C.F.M.      Stuart Strow, P.E., C.F.M.  
Anthony Riggi, P.E.      Dennis Rocks, P.E., C.F.M.      John Bezuyen, P.L.S.  
Hillary Chadwick, P.E.      Vincent Kane, P.E.      Nestor Celiz, P.E.      Benjamin Levitz, P.E.

4. As per our January 29, 2020 report, show how the low point at the front door created by the new sidewalk leading to the door will be drained.
5. As per our January 29, 2020 report, show the foundation drain for the basement.
6. As per our January 29, 2020 report, show the overflow from the stormwater management system and how this point source will impact the existing swale on the property.
7. As per our January 29, 2020 report, provide construction details of the stormwater management system.
8. As per our January 29, 2020 report, provide a factor of safety in the final design of the stormwater management system.
9. The drainage calculations should include the decks as impervious area.
10. Show the door on the south side of the building. Show proposed grading that might be required to match the grade outside the building with the door elevation.

#### **Drainage Review Recommendation**

The proposed action has provided drainage information that demonstrates that potential significant adverse impacts with respect to drainage can be mitigated. We therefore recommend that the Hyun Site Plan be approved for drainage subject to the above project comments.

Very truly yours,



**BROOKER ENGINEERING, P.L.L.C.**  
Kenneth DeGennaro, P.E.





## Planning Board Review Summary

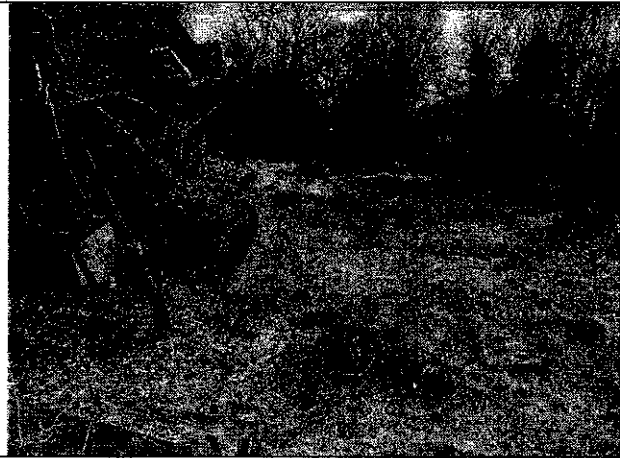
Project Data			
Job Name Hyun Site Plan	Owner Mikyong & Chul Hyun	Address 161 Tweed Boulevard	Tax Lot Number 75.09-1-3
Job Description: Addition and alteration to an existing single family residence.		Planning Board No. N/A	BBE Number OTN0146

Planning Board Data						
Date of:				Drainage:		
PB meeting	Site Plans	Drainage Calcs.	BBE Review Letter	Approved	Not Approved	Approved w/ Conditions
01/29/2020	12/02/2019	01/20/2020	01/29/2020			X
06/23/2010	03/10/2020	01/20/2020	06/21/2020			X

Construction Data	
Area of Disturbance:	Not provided
Erosion Control Plan Required:	Yes
SWPPP Required:	No
Post Construction Stormwater Quantity Required:	Yes
Post Construction Stormwater Quality Required:	No
Description of Required Stormwater Management:	Drywells

### Photographs

	
Description: Standing at southwest corner of the lot, looking northeast. Date: 02/12/2020	Description: Standing at southwest corner of the lot, looking north. Date: 02/12/2020
	
Description: Standing at the west side of the lot. View to the stream running through the adjacent on the south lot 75.37-1-5. Date: 02/12/2020	Description: Standing at the northwest corner of the property looking southeast. Date: 02/12/2020



Description: Standing at west borderline of the lot, looking east.

Description: South part of the lot, looking east. Existing swale.

Date: 02/12/2020

Date: 02/12/2020



**ADDITION AND ALTERATION TO THE HYUN RESIDENCE  
161 TWEED BOULEVARD, UPPER GRANDVIEW, NY**

The Site is located in Upper Grandview on the East side of Tweed Boulevard approximately 2800 ft. North of the intersection of Tweed and Route 9W. Tweed Boulevard is Rockland County Highway No.5 and has a right of way width of 80 ft. at this location.

The Site consists of two Tax Lots one located in the Town of Orangetown and the other in the Village of Piermont. The Orangetown Tax Lot is located in a R22 Zone. The total area of the lot is 22,501 square feet but by applying the slope requirements of Orangetown and Piermont the effective area of the Site is 13,637 square feet for Zoning purposes - 3,175 square feet in Orangetown and 10,462 square feet in Piermont.

On the Site there is an existing 2 ½ story residence that was constructed in 1972. The residence sits mostly on the Orangetown and is accessed by a bridge that is approximately at the level of the adjacent roadway. The residence is served by public water piped from Route 9W, natural gas located in Tweed Boulevard, underground electrical service from Tweed Boulevard and an in ground sewage disposal system installed in 1972 which was designed for a two bed room residence. The residence is in poor condition having been poorly maintained as well as having been struck by a tree causing much damage.

The property was recently acquired by Mikyong and Chul Hyun who live in Palisades, NY. The Hyuns are proposing a 2 story Addition and Alteration that will double the size of the residence. The Addition will include a new Entry, two car Garage and Master Bedroom Suite. The number of Bedrooms will remain at two. All existing Decks will be removed and replaced. The new Decks will, for the most part, be located in Piermont.

The proposed Addition excluding decks will be located in Orangetown and fill the space between the existing structure and the West property line. This will require the obtaining of variances from the Orangetown Zoning Board of Appeals for existing and new non-conforming bulk requirements of the Orangetown Zoning Ordinance. The Hyuns are seeking a Preliminary Site Plan approval from the Planning Board subject to the obtaining of variances from the Zoning Board.

Drainage requirements of the Town of Orangetown Critical Environmental Area and the Rockland County and Orangetown Highway Departments for an increase in impervious surface can be mitigated.

Dennis Letson PE has analyzed the effect of increased impervious surface at this Site based on the proposed addition and concluded that the total run off is minor and can be mitigated by several different methods including dry wells or shallow chamber systems. His conclusion from a report on this property is *the increase in run off from impervious surface can be adequately mitigated. Final design of the drainage system would be performed once necessary variances are secured from the Zoning Board of Appeals.* (see attached report)

## **COMMENTS REGARDING COMMENTS FROM CONCERNED AGENCIES**

### **Jane Slavin, Director of Orangetown Building Zoning and Planning**

Reference has been made to the extent of variances required for this proposal. Because of the uniqueness of many of the properties located along Tweed Boulevard there have been many variances granted to those properties over the years. (see attached information regarding existing residences located on Tweed Boulevard that have been granted variances from the Zoning Board of Appeals). As a consequence of this what has been proposed will not set an undesirable land use precedent and the proposed project will not result in an over utilization of the Site. Some conditions that affect the need for variance include size of tax lot (3,175 square feet), steepness of the Site, cost and viability of possible alternate approaches, increase of impervious surfaces, construction of and configuration of the existing dwelling that have an important impact on the Critical Environmental Area. It is also important to note that the width of the Tweed Boulevard right of way at this location is 80 feet whereas over 99% of the length of Tweed has a 60 foot right of way or in some cases less.

The application complies with the requirements of Chapter 43 Section 10.223(g) items [1] and [2] including that prior to construction a soil and erosion control plan will be developed and in place that meets the latest edition of the New York State Standards for Erosion and Sediment Control including a construction narrative and specific details. Note that all trees, type and size, have been located on the Site Plan and that only one tree a 9" caliper magnolia will be removed in connection with this proposal.

Detailed information will be provided for the proposed retaining walls including structural details and elevations. The walls will be designed by a structural engineer licensed in the State of New York.

## **Department of Environmental Management and Engineering**

The Site Plan conforms with the requirements of Section 21 of the Town of Orangetown Code.

Preliminary drainage calculations prepared by Dennis Letson, PE have been submitted and responded to by Kenneth DeGennaro, PE of Brooker Engineering. Both engineers have concluded that this information demonstrates that impacts with the respect to drainage can be mitigated.

A percolation test, in conformance with the requirements of the NYS DEC Storm Water Design Manual, Appendix D, will be performed in the Spring in connection with the proposed drainage system. The results of the test will be used to complete the design of the drainage system and be incorporated on the drawings for Planning Board and Building Department review and approval.

Soil erosion and sediment control plan and details will be incorporated on the drawings for Building Department review and approval.

A post construction storm water maintenance plan will be submitted to the Building Department for review and approval.

Jay Greenwell,pls has shown the datum for contours on the drawings as NAVD '88' and a bench mark is shown on the Site Plan.

### **Brooker Engineering**

Project Comments regarding existing and new elevations, run off and slopes to a proposed drainage system and the request for construction details will be dealt with and included on the final Site Plan subject to the results of the application to the Zoning Board and approval of Brooker Engineering.

Based on the drainage report submitted by Dennis Letson, PE Kenneth DeGennaro of Brooker Engineering made the following drainage recommendation: *The proposed action has provided drainage information that demonstrates that potential significant adverse impacts with respect to drainage can be mitigated. We therefore recommend that the Hyun Site Plan be approved for drainage subject to the Project Comments.*

## **Project Comments:**

1. Referenced finished Floor elevations will be provided in Final Site Plan.
2. Site Plan has been revised to show clearly that the proposed driveway is pitched away from the house towards Tweed Boulevard where storm water is directed into a swale to drain to an existing water course.
3. Details of retaining walls including top and bottom elevations will be shown on the Final Site Plan.
4. The storm water from increased impervious surfaces will be carried by pipe leaders from the new roofs to the proposed dry wells.
5. There exists and will be positive drainage away from the South side of the house.
6. The low point at the new front door is a covered deck open to the North therefore storm water from the proposed walk way will flow off the deck to the North.
7. The new footing drain will be shown on the Construction Drawings and Final Site Plan.
8. Overflow from the Storm Water management system will be directed to an existing swale located on the South side of the property.
9. Construction details of the Storm Water management system and factor of safety in the final design will be provided on the Final Site Plan for approval by the Planning Board and Building Department.

## **Rockland County Highway Department**

Details of retaining walls located in the Tweed Boulevard right of way will be provided and shown on the Final Site Plan for the proposed addition after the Hyuns have applied to the Zoning Board of Appeals for variances. The walls will be designed by a professional engineer licensed in the State of New York. The Hyuns understand that the County of Rockland will not be responsible for the maintenance of these structures in the right of way and will, if required, enter into an agreement or License with the County to construct and maintain the walls and paving. It is important to note that there exists many similar structures along Tweed Boulevard located in the Tweed Boulevard right of way.

To satisfy the Highway Department requirements the Site drainage system will be designed so that there will not be a net increase in the peak rate of discharge from the Site at all design points.

The Hyuns will apply for a road work permit from the Highway Department prior to starting construction.

## **Rockland County Planning Board**

Reference to variances required see response to Jane Slavin.

The Hyuns will comply with the requirements of the Rockland County Highway Department.

A building permit will be obtained construction located in the Village of Piermont. In connection the proposed addition. The Village's concerns will be addressed.

This proposal will not change the community character and not result in an increase of traffic on Tweed Boulevard.

There will be no net increase in the peak rate of discharge from the Site at all design points.

Retaining walls over 4' in height will be designed by a licensed New York State Professional Engineer.

## **Rockland County Center for Environmental Health**

The proposal does not increase the number of bed rooms (2) for which the existing sewage disposal was designed and approved therefore no modification of the existing system will be necessary.

If required a mosquito breeding suppression plan will be submitted for approval 30 days prior to the construction of the storm water facilities.

## **Village of Piermont**

Part of the existing house is located in the Village of Piermont. The proposed addition not including decks will be located in Orangetown not Piermont. Existing decks located in the Village of Piermont will be removed and replaced with new decks. The Hyuns will obtain a building permit from Piermont for the construction of the new decks. Piermont has great concern about flooding that could be caused by construction West of Route 9W in the Village and Orangetown. The proposed decks will result in minimal disturbance to the grade in the Village and the increased runoff caused by the additional impervious surface of the proposed addition in Orangetown are minor and will be mitigated.

## **New York – New Jersey Trail Conference**

The Long Path is located on the ridge West of the Site across Tweed Boulevard. The proposed addition will not have any impact on the path.

**Examples of some properties located along Tweed Boulevard that have received significant Front Yard Setback Variances from the Zoning Board of Appeals. Front Yard Set Back requirement in R22 District is 40'**

<b>Property Number</b>	<b>Variance Granted</b>	<b>Existing ROW</b>	<b>Distance from Centerline of ROW to Structure</b>
<b>21/23</b>	<b>0' setback</b>	<b>60'</b>	<b>30'</b>
<b>25</b>	<b>2' setback</b>	<b>60'</b>	<b>32'</b>
<b>27</b>	<b>2' setback</b>	<b>60'</b>	<b>32'</b>
<b>31</b>	<b>15.4' setback</b>	<b>60'</b>	<b>45.4'</b>
<b>49</b>	<b>5.1' setback</b>	<b>50'</b>	<b>30.1'</b>
<b>65</b>	<b>13.8' setback</b>	<b>60'</b>	<b>43.8'</b>
<b>119</b>	<b>2.2' setback</b>	<b>60'</b>	<b>32.2'</b>
<b>123</b>	<b>10' setback</b>	<b>60'</b>	<b>40'</b>
<b>161 Hyun</b>	<b>1.7' setback requested</b>	<b>80'</b>	<b>41.7'</b>

TO: Town of Orangetown Planning Board  
RE: Planning Board Meeting of January 29, 2020

**PB #20-06: St. Thomas Aquinas College Site Plan**

Recommendation to the Town Board to Establish the Term and Value of the Performance Bond; 125 Route 340, Sparkill; 74.16/1/1 & 74.12/1/29; R-40 zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**PB #20-07: Maloney Subdivision Plan**

Request for two 90 day Extensions to file the Subdivision Plat at the Rockland County Clerk's Office; 60 Fischer Avenue, Pearl River; 68.11/2/70; R-15 zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**PB #20-08: Maloney Subdivision Plan**

Recommendation to the Town Board to Establish the Term and Value of the Performance Bond; 60 Fischer Avenue, Pearl River; 68.11/2/70; R-15 zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**Continued item from the November 13, 2019 Meeting:**

**PB #19-20: 1050 Route 9W Site Plan - Critical Environmental Area**

Prepreliminary/Preliminary/ Final Site Plan and SEQRA Review; 1050 Route 9W, Upper Grandview; 71.09/1/28; R-22 zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**Continued item from the December 11, 2019 Meeting:**

**PB #19-78: Chizinski Subdivision Plan**

Prepreliminary/ Preliminary/ Final Subdivision Plan and SEQRA Review; 317 Orangeburg Road, Pearl River; 69.17/2/42; R-15 zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**New Items:**

**PB #20-09: 89 Western Highway Playground Site Plan**

Noble 9<sup>th</sup> German Masonic Park; Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review 89 Western Highway, Tappan; 77.06/3/13; R-15 zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**PB #20-10: Hyun Site Plan- Critical Environmental Area**

Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review; 161 Tweed Boulevard, Sparkill; 75.09/1/3; R-22 zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

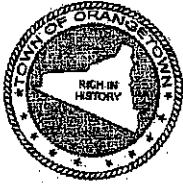
**PB #20-11: Linen Choice Site Plan Amendment**

Prepreliminary/ Preliminary/ Final Site Plan; Site Plan Amendment to PB#18-10 and SEQRA Review; 57 Troop Road, Blauvelt; 70.18/2/17; LI zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

Attendees: B. Peters, J. Dean, M. Bettmann, R. Pakola;

Non-Member: M. Mandel



OFFICE OF BUILDING, ZONING, PLANNING  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN  
20 GREENBUSH ROAD  
ORANGETOWN, N.Y. 10962

Jane Slavin, RA  
Director

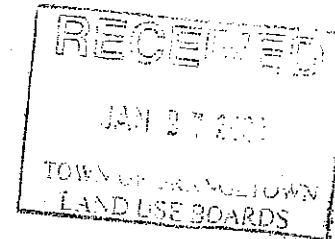
(845) 359-8410

Fax: (845) 359-8526

Date: January 24, 2020

To: Cheryl Coopersmith, Chief Clerk  
Planning Board

From: Jane Slavin, RA.,  
Director O.B.Z.P.A.E.



Subject: **Hyun Site Plan** PB #20-10  
Critical Environmental Area  
Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review  
161 Tweed Boulevard, Sparkill  
75.09/1/3; R-22 zoning district

Submission Reviewed:

Slope category map as prepared by Jay A. Greenwell, PLS dated 8-26-19, Addition and Alteration plans 1-4 as prepared by Michael Esmay, last revised 12-2-19.

- 1) The variances requested are substantial; of most concern is the proposed 1.7' setback from the ROW. Applicant should consider alternate ways to achieve the desired additional space.
- 2) The following variances are required:
  - a) Front Yard required 40', existing 15.9', proposed 1.7'
  - b) Floor area ratio required .20, existing .52, proposed 1.19
  - c) Height permitted 9"/1', existing 19.5"/1', proposed 208"/1'.
- 3) Applicant must comply with all provisions of Chapter 43, section 10.223(g) applications for permit within designated critical environmental area, specifically items [1] and [2].
- 4) Detailed information for the proposed retaining walls shall be provided including top/bottom of wall and structural details and elevations.



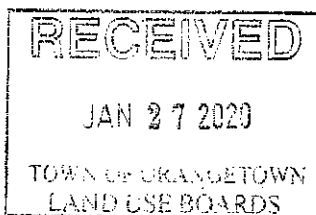


## Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangeburg New York 10962  
Tel: (845) 359-6502 • Fax: (845) 359-6951

January 24, 2020

Planning Board  
Town of Orangetown  
1 Greenbush Road  
Orangeburg, New York 10962  
Attn: Cheryl Coppersmith, Chief Clerk



PB# 20-10

Re: **Hyun Site Plan**

Gentlemen:

This Department has the following comments/ recommendations.

1. A proper site plan (that conforms to Section 21 of the Town of Orangetown Code Book – Land Development regulations) shall be provided for review.
2. Drainage calculations, prepared and sealed by a New York State Licensed Professional Engineer, shall be submitted to this Department for review and approval. The applicant's engineer shall design onsite storage to achieve a zero increase in runoff from the proposed site.
3. A perc test, soil borings and determination of groundwater elevation shall be administered at the proposed drywell location. These tests shall be performed **PRIOR** to this proposal receiving **Final Approval** to ensure the adequacy of the proposed design. This information shall be added to the drainage calculations. The tests shall be performed in the spring when the ground water table is typically at its highest. The applicant's engineer shall provide a copy of the field perc test results to this Department and the Building Department for review and approval.
4. Soil erosion and sediment control plans and details shall be submitted to this Department for review and approval.
5. All proposed grading shall be shown on the plans.
6. Profiles and details for all proposed stormwater facilities shall be added to the plans
7. The applicant's architect/ engineer shall identify what the line labeled as "S", on the south side of the existing/ proposed house that just dead ends and leading to the existing septic system, is.
8. A post-construction stormwater maintenance plan shall be submitted for review and approval by this Department and the Town attorney's office. Once approved, the maintenance plan shall be made part of the site plan approval and attached as an amendment or schedule to the deed for the new lot.

9. Typical details shall be added to the drawings (pavement, curbing, etc.)

10. The datum for the contours shall be given. Also, a note shall be added to the Site Plan indicating the source benchmark for the referenced datum (including the BM elevation.)

Very truly yours,



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cc: Highway File  
Sewer File



# BROOKER ENGINEERING, PLLC

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NJ OFFICE  
22 Paris Avenue  
Suite 105  
Rockleigh, NJ 07647

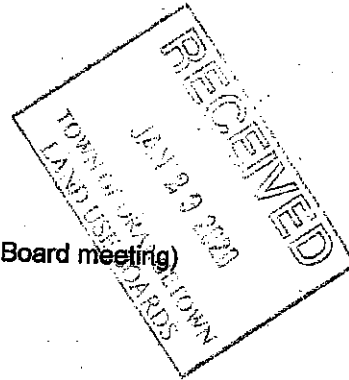
201.750.3527 Tel.

January 29, 2020

Town of Orangetown Planning Board  
20 Greenbush Road  
Orangeburg, New York 10962

Attn: Cheryl Coopersmith, Chief Clerk

Re: Hyun Site Plan, 161 Tweed Boulevard (tax lot 75.09-1-3)  
Planning Board Drainage Review (for January 29, 2020 Planning Board meeting)  
BBE #OTN0146



Dear Ms. Coopersmith:

As the drainage consultant for the Town of Orangetown Planning Board, we have prepared the following report in support of the Hyun Site Plan application to the Town of Orangetown Planning Board:

### Information Reviewed

1. "Slope Category Map Hyun", prepared by Jay A. Greenwell, PLS, LLC, last revised 8/26/2019, not signed and sealed.
2. "Addition and Alteration to the Hyun Residence", prepared by Michael Esmay/Architect, Drawings 1-4, last revised December 2, 2019
3. "Survey of Property for Hyun", prepared by Jay A. Greenwell, PLS, LLC, last revised 8/17/2019, signed and sealed by Jay A. Greenwell, PLS.
4. "Hydraulic Analysis and Stormwater Management Design for Hyun Site Plan", prepared by Dennis M. Letson PE & Associates, dated January 20, 2019, signed and sealed by Dennis M. Letson, PE
5. Project Application dated 12/09/2019

### Project Description

This is our first drainage review report for this application. The property is located at 161 Tweed Boulevard, which is on the east side of Tweed Boulevard. Stormwater runoff flows downhill to the east. There is an existing single family dwelling on the property in disrepair. The driveway slopes toward Tweed Boulevard and there is a bridge connecting the driveway to the home. There is a swale near the southern side of the property and a stormwater outfall from the Tweed Boulevard drainage system along the south side of the property.

There is a proposed building addition in the front of the house to replace the ramp and connect the existing house to the driveway. The driveway is being reconfigured and additional decks are proposed in the rear of the house and addition. Stormwater drywells are proposed along the south side of the house to provide stormwater runoff mitigation. The hydraulic analysis and stormwater management design provides the required volume of stormwater detention required for mitigation.

### Project Comments

1. Provide the finished first floor and basement floor elevations for the existing building, addition, and garage.
2. Revise the grading in the driveway to show positive drainage away from the garage.
3. Show top and bottom of retaining wall elevations.
4. Show how the stormwater runoff from the new impervious areas will be intercepted and directed to the proposed stormwater management system.
5. Show positive drainage away from the south side of the house.
6. Show how the low point at the front door created by the new sidewalk leading to the door will be drained.

### LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • WATER RESOURCES • LAND SURVEYING

Brian Brocker, P.E.	Eve Mancuso, P.E., C.M.E.	Ken DeGennaro, P.E., C.F.M.	Stuart Strow, P.E., C.F.M.
Anthony Riggi, P.E.	Dennis Rocks, P.E., C.F.M.	John Bezuyen, P.L.S.	
Hillary Chadwick, P.E.	Vincent Kane, P.E.	Nestor Cellz, P.E.	Benjamin Levitz, P.E.

7. Show the foundation drain for the basement.
8. Show the overflow from the stormwater management system and how this point source will impact the existing swale on the property.
9. Provide construction details of the stormwater management system.
10. Provide a factor of safety in the final design of the stormwater management system.

**Drainage Review Recommendation**

The proposed action has provided drainage information that demonstrates that potential significant adverse impacts with respect to drainage can be mitigated. We therefore recommend that the Hyun Site Plan be approved for drainage subject to the above project comments.

Very truly yours,



**BROOKER ENGINEERING, P.L.L.C.**  
Kenneth DeGennaro, P.E.

 **Rockland County**  
Ed Day, Rockland County Executive

**DEPARTMENT OF PLANNING**

Dr. Robert L. Yeager Health Center  
50 Sanatorium Road, Building T  
Pomona, New York 10970

Phone: (845) 364-3434 Fax: (845) 364-3435

**Douglas J. Schuetz**  
*Acting Commissioner*

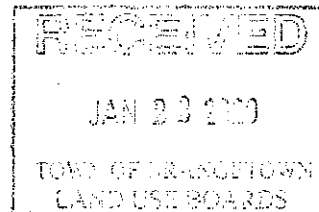
**Arlene R. Miller**  
*Deputy Commissioner*

January 13, 2020

Orangetown Planning Board  
21 Greenbush Road  
Orangeburg, NY 10962

**Tax Data:** 75.09-1-3

75.37-1-4



**Re: GENERAL MUNICIPAL LAW REVIEW:** Section 239 L and M  
**Map Date:** 12/2/2019

**Date Review Received:** 12/16/2019

**Item:** *HYUN SITE PLAN (O-2396)*

Site plan for a 1,800 SF addition to an existing 1,970 SF single family dwelling located on 0.5156 acres (gross) in the R-22 zoning district in the Town of Orangetown, R-20 zoning district in the Village of Piermont, and critical environmental area in each municipality. The net lot area after adjustment for steep slopes is 0.3140 acres. Variances for front yard, floor area ratio, and height will be required. East side of Tweed Boulevard, approximately 2,442 feet south of Nike Lane

**Reason for Referral:**

Tweed Boulevard (CR 5), US Route 9W, Village of Piermont, Long Path Hiking Trail

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

***\*Recommend the following modifications***

1 Permitting development that does not comply with the applicable bulk standards can set an undesirable land use precedent and result in the overutilization of individual sites. The front yard is 96% deficient in meeting the bulk requirement. The building height is 2,311% greater than what is permitted per foot from the lot line. The floor area ratio exceeds the permitted standard by 495%. The ability of the existing infrastructure to accommodate increased residential density on undersized parcels is a countywide concern and must be evaluated. This evaluation must consider whether local roads will become more congested and the sewer system, stormwater management systems and the public water supply will be overburdened. The Town must consider the cumulative and regional impacts of permitting such development.

2 The applicant must comply with the comments made by the Rockland County Highway Department in their letter of December 30, 2019.

3 A review must be done by the Rockland County Department of Health to ensure compliance with the Rockland County Sanitary Code, Article XIX, Mosquito Control.

**HYUN SITE PLAN (O-2396)**

4 The Village of Piermont is one of the reasons this proposal was referred to this department for review. The municipal boundary bisects the site. New York State General Municipal Law states that the purposes of Sections 239-l, 239-m and 239-n shall be to bring pertinent inter-community and county-wide planning, zoning, site plan and subdivision considerations to the attention of neighboring municipalities and agencies having jurisdiction. Such review may include inter-community and county-wide considerations in respect to the compatibility of various land uses with one another; traffic generating characteristics of various land uses in relation to the effect of such traffic on other land uses and to the adequacy of existing and proposed thoroughfare facilities; and the protection of community character as regards predominant land uses, population density, and the relation between residential and nonresidential areas. In addition, Section 239-nn was enacted to encourage the coordination of land use development and regulation among adjacent municipalities, and as a result development occurs in a manner which is supportive of the goals and objectives of the general area.

The Village of Piermont must be given the opportunity to review the proposal and its impact on community character, traffic, water quantity and quality, drainage, stormwater runoff and sanitary sewer service. The areas of countywide concern noted above that directly impact the Village of Piermont must be considered and satisfactorily addressed, as well as any additional concerns about the proposal.

5 A review must be completed by the New York - New Jersey Trail Conference and any concerns addressed.

6 Prior to the start of construction or grading, a soil and erosion control plan shall be developed and in place for the entire site that meets the latest edition of the New York State Standards for Urban Erosion and Sediment Control.

7 There shall be no net increase in the peak rate of discharge from the site at all design points.

8 Retaining walls that are over four (4) feet in vertical height shall be designed by a licensed New York State Professional Engineer and be in compliance with the NYS Fire Prevention and Building Code. Design plans shall be signed and sealed by the licensed NYS Professional Engineer. In addition, retaining walls visible from an arterial street or highway shall be screened by vegetation or faced with wood, stone, or other earth colored materials that blend with the surrounding natural landscape.

9 We request the opportunity to review any variances that may be needed to implement the proposed site plan, as required by New York State General Municipal Law, Section 239-m (3)(a)(v).

  
 \_\_\_\_\_  
 Douglas J. Schuetz  
 Acting Commissioner of Planning

- cc: Supervisor Teresa Kenny, Orangetown
- New York State Department of Transportation
- Rockland County Department of Health
- Rockland County Department of Highways
- New York - New Jersey Trail Conference

Michael Esmay  
 Village of Piermont  
 Jay A. Greenwell, PLS, LLC

*\*NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings. The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.*

**HYUN SITE PLAN (O-2396)**

*In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.*

*Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.*

*Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.*

# Rockland County HEALTH

## CENTER FOR ENVIRONMENTAL HEALTH

Dr. Robert L. Yeager Health Center  
50 Sanatorium Road, Building D  
Pomona, New York 10970  
Phone: (845) 364-2608 Fax: (845) 364-2025



Public Health  
Prevent. Promote. Protect.

**EDWIN J. DAY**  
County Executive

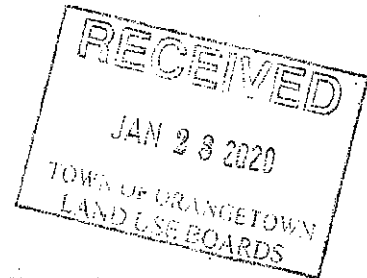
**PATRICIA S. RUPPERT, DO, MPH, CPE, DABFM, FAAFP**  
Commissioner of Health

**SAMUEL RULLI, PE**  
Director, Environmental Health

January 28, 2020

Ms. Cheryl Coopersmith  
Town of Orangetown Planning Board  
20 Greenbush Road  
Orangetown, NY 10962

Re: Hyun Site Plan  
Single Family Residence Addition  
Tax lot 75.09-1-3



Dear Ms. Coopersmith:

We have received a Notification of Intent to Act as Lead Agency, a Short Environmental Assessment Form (EAF), other supporting documentation and plans as prepared by Michael Esmay, Architect revised through December 2, 2019. This office has no objection to the Town of Orangetown Planning Board acting as Lead Agency for this project. Other comments are as follows:

1. If the proposal be amended to increase the number of bedrooms, the existing septic system will need modifications. Engineered plans will need to be submitted to this office for review and approval prior to a building permit being issued. If the number of bedrooms is to remain the same, no modification of the existing system will be necessary.
2. Application is to be made to the RCDOH for review of the storm water management system for compliance with the County Mosquito Code.

If you have any questions regarding this matter, do not hesitate to call.

Very truly yours,

Elizabeth Mello, P.E.  
Senior Public Health Engineer  
(845) 364-2616

cc: Arlene Miller, Rockland County Department of Planning.





# Rockland County

Ed Day, Rockland County Executive

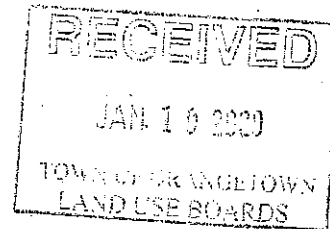
**HIGHWAY DEPARTMENT**

23 New Hempstead Road  
 New City, New York 10956  
 Phone: (845) 638-5060 Fax: (845) 638-5037  
 Email: highway@co.rockland.ny.us

**Charles H. "Skip" Vezzetti**  
*Superintendent of Highways*

December 30, 2019

Ms. Cheryl Coopersmith  
 Chief Clerk Boards and Commission  
 Planning Board  
 Town of Orangetown  
 20 South Greenbush Road  
 Orangeburg, NY 10962



**Re: Site Plan Review for Addition and Alteration to Hyun Residence  
 16 Tweed Boulevard in Upper Grandview NY  
 Tax Lot #75.09-1-3; R-22 Zoning District**

Dear Ms. Coopersmith:

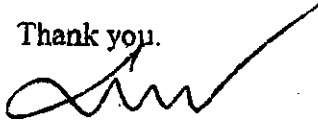
The referenced site plan and architectural drawings prepared by Jay A. Greenwell, PLS, LLC., and Michael Esmay Architect respectively have been reviewed by the Rockland County Highway Department. Our comments are as follows:

- 1) The RCHD consents that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action.
- 2) The applicant has provided insufficient details for the proposed retaining walls in the County's Right of Way.
- 3) The RCHD wants to make it clear that the County has no intention to own or maintain any private load bearing structures in the County's Right of Way.
- 4) The applicant shall make sure that the existing/proposed drainage system is adequately designed to produce no net increase in the peak rate of discharge from the site at all design points.
- 5) A road work permit shall be obtained from the Rockland County Highway Department prior to starting construction work in the site.

**Page 2**

We appreciate you for the opportunity to review the proposed plans. Please feel free to contact us at 845-638-5060 with any question or concern you may have regarding this matter.

Thank you.



Dyan Rajasingham  
Engineer III

CC: Rockland County Department of Planning  
Jay A. Greenwell, PLS., LLC. – Land Surveyor  
Michael Esmay - Architect



# Rockland County

Ed Day, Rockland County Executive

## ROCKLAND COUNTY SEWER DISTRICT NO. 1

4 Route 340  
Orangeburg, New York 10962  
Phone: (845) 365-6111 Fax: (845) 365-6686  
RCSD@co.rockland.ny.us

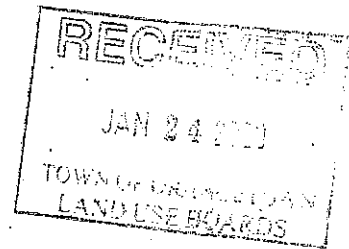
**George Hoehmann**  
Chairman

**Michael R. Saber, P.E.**  
Assistant Director/Acting Executive Director

January 15, 2020

Ms. Cheryl Coopersmith  
Town of Orangetown Planning Board  
20 South Greenbush Road  
Orangeburg, NY 10962

Re: Hyun Site Plan – Critical Environmental Area  
161 Tweed Boulevard, Upper Grandview  
Tax Lot 89/75.09-1-3 (formerly 55-69-600.2)




Dear Ms. Coopersmith:

Our office has received and reviewed a site plan that was last revised on December 2, 2019, which Michael Esmay, RA prepared for the above referenced project. We thank you for the opportunity to comment on this application. Our comments are as follows:

1. Rockland County Sewer District No. 1 does not object to the Planning Board serving as lead agency for this review.
2. Rockland County Sewer District No. 1 does not object to the plan as shown. This project does not affect any sanitary sewers within the District. We request no future correspondence for this site.

Please inform us if any developments in this project change to affect the District. If you have any questions, please contact this office at 845-365-6111.

Very truly yours,



Joseph LaFiandra  
Engineer II

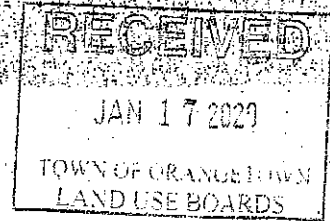
cc: M. Saber  
Helen Kenny-Burrows – Rockland County Department of Planning  
Dyan Rajasingham – Rockland County Highway Department

File: TOO 75.09-1-3 – 161 Tweed Boulevard  
Reader

[Rocklandgov.com](http://Rocklandgov.com)



**INCORPORATED VILLAGE OF PIERMONT**  
478 PIERMONT AVENUE \* PIERMONT, NEW YORK 10968 \* (845) 359-1258  
FAX (845) 359-0468



Town of Orangetown Planning Board

Attn: Debbie Arbolino

Hyun Site Plan: 161 Tweed Boulevard, Upper Grandview SBL: 75.09-1-3

Please be advised that the Piermont Building Department has no objection to Orangetown Building Department taking the lead on this project for the portion of the house that is located in Orangetown.

But please obtain a Piermont Permit application for the decks on this project which are located on the tax map in Piermont.

Charlie Schaub

Piermont Building Inspector

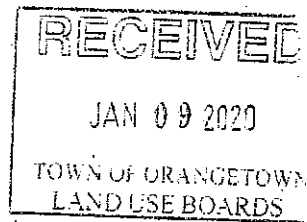


**Department of  
Transportation**

**ANDREW M. CUOMO**  
Governor

**MARIE THERESE DOMINGUEZ**  
Commissioner

**LANCE MacMILLAN, P.E.**  
Regional Director



January 6, 2020

Cheryl Coopersmith, Chief Clerk  
Town of Orangetown Planning Board  
20 South Greenbush Road  
Orangeburg, NY 10962

Re: **NYSDOT SEQRA# 19-254**  
Hyun Site Plan – 161 Tweed Boulevard  
Orangetown, Rockland County

Dear Ms. Coopersmith:

The New York State Department of Transportation (NYSDOT) is in receipt of a submittal for the above reference project, received in our office on December 19, 2019. The NYSDOT consents to the Town of Orangetown serving as Lead Agency for review of the referenced proposal.

As proposed, the project has minimal impact on the State Highway system and the Department has no additional comments at this time.

The effort to involve the Department in the review process is appreciated.

Very truly yours,

Mohammed S. Islam  
Assistant Engineer

cc: Steve DeMassio, P.E., Acting Resident Engineer, Residency 8-5  
Orange County Planning Department

**Town of Orangetown Planning Board  
Planning Board Meeting: Wednesday, January 29, 2020**

**Location: Greenbush Auditorium, 20 South Greenbush Road,  
Orangeburg, New York 10962**

**Project Name:** Hyun Site Plan – Critical Environmental Area

**Location of Parcel:** The site is located at 161 Tweed Boulevard, Upper Grandview, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 75.09, Block 1, Lot 3 in the R-22 zoning district.

**Response to request that the Town of Orangetown Planning Board  
BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:**

On behalf of RC Health Dept (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

**CONSENTS** that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

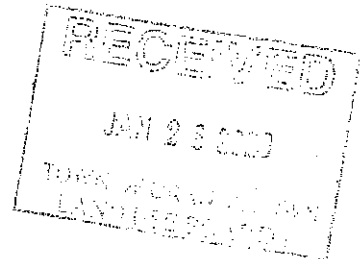
**DOES NOT CONSENT** to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that \_\_\_\_\_ serve as intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

**TAKES NO POSITION** on Lead Agency designation in this matter

Dated: 1/29/2020

RC Health Dept  
Agency Name  
By: [Signature]  
Signature  
Liz Mello  
Printed Name of Signer

Please return within 30 days by  
Fax: (845) 359-8526  
E-mail: ccoopersmith@aol.com



**Town of Orangetown Planning Board**  
**Planning Board Meeting: Wednesday, January 29, 2020**

**Location: Greenbush Auditorium, 20 South Greenbush Road,  
Orangeburg, New York 10962**

**Project Name: Hyun Site Plan – Critical Environmental Area**

**Location of Parcel:** The site is located at 161 Tweed Boulevard, Upper Grandview, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 75.09, Block 1, Lot 3 in the R-22 zoning district.

**Response to request that the Town of Orangetown Planning Board  
BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:**

**On behalf of Orangetown ZBA (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.**

The above named involved agency hereby (please check one):

**CONSENTS** that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

**DOES NOT CONSENT** to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that \_\_\_\_\_ serve as intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

**TAKES NO POSITION** on Lead Agency designation in this matter

Dated: 1/18/20

Orangetown ZBA  
Agency Name

By: Tricia Castelli

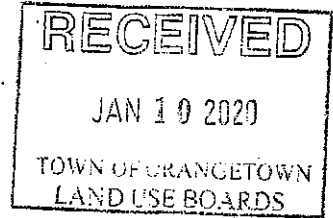
Signature

Don Sullivan, Chairman  
Printed Name of Signer

Tricia Castelli

Please return within 30 days by  
Fax: (845) 359-8526  
E-mail: ccoopersmith@aol.com

**Town of Orangetown Planning Board  
Planning Board Meeting: Wednesday, January 29, 2020**



**Location: Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York 10962**

**Project Name: Hyun Site Plan - Critical Environmental Area**

**Location of Parcel:** The site is located at 161 Tweed Boulevard, Upper Grandview, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 75.09, Block 1, Lot 3 in the R-22 zoning district.

**Response to request that the Town of Orangetown Planning Board BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:**

On behalf of Rockland County Highway Dept. (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

**CONSENTS** that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

**DOES NOT CONSENT** to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that \_\_\_\_\_ serve as \_\_\_\_\_ intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

**TAKES NO POSITION** on Lead Agency designation in this matter

Dated: 1/10/2020

RC HD  
Agency Name  
By: Dyan Rajasingham  
Signature

Printed Name of Signer

Please return within 30 days by  
Fax: (845) 359-8528  
E-mail: ccoopersmith@aol.com



**Town of Orangetown Planning Board**  
**Planning Board Meeting: Wednesday, January 29, 2020**

**Location: Greenbush Auditorium, 20 South Greenbush Road,  
Orangeburg, New York 10962**



**Project Name: Hyun Site Plan – Critical Environmental Area**

**Location of Parcel:** The site is located at 181 Tweed Boulevard, Upper Grandview, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 75.09, Block 1, Lot 3 in the R-22 zoning district.

**Response to request that the Town of Orangetown Planning Board  
BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:**

**On behalf of Rockland County Planning Dept (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.**

The above named involved agency hereby (please check one):

**CONSENTS** that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

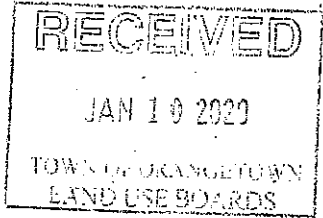
**DOES NOT CONSENT** to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that \_\_\_\_\_ serve as \_\_\_\_\_ intends to follow the procedures outlined in Title 6 Part 617.8(b) (5) NYCC.

**TAKES NO POSITION** on Lead Agency designation in this matter

Dated: 12/30/2019

Rockland County Planning Dept.  
Agency Name  
By: [Signature]  
Signature  
Michael Kewer  
Printed Name of Signer

Please return within 30 days by  
Fax: (845) 359-8526  
E-mail: ccoopersmith@aol.com



**Planning Board Meeting of January 29, 2020  
Town of Orangetown**

**Project Name:** Hyun Site Plan – Critical Environmental Area

**Location of Parcel:** The site is located at 161 Tweed Boulevard, Upper Grandview, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 75.09, Block 1, Lot 3 in the R-22 zoning district.

**Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.**

**If your agency does not have any comments at this time, please respond to this office by sending back this sheet.**

- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at [ccoopersmith@orangetown.com](mailto:ccoopersmith@orangetown.com), or
- Fax to the Town of Orangetown Planning Board @845 359-8526

- Comments Attached (or to be provided prior to Meeting date noted above)
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

Dated: 1/10/2020

Rockland County Highway  
Agency Name  
By: Dyan Rajasingham  
Please Print Name

**Planning Board Meeting of January 29, 2020  
Town of Orangetown**

**Project Name:** Hyun Site Plan – Critical Environmental Area

**Location of Parcel:** The site is located at 161 Tweed Boulevard, Upper Grandview, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 75.09, Block 1, Lot 3 in the R-22 zoning district.

**Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.**

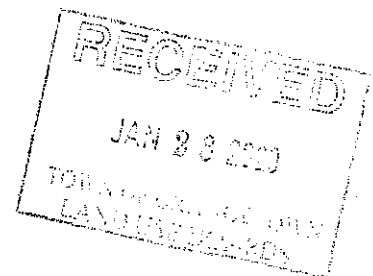
**If your agency does not have any comments at this time, please respond to this office by sending back this sheet.**

- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at [ccoopersmith@orangetown.com](mailto:ccoopersmith@orangetown.com), or
- Fax to the Town of Orangetown Planning Board @845 359-8526

- Comments Attached (or to be provided prior to Meeting date noted above)
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

Dated: 1/29/2020

RC Health Dept  
Agency Name  
By: Liz Mello  
Please Print Name



**Planning Board Meeting of January 29, 2020  
Town of Orangetown**

**Project Name:** Hyun Site Plan – Critical Environmental Area

**Location of Parcel:** The site is located at 161 Tweed Boulevard, Upper Grandview, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 75.09, Block 1, Lot 3 in the R-22 zoning district.

**Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.**

**If your agency does not have any comments at this time, please respond to this office by sending back this sheet.**

- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at [ccoopersmith@orangetown.com](mailto:ccoopersmith@orangetown.com), or
- Fax to the Town of Orangetown Planning Board @845 359-8526

( ) Comments Attached (or to be provided prior to Meeting date noted above)

( ) No Comments at this time. Please send future correspondence for review.

No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.

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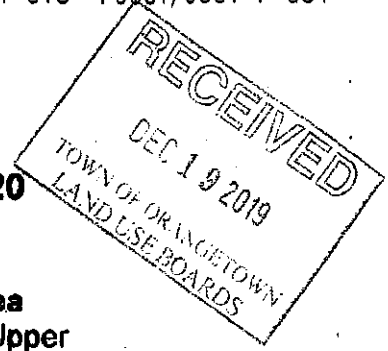
Dated: 1/8/2020

Orangetown ZBA  
Agency Name

By: Tricia Castelli

Please Print Name

Dan Sullivan, Chairman Acts  
Tricia Castelli



**Planning Board Meeting of January 29, 2020  
Town of Orangetown**

**Project Name:** Hyun Site Plan – Critical Environmental Area

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- ( ) Comments Attached (or to be provided prior to Meeting date noted above)
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- (X) No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- ( ) This project is out of the jurisdiction of this agency and has no further comments.

Dated: 12/19/19

Allen Beers

Rockland County Division of  
Environmental Resources  
50 Sanatorium Road - Bld. A ~ 6th  
Pomona, New York 10970

**Planning Board Meeting of January 29, 2020  
Town of Orangetown**

**Project Name:** Hyun Site Plan – Critical Environmental Area

**Location of Parcel:** The site is located at 161 Tweed Boulevard, Upper Grandview, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 75.09, Block 1, Lot 3 in the R-22 zoning district.

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- ( ) This project is out of the jurisdiction of this agency and has no further comments.

Dated: 12/31/19

SVEZ  
Agency Name  
By: BILL PREHODA  
Please Print Name

029

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <i>Addition &amp; Alteration to the Hyun Residence</i>			
Project Location (describe, and attach a location map): <i>161 Tweed Blvd. Town of Orangetown NY</i>			
Brief Description of Proposed Action: <i>Addition to an existing 2 1/2 story residence</i>			
Name of Applicant or Sponsor: <i>MiKyong Hyun</i>		Telephone: <i>845 548 8680</i>	
		E-Mail: <i>Mikidesign@yahoo.com</i>	
Address: <i>139 Washington Spring Rd</i>			
City/PO: <i>Palisades</i>		State: <i>NY</i>	Zip Code: <i>10964</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: <i>Variance from Orangetown Zoning Board. Permit from the Rockland County Highway Department</i>			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?			<i>0.11</i> acres
b. Total acreage to be physically disturbed?			<i>0.05</i> acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			<i>0.52</i> acres
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): <i>Cemetery</i>			
<input type="checkbox"/> Parkland			

5. Is the proposed action,		NO	YES	N/A
a.	A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation services available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: <u>Existing in ground septic system</u>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline  Forest  Agricultural/grasslands  Early mid-successional  
 Wetland  Urban  Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?  
If Yes,

a. Will storm water discharges flow to adjacent properties?

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?  
If Yes, briefly describe:

	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?  
If Yes, explain the purpose and size of the impoundment: 6'  $\phi$  Drywells

	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?  
If Yes, describe:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?  
If Yes, describe:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor/name: Mikyong Hyun Date: 11/27/2019  
Signature: Mikyong Hyun Title: owner

Project:

Date:

**Short Environmental Assessment Form  
Part 2 - Impact Assessment**

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project:	
Date:	

**Short Environmental Assessment Form  
Part 3 Determination of Significance**

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Town of Orangetown Planning Board	
Name of Lead Agency	Date
William Young	Vice Chairman
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**