

May 13, 2020 Board Items:

Continued Item from the September 25, 2019 Meeting:

PB #19-57: West Lewis Avenue Minor Subdivision Plan

Prepreliminary/ Preliminary/ Final Subdivision
and SEQRA Review

39 West Lewis Avenue, Pearl River

68.12/1/44; RG zoning district

Continued Item from the October 7, 2019 Meeting:

PB#19-64: 27 Greenbush Road Site Plan

Prepreliminary/Preliminary Site Plan and SEQRA Review

27 South Greenbush Road, Orangeburg

74.11/1/12; LI zoning district

PB #20-14: Sorce Assumma & Shakey Funeral Home Site Plan

Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review

34 Summit Street, Pearl River

68.19/2/15; RG zoning district

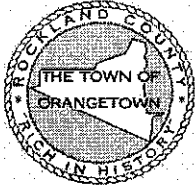
PB #20-15: Instrumentation Laboratories Site Plan

Final Site Plan Review

526 Route 303, Orangeburg

70.19/1/45; LO zoning district

 Dated: May 1, 2020



**OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT**
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGEBURG, N.Y. 10962

Jane Slavin, RA
Director

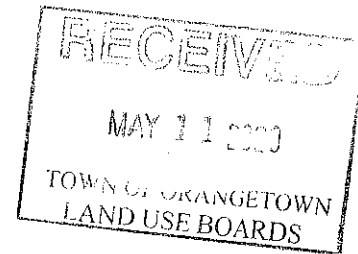
(845) 359-8410

Fax: (845) 359-8526

Date: May 8, 2020

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E. 



Subject: **Instrumentation Laboratory Site Plan**
Route 303 Overlay Zone
Final Site Plan
526 Route 303, Orangeburg
70.19/1/45; LO zoning district

PB #20-15

Submission Reviewed:

Site plans as prepared by El Associates, Last revised February 25, 2020.

Traffic Impact Study as prepared by Maser Consulting, PA. dated February 14, 2020.

Application is for an addition to an existing building, new parking layout and legalization of existing accessory structures that were constructed without permits.

1. Per page 9 of the Traffic Impact Study, Maser Consulting has determined that "Similar Levels of Service and Delays will be experienced under future No-Build and future Build Conditions."
2. The board should consider recommendation number 2 of the NYSDOT letter dated December 20, 2019, "As a mitigation measure, the applicant should restrict the driveway entrance/exit access along Route 303 to rights in and rights out only."
3. The board should review comment number 7 of the RC Planning letter dated March 20, 2020, "Excess parking should be put in as reserve to be constructed in the future, if needed."
4. The applicant is reminded that no work can begin and no permit will be issued until all comments are met from the various agencies, all approvals are obtained and the Final Site Plan is stamped by the Chief Clerk to the Board.
5. A full set of construction plans must be submitted to OBZPAE for review.

JS
5-8-2020

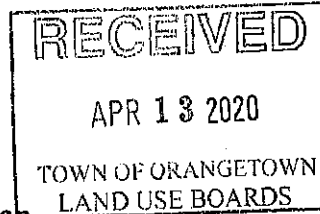


Department of Environmental Management and Engineering
Town of Orangetown

127 Route 303 Orangeburg New York 10962
Tel: (845) 359-6502 • Fax: (845) 359-6951

April 7, 2020

Planning Board
Town of Orangetown
1 Greenbush Road
Orangeburg, New York 10962
Attn: Cheryl Coppersmith, Chief Clerk



Re: Instrumentation Laboratory Site Plan

PB#20-16

Gentlemen:

This Department has the following comments:
(This letter supplements our letter of 4/03/20)

1. The existing sanitary sewer easement, along Route 303 - that benefits the Town of Orangetown, shall be extended to the north and south to fully encompass the existing sanitary main.

Very truly yours,

cc: Highway File
Sewer File

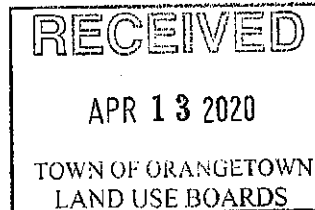


Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangeburg New York 10962
Tel: (845) 359-6502 • Fax: (845) 359-6951

April 3, 2020

Planning Board
Town of Orangetown
1 Greenbush Road
Orangeburg, New York 10962
Attn: Cheryl Coppersmith, Chief Clerk



4-7

Re: Instrumentation Laboratory Site Plan

PB#20-16

Gentlemen:

This Department has the following comments:

1. The applicant still needs to comply with PB Decision #19-45 conditions 20 (total a.o.d. shall be listed/ stated in SWPPP narrative – Section 1.0 “Project Description”), 21 (catch basins and piping required along eastern most portion of proposed northern parking lot – along Route 303), 25 (SESC plan to use NYSDEC standard symbols) 27 (profiles for ALL proposed drainage piping –missing: MH #15 – MH #18), 29 (datum for contours, source benchmark with elevation.)
2. The SWPPP (with drainage calculations) supplied is under review. A review will be sent to the applicant’s engineer directly, under separate cover. However, the SPDES construction permit referenced in 1.0 “Project Description”, NOI, Appendix E, etc., is out of date. As a reminder to the applicant’s engineer, GP-0-20-001 went into effect on 1/29/20. The applicant’s engineer shall ensure that the SWPPP/ drainage design for this project and all references and forms shall comply with the new SPDES permit. Also, the current issue/date (January 2015) of the NYSDEC- Stormwater Management Design Manual (SMDM) shall be listed where the SMDM is referenced (e.g. “Project Description”, etc.)
3. The SWPPP shall indicate what type of stormwater basin is being designed in accordance with the NYSDEC-SMDM (e.g. is it a P1, P2, etc?) This NYSDEC-SMDM number/ name shall also be listed/ noted on the drawings in or around the basin. Also, the SWPPP makes no mention of how Chapter 9 of the SMDM is being addressed. This information and design features shall be added to the SWPPP and the drawings.
4. The precipitation rate (8.40 inches) for the 100 yr. storm, used in Appendix C of the SWPPP, is too low. The current 24 hr. rainfall rate for the 100 yr. storm for this area is 9.07. The SWPPP/ calculations, and possibly the stormwater basin design and ancillary appurtenances (emergency spillway, outfall structure, exhaust piping, etc.), shall be recalculated and redesigned/ revised using the correct rainfall rate.
5. Although ONE cross section through the proposed stormwater basin is shown on a profile on drawing C04.1, not enough information is shown. Separate (multiple) cross

sections through the stormwater basin shall be added to the plans. As previously stated on PB#19-45, condition 22 - cross-sections thru the proposed stormwater pond shall be added to the drawings. This cross section shall include (and label/note) water quality/ channel protection/ overbank protection/ extreme flood control elevations, low flow channel and corresponding storage volumes (for the different yr. storms analyzed), as well as outlet control structure outlets with corresponding elevations, emergency spillway with elevation, maintenance access path with elevation, etc.

6. The actual calculations / tabular Hydraflow results (pre and post construction - not just the hydrographs) shall be added to the SWPPP. Also, pre and post calculation shall be under separate Appendix tabs.

7. Contrary to the applicant's engineer's letter to Don Brenner, P.E., LL.B of 2/25/20, comment #26, drawing C08 still shows the limit of disturbance (LOD) and silt fencing off of the subject property and on NYSDOT R.O.W. As per PB#19-45, condition 26, all proposed work shall be contained onsite.

8. Drawings C04.1 & C08, as well as page 1 of Appendix F of the SWPPP, call for the existing piping underneath the existing driveway entrance off of Route 303 to be replaced/ increased to a 8 inch in diameter. However, drawing C04 still shows the existing 12 inch pipe remaining. This shall be corrected

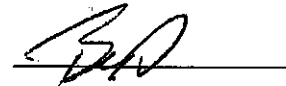
9. The invert of the exhaust of the 12 inch pipe underneath the existing access drive off of Route 303, is shown with different elevations on drawing C01 and C04.1. This shall be corrected.

10. Many of the forms in the SWPPP, from the *NYS Stormwater Management Design Manual* and the *NYS Standards and Specifications for Erosion and Sediment Control* are out of date. These forms shall be updated to the current publications/ forms.

11. The post construction stormwater maintenance agreement is under review. However, there are multiple references to the Town of Chestnut Ridge in the document, this shall be corrected. Also, the applicant's attorney shall contact the Town of Orangetown's attorney's office to obtain a copy of the Orangetown's standard boiler plate, to ensure the PCSWMA prepared matches Orangetown's requirements.

12. A legend shall be added to drawing C04.

Very truly yours,



cc: Highway File
Sewer File

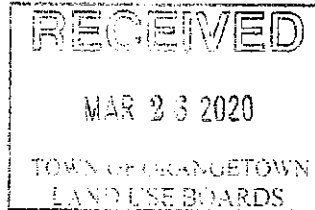
DEPARTMENT OF PLANNING
Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970
Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Arlene R. Miller
Deputy Commissioner

March 20, 2020

Orangetown Planning Board
21 Greenbush Road
Orangeburg, NY 10962



Tax Data: 70.19-1-45

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M
Map Date: 2/25/2020

Date Review Received: 3/10/2020

Item: **INSTRUMENTATION LABORATORY (O-1920G)**

Site plan to permit a building and parking expansion located on 8.817 acres in the LO zoning district. Site modifications include an 800 square foot addition in the southwestern corner of the building; a 23,304 square foot, two-story addition at the northern end of the building; 237 new parking spaces, for a net increase of 110 additional parking spaces; new curbing, lighting, stairs, retaining wall, fencing, and signage; and installation of a detention basin.

West side of NYS Route 303, south side of Glenshaw Street

Reason for Referral:

NYS Route 303

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

****Recommend the following modifications***

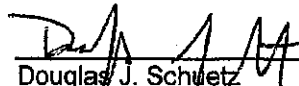
- 1 An updated review must be completed by the New York State Department of Transportation. In addition, the applicant must comply with the comments in their letter of December 20, 2019.
- 2 A review of the stormwater management system must be done by the Rockland County Department of Health to ensure compliance with Article XIX (Mosquito Control) of the Rockland County Sanitary Code.
- 3 The applicant must comply with the comment made by the Rockland County Highway Department in their letter of March 13, 2020.
- 4 Prior to the start of construction or grading, all soil and erosion control measures must be in place for the site. These measures must meet the latest edition (November 2016) of the New York State Standards for Urban Erosion and Sediment Control.
- 5 There shall be no net increase in the peak rate of discharge from the site at all design points.

INSTRUMENTATION LABORATORY (O-1920G)

6 The proposed plans shall comply with the Route 303 Overlay Zone, to the extent applicable.

7 The site plan indicates that 301 parking spaces are required for this property based on square footage, and 184 spaces are required based on number of employees. However, 313 are to be provided. Justification as to why 12 extra spaces are necessary should be included, especially since the employee breakdown by shift illustrates that only 184 spaces are needed. Excess parking should be put in as reserve to be constructed in the future, if needed.

8 Areas designated for snow removal must be clearly delineated on the site plan so that the plow drivers will know where to place the snow piles. This will help to protect the proposed landscaping from damage due to the weight of the snow and salt intrusion. In addition, providing specific locations on the site for the snow piles will reduce the loss of available parking spaces meant to be used by employees.



Douglas J. Schuetz
Acting Commissioner of Planning

cc: Supervisor Teresa Kenny, Orangetown
New York State Department of Transportation
Rockland County Department of Health
Rockland County Department of Highways
EI Associates Architects & Engineers, PA

Donald Brenner

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings. The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.*

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.



Rockland County

Ed Day, Rockland County Executive

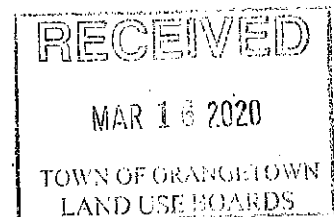
HIGHWAY DEPARTMENT

23 New Hempstead Road
 New City, New York 10956
 Phone: (845) 638-5060 Fax: (845) 638-5037
 Email: highway@co.rockland.ny.us

Charles H. "Skip" Vezzetti
Superintendent of Highways

March 13, 2020

Ms. Cheryl Coopersmith
 Chief Clerk Boards and Commission
 Planning Board
 Town of Orangetown
 20 South Greenbush Road
 Orangeburg, NY 10962



**RE: Site Plan Review for Building and Parking Addition
 526 Route 303 in Orangeburg, NY
 Tax Lot #70.19-1-45; LO Zoning District**

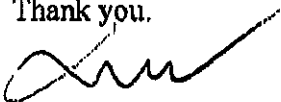
Dear Ms. Coopersmith:

The Rockland County Highway Department ("RCHD") was in receipt of the referenced site plan prepared by EI Associates Architects & Engineers, PA., last revised on 02.25.20; together with other information as part of the GML review process. The review has been complete now and our comment is as follows:

1. A drainage report for the proposed improvement shall be submitted for our review. The drainage calculation shall demonstrate that the storm water management basin is adequately designed to produce no net increase in peak rate of discharge as it enter the public drainage system.

We appreciate you for the opportunity to review this site plan. Please feel free to contact us at 845-638-5060 with any question or concern you may have regarding this matter.

Thank you.



Dyan Rajasingham
 Engineer III

CC: Rockland County Department of Planning
 EI Associates Architects & Engineers, PA.



**Department of
Transportation**

70.19-1-45

ANDREW M. CUOMO
Governor

MARIE THERESE DOMINGUEZ
Commissioner

LANCE MacMILLAN, P.E.
Regional Director

December 20, 2019

Christian Catania, Senior Clerk Typist
Town of Orangetown Planning Board
20 Greenbush Road
Orangeburg, NY 10962



Re: **NYSDOT SEQRA# 19-248**
Instrumentation Lab Building
526 Route 303
Orangetown, Rockland County

Dear Ms. Catania:

The New York State Department of Transportation (NYSDOT) is in receipt of a submittal for the above reference project, received in our office on November 1, 2019.

Please note that the proposed project does not abut the state system. However, it is anticipated that the State Highway system will be impacted and the Department will remain involved in the SEQRA review process.

1. Please provide a Traffic Impact Analysis that includes existing and full development traffic volumes, peak periods, turning counts and crash information located near both entrances/exits. The assessment needs to address the safety deficiencies and other impacts to the NYS Highway system as well as the Applicant's proposed mitigation.
2. As a mitigation measure, the applicant should restrict the driveway entrance/exit access along Route 303 to rights in and rights out only.
3. Please provide a copy of the final SEQRA determination by the town and what is the status of the project?

Please reference the NYSDOT SEQRA number 19-248 on all correspondence.

If you have any further questions, please contact us at (845) 437-5149 or by email at dot.sm.r08.HWPermits@dot.ny.gov.

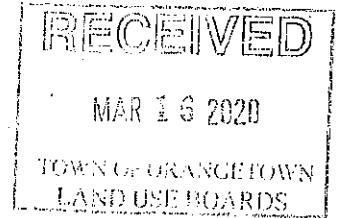
Very truly yours,

Mohammed S. Islam
Assistant Engineer

cc: Steve DeMassio, P.E., Acting Resident Engineer, Residency 8-6
Rockland County Planning Department

Section 70.19, Block 1, Lot 45

**Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962**



Planning Board Meeting of April 7, 2020

Project Name: Instrumentation Laboratory Site Plan

Location of Parcel: The site is located at 526 Route 303, in the Route 303 Overlay Zone, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 70.19, Block 1, Lot 45 in the LO zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.

If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at ccoopersmith@orangetown.com, or
- Fax to the Town of Orangetown Planning Board @845 359-8526

- Comments Attached (or to be provided prior to Meeting date noted above)
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

Dated: 3/16/20

Rockland County Highway
Agency Name
By: Dyan Rajasingham
Please Print Name