

**TOWN OF ORANGETOWN PLANNING BOARD  
Virtual Meeting of Wednesday, JUNE 1, 2020**

**MEMBERS PRESENT:**

Thomas Warren, Chairman  
Michael Mandel  
Andrew Andrews

William Young, Vice-Chairman  
Michael McCrory  
Robert Dell

**MEMBER ABSENT:** Stephen Sweeney and Bruce Bond (alternate)

**ALSO PRESENT:** Jane Slavin, Director, Office of Building, Zoning, Planning Administration and Enforcement; Rick Pakola, Deputy Town Attorney; Cheryl Coopersmith, Chief Clerk Boards and Commissions

Thomas Warren, Chairman, called the meeting to order at 7:00 p.m. Mr. Warren read the agenda. Hearings as listed on this meeting's agenda which are made a part of these minutes were held as noted below:

**SMK Greene Subdivision Plan** **PB #20-20**  
Prepreliminary/Preliminary **Continued to**  
Subdivision Plan and SEQRA Review **June 24, 2020**  
318 Western Highway, Tappan **Meeting**  
74.18/2/34; R-15 zoning district

**SQ Properties Site Plan** **PB #20-22**  
Prepreliminary/Preliminary Site Plan **Continued to**  
and SEQRA Review **June 15, 2020**  
8 Olympic Drive, Orangeburg **Meeting**  
73.15/1/16; LIO zoning district

**119 Tweed Boulevard Site Plan** **PB #20-21**  
Critical Environmental Area **Continued to**  
Prepreliminary/ Preliminary/ **June 15, 2020**  
Final Site Plan **Meeting**  
and SEQRA Review  
119 Tweed Boulevard, Upper Grandview  
71.17/1/19; R-22 zoning district

**Henry Kaufman Campgrounds Masterplan** **PB #20-23**  
Final Masterplan Review **Final Masterplan**  
667 Blauvelt Road, Pearl River **Approval Subject**  
69.14/1/28 & 69.10/2/21 **to Conditions**  
R-80 zoning district

3C1JFF0S.MK37C.NM01  
90:11 A 81 NR 0202  
NM013GNVRO JO NM01

## JUNE 1, 2020 Planning Board Meeting

Henry Kaufman Campgrounds

PB #20-24

Site Plan Bronx House

Final Site Plan

Final Site Plan Review

Approval Subject

667 Blauvelt Road, Pearl River

to Conditions

69.14/1/28 & 69.10/2/21

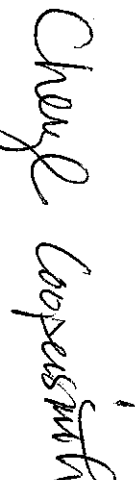
R-80 zoning district

**Other Business:** The Board recommended that a search for a Traffic Consultant commence for the 125 & 155 South Greenbush Road Site Plans.

The motion was by Michael Mandel and second by Robert Dell and carried as follows: Thomas Warren, Chairman, aye; William Young, Vice Chairman, aye; Michael Mandel, aye; Robert Dell, aye; Stephen Sweeney, absent; Andrew Andrews, aye, Michael McCrory, aye and Bruce Bond, absent.

Since there was no further business to come before the Board, a motion to adjourn the meeting was made by Michael Mandel and seconded by William Young and agreed to by all in attendance. The meeting was adjourned at 9:15 p.m. The next Planning Board meeting is scheduled for Wednesday, June 10, 2020.

DATED: June 1, 2020



Cheryl Coopersmith

Chief Clerk Boards and Commissions  
Town of Orangetown Planning Board

3C1JFFD S,K1R7C NMO1

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NAO1EGNVR0 JO NMO1

**PB #20-23: Henry Kaufmann Campground, Inc. Master Plan  
Final Master Plan Approval Subject to Conditions/ Reaffirmation to Neg.  
Dec.**

**Town of Orangetown Planning Board Decision**

**June 1, 2020  
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**TO: Donald Brenner, 4 Independence Avenue, Tappan, New York  
FROM: Orangetown Planning Board**

**RE: Henry Kaufmann Campgrounds, Inc. Master Plan:** The application of Henry Kaufmann Campgrounds, Inc., applicant, for UJA Federation of New York, owner, for a Final Master Plan Review at a site known as "**Henry Kaufmann Campgrounds, Inc. Master Plan**", in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the Code of the Town of Orangetown. The site is located at 667 Blauvelt Road, Pearl River, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 69.14, Block 1, Lot 28 & Section 69.10, Block 2, Lot 21 in the R-80 zoning district.

Heard by the Planning Board of the Town of Orangetown at a virtual meeting, **Monday, June 1, 2020**, at which time the Board made the following determinations:

Troy Wojciekofsky, Kevin Curran, Dave Schmeltzer and Donald Brenner appeared and testified.

The Board received the following communications:

1. An interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R.A., A.I.A., Director, dated May 29, 2020.
2. An interdepartmental memorandum from the Department of Environmental Management and Engineering, (DEME) Town of Orangetown, signed by Bruce Peters, P.E., dated April 21, 2020.
3. A letter from the Rockland County Department of Planning, signed by Douglas Schuetz, Acting Commissioner of Planning, dated April 10, 2020.
4. Letters from Rockland County Drainage Agency, signed by Vincent Altieri, Executive Director, dated April 21 & 29, 2020 and an Email dated April 22, 2020.
5. Plan entitled "UJA Pearl River Day Camp Proposed Improvements" prepared by Stantec, signed and sealed by Troy Wojciekofsky, P.E., dated March, 2020:
  - Sheet 1 of 4: Overall Site Plan
  - Sheet 2 of 4: Overall Master Plan Improvements
  - Sheet 3 of 4: Overall Master Plan with Clouded Revisions
  - Sheet 4 of 4: Overall Master Access

3C1J1F0 S.KR373 MM01

L0:11 A 81 NF 0202

MM0T0GNVND JO MM01

**PB #20-23: Henry Kaufmann Campground, Inc. Master Plan  
Final Master Plan Approval Subject to Conditions/ Reaffirmation to Neg.  
Dec.**

**Town of Orangetown Planning Board Decision  
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6. Copies of the following Board Decisions: PB#19-36, dated December 11, 2019; Amendment to PB#17-58 and PB #13-23, Preliminary Approval Subject to Conditions, dated July 24, 2013.
7. A letter from Stantec, signed by Troy Wojciekowsky, P.E., Senior Project Manager, dated March 6, 2020.
8. Preliminary Stormwater Pollution Prevention Plan (SWPPP) prepared by Stantec, signed by Troy Wojciekowsky, P.E., Senior Project Manager, dated January 26, 2018, last revised March 6, 2020.
9. Email from Lorna Carroll, 62, McKinley Street, Pearl River, received June 1, 2020.

The Board reviewed the plans. The meeting was open to the Public.

There being no one to be heard from the Public, a motion was made to close the Public Hearing portion of the meeting by Michael Mandel and seconded by Andrew Andrews and carried as follows: Thomas Warren – Chairman, aye; William Young, Vice-Chairman, aye; Andrew Andrews, aye; Robert Dell, aye; Stephen Sweeney, absent; Michael Mandel, aye; Michael McCrory, aye and Bruce Bond, absent.

**Reaffirmation of SEQRA:**

The proposed action is classified as an “unlisted action” as defined by Section 617.2 (ak) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA.

Pursuant to New York Code, Rules & Regulations (NYCRR) Section 617.7, the Town of Orangetown Planning Board, as lead agency, for the reasons articulated in this Board’s analysis of all of the submissions by the applicant, interested agencies, departments and the public, with respect to this project including the Environmental Assessment Form, which reasons are summarized in the motion, hereby determines that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared.

After having identified the relevant areas of environmental concern, namely drainage, surface water runoff, land clearing, vegetation, fauna, traffic and noise levels, and after having taken a hard look at said environmental issues, and after having deliberated regarding such concerns, and having heard from the applicant, the applicant’s professional representatives, namely Troy Wojciekowsky, P.E., and having heard from the following offices, officials and/or Departments: (Town of Orangetown): Project Review Committee, Office of Building, Zoning, Planning Administration and Enforcement and Department of Environmental Management and Engineering, and having heard from the following involved and interested agencies: Town of Orangetown Zoning Board of Appeals, Rockland County Department of Health, Rockland County Sewer District #1, Rockland County Drainage Agency and having reviewed the Master Plan by prepared Troy Wojciekowsky, P.E., a summary of the reasons supporting this determination are, and the Planning Board finds that the proposed action:

**PB #20-23: Henry Kaufmann Campground, Inc. Master Plan  
Final Master Plan Approval Subject to Conditions/ Reaffirmation to Neg.  
Dec.**

**Town of Orangetown Planning Board Decision  
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- Will not significantly affect existing air quality or noise levels;
- Will not significantly affect existing surface water quality or quantity or drainage;
- Will not significantly affect existing ground water quality or quantity;
- Will not significantly affect existing traffic levels;
- Will not create a substantial increase in solid waste production;
- Will not create a potential for erosion, flooding, leaching or drainage problems;
- Will not have a significant adverse impact on the environmental characteristics of our critical environmental area or environmentally sensitive sites or features;
- Will not have an impairment of the character or quality of important historical, archeological or architectural resources;
- Will not have an impairment of the character or quality of important aesthetic resources;
- Will not have an impairment of existing community or neighborhood character;
- Will not remove or destroy large quantities of vegetation or fauna;
- Will not remove or destroy large quantities of wildlife species or migratory fish;
- Will not have a significant adverse impact to natural resources;
- Is consistent with the Town of Orangetown Comprehensive/Master Plan;
- Will not have adverse economic or social impacts upon the Town;
- Will not create a hazard to human health; and
- Will not create a substantial change in the use of land, open space or recreational resources.

On motion by Michael Mandel and seconded by Michael McCrory and carried as follows: Thomas Warren – Chairman, aye; William Young, Vice-Chairman, aye; Andrew Andrews, aye; Robert Dell, aye; Stephen Sweeney, absent; Michael Mandel, aye; Michael McCrory, aye and Bruce Bond, absent, the Board Reaffirmed the Negative Declaration pursuant to SEQRA.

**DECISION:** In view of the foregoing and the testimony before the Board, the application was granted **Final Master Plan Approval Subject to the Following Conditions:**

1. The applicant shall comply with all previous applicable conditions of the following Board Decisions: PB#19-36, dated December 11, 2019; Amendment to PB#17-58 and PB #13-23, Preliminary Approval Subject to Conditions, dated July 24, 2013.
2. The applicant is advised that per the Rockland County Drainage Agency (RCDA) letter dated December 6, 2019, no permits can be issued until all existing RCDA violations are abated.

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LO:11 A 81 NOV 0202  
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**PB #20-23: Henry Kaufmann Campground, Inc. Master Plan  
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3. The SWPPP and the drawings still need to be coordinated – Examples:
  - a. Table 1 –“Proposed improvements Summary Table” in Appendix B of the Masterplan SWPPP lists Ballfield BH-1 and Play Area bh-1 AS ITEMS OF Phase-1. However, the Proposed Use Table on drawing MP-2 does not list these items.
  - b. **ALL** items changing (e.g. new, relocated, replaced, reoriented, improved, etc.) in any phase shall be listed in both the Table 1 of the SWPPP and the Proposed Use Table as every item will create an increase/ decrease/ or net zero in imperious surface and area of disturbance calculations and totals which shall all be reflected, calculated and tabulated in conceptual SWPPP and listed on the Master Plan drawings. This includes items like the Reoriented Ballfield (Playfield BH-3?) and the improved Playfield (Playfield BH-1?) in the Phase -1 of the Bronx House section of the campgrounds.
  - c. Neither the SWPPP nor Proposed Use Table list the Relocated Climbing Tower. This item shall be listed in both as there will be some minor disturbance to relocate this type of item. See comment 1b above.
  - d. While Table 1 of the SWPPP lists “Play Area BH-1”, neither the site plan nor the Proposed Use Table, both of which are on drawing MP-2, list a Play Area-BH-1.
  - e. **ALL** items shown on the drawings and listed in the SWPPP shall be named/ numbered/ identified uniformly. This site is too complex for inconsistencies.
  - f. What is a “Relocated Gaga BH-1” as shown in the Bronx House area on drawing MP-2. See comment 1e above.
  - g. The relocated macadam fire access road and gravel turn around (which are not even called out on drawings MP-2), shall be included in both Table 1 of the SWPPP and the Proposed Use Table on drawing MP-2 as these two items clearly have area of disturbance and imperious area implications.
  4. *The Executive Summary, Methodology/ NYSDEC Uniform Sizing Criteria, Permanent Stormwater Management Practices* need to discuss how Chapter 6-Green Infrastructure and Chapter 9 – Redevelopment of the New York State Stormwater Management Design Manual are being satisfied.
  5. The referenced “*NYS Standards and Specifications for Erosion and Sediment Control*”, under the *Executive Summary* – page ii of the Master Plan Conceptual SWPPP is not up to date (July2016 noted but it shall be November 2016.)
  6. The Project Summary – page ii of the Master Plan Conceptual SWPPP shall list the address of the owner of the property, as well as all proposed work in all phases, e.g. new pedestrian Bridge, Sickletown Road Stormwater Management Project, relocated gravel pathways, relocated macadam fire access road, etc.

301110 S, K93710 NMO1  
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PB #20-23: Henry Kaufmann Campground, Inc. Master Plan  
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Dec.

Town of Orangetown Planning Board Decision  
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7. A reference to the 14 day maximum soil exposure limit shall be added to the SWPPP in the *Executive Summary*, Section 4 – *Temporary Erosion and Sediment Control Measures*, Section 6 – *Construction Sequencing and Scheduling*, Section 7 - *Implementation of the SWPPP* and any other pertinent location.
8. The following language shall be added to the *Contractors and Sub-Contractors* section on page c of the SWPPP – “**Prior to any site work beginning, the Contractor’s proof of completion of the required NYSDEC Endorsed 4-hour Erosion and Sediment Control Course must be supplied and made part of the SWPPP.**”
9. The following shall be added to Section 7.2 – *Site Inspections* on page 19 of the SWPPP:
  - a. Add to paragraph 1 – “**The Qualified Inspector shall sign the Qualified Inspector’s SWPPP Certification form which must be supplied and made part of the SWPPP.**”
  - b. Edit the beginning of paragraph 2 as follows – “**Where the Town of Orangetown has approved a waiver to disturb over 5 acres at one time (but less than 10 acres), two regular inspections of ...**”
10. Item #6 under the *Design Engineer* section on page iii of the SWPPP shall be revised as follows:

“if... than 5 acres at any one time a Waiver request from the Town of Orangetown must be prepared by the applicant’s engineer in writing and included in the SWPPP. If a Waiver is granted by the Town, the maximum area of disturbance the Town MAY allow (if it chooses) is 10 acres. The greater than 5 acre disturbance Waiver request shall identify the reasons why the project must disturb greater than 5 acres at any one time (as per NYSDEC, saving time is not a valid reason) and what additional... If the project is granted a Waiver to disturb greater than 5 acres at any one time, the maximum soil exposure limit shall be reduced from 14 days to 7 days and on-site inspections will... Inspection reports will be provide to the Town of Orangetown and the Owner within one business day...”
11. The following sentence shall be added to Section 7.2 – *Site Inspections* on page 19 of the SWPPP (either to the end of paragraph 2 or in between paragraph 2 & 3):

“**The Owner/ Owner’s Qualified SWPPP Inspector shall email a digital copy of ALL SWPPP inspections to the Town of Orangetown – DEME ([bpeters@orangetown.com](mailto:bpeters@orangetown.com)), as well as keeping paper copies with the field copy of the SWPPP.**”

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12. Rockland County Department of Planning had the following comments, which are incorporated herein as conditions of approval:

- A review must be completed by the County of Rockland Drainage Agency, and any required permits obtained.
- A review must be completed by the Rockland County Highway Department, any concerns addressed, and all required permits obtained.
- A review must be completed by the County of Rockland Health Department, any comments or concerns addressed, and any required permits obtained.
- The applicant should consult with the Rockland county Office of Fire and Emergency Services, E-911 Office, to properly address all permanent structures.
- If there is any encroachment into the Federal wetlands, a review must be completed by the United States Army Corps of Engineers and all required permits obtained.
- The Floodplain Administrator for the Town of Orangetown shall certify that the proposed construction is in compliance with the floodplain regulations of the Town and the Federal Emergency Management Agency.
- Sheet MP-3 of the site plan provides overall time frames for construction. However, it does not state the timing of the phases themselves. The timing of the different phases of the project must be provided.
- As the various phases, buildings, and facilities are proposed, individual detailed site plans must be provided, showing the existing conditions, proposed layout, grading, lighting, etc.
- It must be demonstrated that the proposed fire lanes and emergency access points can adequately maneuver on the site. Some of the turns are light and narrow, thereby making it difficult for the emergency equipment to access the buildings on the site. Turning radii must be provided illustrating that the large fire trucks or other emergency equipment can access all location indicated to be at fire access roads.
- The application form indicates the property receives water service from United Water. The form must be corrected to Suez.
- The Rockland County Department of Planning requests the opportunity to review any variances that may be needed to implement the proposed Master Plan, as required by NYS General Municipal Law, Section 239-m(3)(a)(v).

13. The Rockland County Drainage Agency reviewed the submitted information and provided the following comments:

- a. In response to the applicant's recent inquiry, the request for the removal of the impervious material be completed by October 31, 2020 is granted. This is the final extension.

EEJFFJO S;KRE37Q KMO1

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MMO13DNVRO JO NMO1



**PB #20-23: Henry Kaufmann Campground, Inc. Master Plan  
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**Town of Orangetown Planning Board Decision  
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**Continuation of Condition #13...**

b. Rockland County Drainage Agency (RCDA) has previously reviewed the parcel and determined that the site is within the jurisdiction of RCDA. Therefore, a permit or a determination otherwise from RCDA, pursuant to the Rockland County Stream Control Act is required for any developments within this parcel. Please note that an application for a different project to address the existing Stream Control Act violations was received by the RCDA; however, a permit was NOT issued. Please have the applicant provide the RCDA with requested information to complete the permit process or address the existing site violations as authorized by the RCDA immediately. Any new proposal will require a new Stream Control Act permit and the application is available at the County website, under Highway Department, Drainage Division. Please note that an application for a site development proposal was submitted to the RCDA in year 2018 to address the existing Stream Control Act violations due to the unauthorized developments done at the site without a valid permit from the RCDA. The application was reviewed and comments were issued under permit application No. 18-01; however to date, a Stream Control Act Permit was NOT issued to address the violations or the site violations have NOT been abated as authorized by the RCDA. Please further note that a new permit cannot be issued until the existing site violations are addressed to the satisfaction of the RCDA.

By copy of this letter the RCDA is hereby notifying the Town of Orangetown land use boards and departments that this parcel and the current property owner are in violation of the Rockland County Stream Control Act, Chapter 846, as indicated above. Any future decisions or determinations made by the Town of Orangetown land use boards and departments regarding this parcel shall indicate that it is within the jurisdiction of the RCDA and that a permit or a determination otherwise from RCDA will be required for all developments within this parcel. The RCDA recommends that the Town of Orangetown land use boards and departments ensure the applicant has secured the necessary permits and approvals from all interested and involved agencies and has not outstanding violations, as a prerequisite for granting any final approvals.

**14. The propane tank located at the edge of the bus parking lot near the Reld Drive entrance shall be removed from all plans, including the Master Plan drawings.**

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**PB #20-23: Henry Kaufmann Campground, Inc. Master Plan  
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The foregoing Resolution was made and moved by Michael Mandel and seconded by Andrew Andrews and carried as follows: Thomas Warren – Chairman, aye; William Young, Vice-Chairman, aye; Andrew Andrews, aye; Robert Dell, aye; Stephen Sweeney, absent; Michael Mandel, aye; Michael McCrory, aye and Bruce Bond, absent.

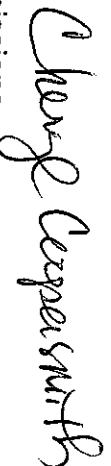
The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

**Dated: June 1, 2020**

Cheryl Coopersmith

Chief Clerk Boards and Commissions

Town of Orangetown Planning Board



OFFICE

80:11 A 81 NOV 0202

ORANGETOWN

**PB #20-24: Henry Kaufmann Campground, Inc.  
Bronx House Site Plan  
Final Site Plan Approval Subject to Conditions/  
Reaffirmation to Neg. Dec.**

**Permit #46910**

**Town of Orangetown Planning Board Decision  
June 1, 2020  
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**TO: Donald Brenner, 4 Independence Avenue, Tappan, New York  
FROM: Orangetown Planning Board**

**RE: Henry Kaufmann Campgrounds, Inc. Site Plan:** The application of Henry Kaufmann Campgrounds, Inc., applicant, for UJA Federation of New York, owner, for Final Site Plan Review, at a site known as "Henry Kaufmann Campgrounds, Inc. Site Plan", in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the Code of the Town of Orangetown. The site is located at 667 Blauvelt Road, Pearl River, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 69.14, Block 1, Lot 28 & Section 69.10, Block 2, Lot 21 in the R-80 zoning district.

Heard by the Planning Board of the Town of Orangetown at a virtual meeting, **Monday, June 1, 2020**, at which time the Board made the following determinations:

Troy Wojciekofsky, Kevin Curran, Dave Schmeltzer and Donald Brenner appeared and testified.

The Board received the following communications:

1. An interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R.A., A.I.A., Director, dated May 29, 2020.
2. An interdepartmental memorandum from the Department of Environmental Management and Engineering, (DEME) Town of Orangetown, signed by Bruce Peters, P.E., dated April 21, 2020.
3. A letter from Brooker Engineering, signed by Kenneth DeGennaro, P.E., dated June 1, 2020.
4. A letter from the Rockland County Department of Planning, signed by Douglas Schuetz, Acting Commissioner of Planning, dated April 10, 2020.
5. Letters from Rockland County Drainage Agency, signed by Vincent Altieri, Executive Director, dated April 21 & 29, 2020 and an Email dated April 22, 2020.
6. Site Plans entitled "Site Plans for Phase I Bronx House Area Improvements at the Henry Kaufmann Campgrounds Pearl River" prepared by Stantec, signed and sealed by Troy Wojciekofsky, P.E., and Zaskorksi & Associates Architect, dated January 29, 2018, last revised March 6, 2020:
  - Cover: Cover Sheet
  - C-001-BH: General Notes
  - C-100-BH: Existing Conditions & Removal Plan
  - C-200-BH: Bronx House Overall Site Plan

301550 S.MR373 NM01

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PB #20-24: Henry Kaufmann Campground, Inc.

Permit #46910

Bronx House Site Plan

Final Site Plan Approval Subject to Conditions/  
Reaffirmation to Neg. Dec.

Town of Orangetown Planning Board Decision

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- C-201-BH: Bronx House Site Plan
  - C-300-BH: Drainage & Grading Plan
  - C-301-BH: Detailed Drainage & Grading Plan
  - C-302-BH: Bio-Retention Details
  - C-303-BH: Drainage Profiles
  - C-400-BH: Erosion & Sediment Control Plan
  - C-500-BH: Utilities Plan
  - C-501-BH: Utilities Profiles
  - D-101-BH: Details 01
  - D-102-BH: Details 02
  - S-100-BH: Retaining Wall Plan, Profile and Details
7. Survey Plans entitled "Boundary and Topographic Survey Henry Kaufmann Campgrounds" prepared by Jay Greenwell, PLS dated August 10, 2012, last revised June 8, 2017:
- Sheet 1 and Sheet 2
8. Full Stormwater Pollution Prevention Plan (SWPPP) prepared by Stantec, signed by Troy Wojciekofsky, P.E., Senior Project Manager, dated November 22, 2017, last revised March 4, 2020.
9. Copies of the following Board Decisions: PB#19-37, dated December 11, 2019; Amendment to PB#17-59, ZBA #18-29, 133' setback for Aquatic Center BH-1, Restrooms and Office and 156' setback for Bio-Retention Area #3 withdrawn by applicant, dated May 16, 2018, and ACABOR#20-04, Approved with Conditions, dated February 6, 2020.
10. A letter from Stantec, signed by Troy Wojciekofsky, P.E., Senior Project Manager, dated March 6, 2020.
11. A letter from Stantec, signed by Troy Wojciekofsky, P.E., Senior Project Manager, dated March 3, 2020; Pump Station Capacity Engineer's Letter Report.
12. Email from Lorna Carroll, 62, McKinley Street, Pearl River, received June 1, 2020.

The Board reviewed the plans. The meeting was open to the Public.

**Public Comment:**

Kevin McCormack, 83 Sickletown Road, Orangeburg, raised concerns regarding the pile of wood chips on the site, which has spread out over the years impacting the drainage on his and neighbors properties.

501110 S, NR 373 NM01

80:11 V 81 NGR 0202

MM013GNVRO JO MM01

**PB #20-24: Henry Kaufmann Campground, Inc.**

**Permit #46910**

**Bronx House Site Plan**

**Final Site Plan Approval Subject to Conditions/  
Reaffirmation to Neg. Dec.**

**Town of Orangetown Planning Board Decision**

**June 1, 2020**

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There being no one else to be heard from the Public, a motion was made to close the Public Hearing portion of the meeting by Michael Mandel and seconded by Andrew Andrews and carried as follows: Thomas Warren – Chairman, aye; William Young, Vice-Chairman, aye; Andrew Andrews, aye; Robert Dell, aye; Stephen Sweeney, absent; Michael Mandel, aye; Michael McCrory, aye and Bruce Bond, absent.

**Reaffirmation of SEQRA:**

The proposed action is classified as an “unlisted action” as defined by Section 617.2 (ak) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA.

Pursuant to New York Code, Rules & Regulations (NYCRR) Section 617.7, the Town of Orangetown Planning Board, as lead agency, for the reasons articulated in this Board’s analysis of all of the submissions by the applicant, interested agencies, departments and the public, with respect to this project including the Environmental Assessment Form, which reasons are summarized in the motion, hereby determines that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared.

After having identified the relevant areas of environmental concern, namely drainage, surface water runoff, land clearing, vegetation, fauna, traffic and noise levels, and after having taken a hard look at said environmental issues, and after having deliberated regarding such concerns, and having heard from the applicant, the applicant’s professional representatives, namely Troy Wojciekofsky, P.E., and having heard from the following offices, officials and/or Departments: (Town of Orangetown): Project Review Committee, Office of Building, Zoning, Planning Administration and Enforcement and Department of Environmental Management and Engineering, and having heard from the following involved and interested agencies: Town of Orangetown Zoning Board of Appeals, Rockland County Department of Health, Rockland County Sewer District #1, Rockland County Drainage Agency and having reviewed the Master Plan by prepared Troy Wojciekofsky, P.E., a summary of the reasons supporting this determination are, and the Planning Board finds that the proposed action:

301110 S.KR73 NAO1  
80:11 V 81 NOV 0702  
NA0130NVA00 JO NAO1

**Town of Orangetown Planning Board Decision**

June 1, 2020

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- Will not significantly affect existing air quality or noise levels;
- Will not significantly affect existing surface water quality or quantity or drainage;
- Will not significantly affect existing ground water quality or quantity;
- Will not significantly affect existing traffic levels;
- Will not create a substantial increase in solid waste production;
- Will not create a potential for erosion, flooding, leaching or drainage problems;
- Will not have a significant adverse impact on the environmental characteristics of our critical environmental area or environmentally sensitive sites or features;
- Will not have an impairment of the character or quality of important historical, archeological or architectural resources;
- Will not have an impairment of the character or quality of important aesthetic resources;
- Will not have an impairment of existing community or neighborhood character;
- Will not remove or destroy large quantities of vegetation or fauna;
- Will not remove or destroy large quantities of wildlife species or migratory fish;
- Will not have a significant adverse impact to natural resources;
- Is consistent with the Town of Orangetown Comprehensive/Master Plan;
- Will not have adverse economic or social impacts upon the Town;
- Will not create a hazard to human health; and
- Will not create a substantial change in the use of land, open space or recreational resources.

On motion by William Young and seconded by Michael Mandel and carried as follows: Thomas Warren – Chairman, aye; William Young, Vice-Chairman, aye; Andrew Andrews, aye; Robert Dell, aye; Stephen Sweeney, absent; Michael Mandel, aye; Michael McCrory, aye and Bruce Bond, absent, the Board Reaffirmed the Negative Declaration pursuant to SEQRA.

**DECISION:** In view of the foregoing and the testimony before the Board, the application was granted **Final Site Plan Approval Subject to the Following Conditions:**

1. The following note shall be placed on the Site Plan: "At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a meeting."
2. The following note shall be placed on the Site Plan regarding Stormwater Management Phase II Regulations: Additional certification, by an appropriate licensed or certified design professional shall be required for all matters before the Planning Board indicating that the drawings and project are in compliance with the Stormwater Management Phase II Regulations.

1540 S.KR3710 NM01

80:11 V 81 NQT 0702

NM0139NVRD JO NM01

PB #20-24: Henry Kaufmann Campground, Inc.

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3. All outdoor construction activities, including site clearing operations if applicable, shall take place between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday. No such activities shall take place on Sunday or a legal holiday. The same criteria shall apply to indoor construction activities, except that such activities may take place between the hours of 7:00 a.m. and 10:00 p.m. Place this information as a note on the Site Plan.
4. The applicant shall comply with all pertinent and applicable prior Board Decisions: PB#19-37, dated December 11, 2019; Amendment to PB#17-59, ZBA #18-29, 133' setback for Aquatic Center BH-1, Restrooms and Office and 156' setback for Bio-Retention Area #3 withdrawn by applicant, dated May 16, 2018, and ACABOR#20-04, Approved with Conditions, dated February 6, 2020.
5. The proposed building chart must have ID numbers that correspond to the building chart on the master plan.
6. The proposed lifeguard and restroom building size must be provided, including floor plans and elevations. The structure must also be numbered and listed in the building chart on the master plan.
7. The setback of 203.2' to the improved playground BH-1 does not match the ZBA decision #18-289, May 16, 2018 of 204'. Plan must be revised to match the ZBA approved plan.
8. What improvements are proposed for the playground?
9. The square footage of the homebase pavilion HB-BH-1 is indicated as 5,816 on the plan; however the building chart on the master plan indicates Shelter #17 as 6,057. Which is correct?
10. Relocated GAGA BH-1 should have a number assigned to it and should be indicated on the master plan building chart along with the size of the structure.
11. Provide specification information for the proposed propane tank.
12. Applicant is advised that per RCDA letter dated 12-6-19, no permits can be issued until all existing RCDA violations are abated.
13. DEME recommends that soil borings, perc tests and determination of groundwater elevations be performed at the proposed bio-retention areas. These tests/ investigations shall be performed in the spring when the ground water table is typically at its highest. DEME and the Building Department shall be notified when this work is to be done so that the test tests can be witnessed. This shall be done **PRIOR** to this proposal receiving final approval.

301110 S.KR373 NM01

80:11 V 81 NUN 0202

MM0139VRO JO NM01

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14. The SWPPP and the drawings are STILL not coordinated. For example:
  - a. Drawing 4 & 11 show five (5) separate areas of disturbance (a.o.d.) totaling 104,831 square feet of disturbance. However, the SWPPP – Project Summary, page ii and Section 3.2 Proposed (Post-Development) Watershed Conditions, page 9, discuss only 4 a.o.d.'s for a total a.o.d. of 68600 square feet (1.6 acres.) This is unacceptable and shall be corrected.
  - b. In connection with item (a) above, the Master Plan SWPPP lists 5 a.o.d.'s but has a total a.o.d. of 97,400 square feet. Again, the drawings and the SWPPP for this project shall be COMPLETELY coordinated, as well as being coordinated with the Master Plan Drawings and SWPPP.
15. The revised SWPPP is under review and comments will be sent directly to the applicant's engineer under separate cover. However, the *Executive Summary, Methodology/ NYSDEC Uniform Sizing Criteria, Permanent Stormwater Management Practices* and any other pertinent sections of the SWPPP as well as the design calculations need to demonstrate how Chapter 6-Green Infrastructure and Chapter 9 – Redevelopment of the New York State Stormwater Management Design Manual are being satisfied.
16. The *Project Summary* – page ii of the SWPPP shall list the address and contact information of the owner of the property.
17. A reference to the 14 day maximum soil exposure limit shall be added to the SWPPP in the *Executive Summary, Section 4-Temporary Erosion and Sediment Control Measures, Section 6 – Construction Sequencing and Scheduling, Section 7-Implementatin of the SWPPP* and any other pertinent locations
18. The total a.o.d. for the Bronx House project shall be listed on drawings 4 through 7.
19. The proposed a.o.d. for the Aquatic Center, on drawings 4 & 8, does not fully encompass macadam driveway demolition. Also, upon reviewing drawings 6, 7, & 12, the a.o.d. areas shown on drawing 4 & 7, do not encompass the relocated gravel path turn around, relocated Gazebo, the drainage piping exhaust and the proposed sanitary work in and around the existing sanitary pumping station and the new force main connection to the existing main. The proposed a.o.d.s shown on the drawings shall encompass ALL proposed work. These revised a.o.d.s shall be amended on all drawings and in the SWPPP for this project as well as the Master Plan SWPPP.

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NM0130NVR0 JD NM01



20. In connection with condition #19 above, the relocated climbing Tower is not even represented in drawing 4. There will be some amount of disturbance to relocated and install this equipment. This too shall be included in the a.o.d. Also, this tower is not called out on drawing 5, this shall be corrected.
21. The numbering/ naming system for all of the proposed yard inlets, drainage manholes, flared end sections, which are mostly delineated on drawing 8, shall be used to label the same facilities on all drawings in which those features appear (e.g. drawings 7, 8, 9, 10 and 12.)
22. The stationing used for the drainage profiles (drawing 10) and the sanitary profiles (drawing 13) shall be shown on drawing 7, 8 and 9 (for drainage) and drawing 12 (for sanitary lines.) Also, the specific station for every yard drain, drainage manhole, flared end section sanitary manhole, sanitary cleanout, shall be given on drawings 7, 8, 9 and 12, as well.
23. Vertical scales shall be added to all of the bio-retention basin cross sections shown on drawing 9.
24. All proposed utility work (installation of sanitary sewer, storm sewers, water lines, etc.) shall be shown on drawing 11. All SESC features for that work shall also be shown (e.g. protections for yard drains.) Details for said features shall be added to the plans and to the SWPPP.
25. Almost note of the proposed sanitary sewer work is coordinated on the drawings, for example
  - a. Drawing 12 project HB-BH-1'2' (unnamed on this drawing – comment #22 above) sanitary building connection labeled as a combination of new and existing 6 inch lateral with a new sanitary manhole SM#1 (although no manhole is depicted on the line – this needs to be corrected as well.) However, the profile on drawing 13 shows no manhole and labels the entire building connection as 12 inch diameter.
  - b. Drawing 12 has project HB-BH-2's (unnamed on this drawing – see comment #22 above) sanitary building connection labeled as an 8 inch lateral (is not specified if this line is new or being reused.) However, the profile on drawing 13, again shows the entire building connection as 12 inch.

301440 S, R373 N, M01

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26. The sanitary calculations provided are under review by DEME. However, the calculations call for 3-inch diameter force main, but the profile for the force main on drawing 13 shows the last "new" section of the force main to be 4-inch diameter. This is incorrect and the drawing shall be revised.
27. Cleanouts, with invert elevations, shall be depicted at all changes in direction, on all sanitary building connections lines.
28. The existing Town owned sanitary main and easement shall be shown on drawings 5 & 6.
29. The sanitary manhole detail, on drawing 15 shall be revised to show a 30-inch diameter access (not 24-inch.)
30. A note shall be added to drawings 1, 12 and 13 that states "The Town of Orangetown Sewer Inspector shall be notified at least 48 hours in advance of any sanitary sewer work being performed on the site, including building connections, force main installation, etc."
31. All of the proposed projects (e.g. Homebase Pavilion HB-BH1, Aquatic Center, etc.) shall be labeled on **EVERY** drawing for ease of review.
32. The following language shall be added to the *Contractors and Sub-Contractors* section on page c of the SWPPP – **"Prior to any site work beginning, the Contractor's proof of completion of the required NYSDEC Endorsed 4-hour Erosion and Sediment Control Course must be supplied and made part of the SWPPP."**
33. The following shall be added to Section 7.2 – *Site Inspections* on page 19 of the SWPPP:
- a. Add to paragraph 1 – **"The Qualified Inspector shall sign the Qualified Inspector's SWPPP Certification form which must be supplied and made part of the SWPPP."**
  - b. Edit the beginning of paragraph 2 as follows – **"Where the Town of Orangetown has approved a waiver to disturb over 5 acres at one time (but less than 10 acres), two regular inspections of ..."**

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34. Item #6 under the *Design Engineer* section on page iii of the SWPPP shall be revised as follows:

**“If... than 5 acres at any one time a Waiver request from the Town of Orangetown must be prepared by the applicant’s engineer in writing and included in the SWPPP. If a Waiver is granted by the Town, the maximum area of disturbance the Town MAY allow (if it chooses) is 10 acres. The greater than 5 acre disturbance Waiver request shall identify the reasons why the project must disturb greater than 5 acres at any one time (as per NYSDEC, saving time is not a valid reason) and what additional... If the project is granted a Waiver to disturb greater than 5 acres at any one time, the maximum soil exposure limit shall be reduced from 14 days to 7 days and on-site inspections will... Inspection reports will be provide to the Town of Orangetown and the Owner within one business day...”**

35. The following sentence shall be added to *Executive Summary* and Section 7.2 – *Site Inspections* on page 21 of the SWPPP (either to the end of paragraph 2 or in between paragraph 2 & 3):

**“The Owner/ Owner’s Qualified SWPPP inspector shall email a digital copy of ALL SWPPP inspections to the Town of Orangetown – DEME ([bpeters@orangetown.com](mailto:bpeters@orangetown.com)), as well as keeping paper copies with the field copy of the SWPPP.”**

36. The NOI needs to be completed.

37. All existing utility easements and dedications – metes and bounds specifically, shall be shown on ALL of the plans.

**38. Drainage Review Recommendation – Brooker Engineering**  
Drainage calculations have been provided to demonstrate that potential significant impacts with respect to drainage can be mitigated. The plan submitted for this revision maintains the overall drainage mitigation measures. The Drainage Consultant, Brooker Engineering therefore recommends that the Henry Kaufman Campground Site Plan – Bronx House be approved for drainage subject to the following Project Comments.

**Project Description**  
This is the fourth drainage review report for this project; the last review was dated December 10, 2019. For the original submission, an overall Site Plan was prepared for nine replacement camp shelters, seven new camp shelters, parking areas, walking paths, recreational facilities, new buildings and an aquatic center. The improvements are to be constructed in three phases over two years. According to the information provided in the EAF, the overall site is 105.9 acres and 16.4 acres are proposed to be disturbed. A total of 3.8 acres of impervious area is proposed to be added to the site.

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**Continuation of Condition #38...**

The current submission includes the improvements at the Bronx House area of the site. The Bronx House area is located at the northwest corner of the site, east of McKinley Street and Duhamme Road. Stormwater runoff in this portion of the site flows east toward the Nauraushaun Brook. No stormwater runoff from this portion of the site flows towards the residences abutting the site that fronts on Sickletown Road.

There is a series of wetlands along the eastern portion of the site that discharge to a swale that outlets to a residential lot along Sickletown Road. The Nauraushaun Brook, a FEMA mapped stream that is also regulated by the Local Floodplain Administrator and the Rockland County Drainage Agency, flows south along the west side of the property. The site is lightly developed and contains numerous wooded areas.

The Bronx House Phase of the project includes two new "homebase pavilion" structures, one new aquatic center, and a new baseball field and soccer field. Bioretention facilities for stormwater quality and quantity mitigation are proposed adjacent to each of the three new impervious structures.

The plans submitted for the previous application include stormwater mitigation calculations and a Stormwater Pollution Prevention Plan.

The updated plans contain the same major elements in the previous Bronx House phase: an aquatic center, two homebase pavilions and a renovated baseball field. The two homebase pavilions are sited at about the same locations as the previous submission and are the same sizes with the same stormwater mitigation measures. The grass playfield is also the same size and location as the previous submission. The previously proposed new baseball field has been eliminated; the existing woods at this location will remain and therefore the existing drainage pattern and stormwater runoff rates will be maintained. The existing baseball field will remain and be reconfigured in lieu of a new baseball field.

#### **Project Comments**

The following project comments remain from the February 21, 2018 drainage review:

1. Revise the grading on the west side of Homebase BH-2 and the north side of Homebase BH-1 to provide a minimum of 2% positive drainage away from the structures over a horizontal distance of at least ten feet.

OFFICE S.KR373 NM01

80 :11 V 81 NP 0202

NM0139V90 JO NM01

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**Continuation of Condition #38...**

2. Provide riprap detail and calculations to demonstrate stormwater from the new outfalls will not erode the steep slopes.
39. The Rockland County Department of Planning had the following comments which are herein incorporated as conditions:
  1. A review must be completed by the County of Rockland Drainage Agency and any required permits obtained.
  2. A review must be completed by the County of Rockland Department of Highway, any concerns addressed and all required permits obtained.
  3. A review must be completed by the Rockland County Department of Health, and any concerns or comments addressed, and any required permits obtained.
  4. If there is any encroachment into the Federal wetlands, a review must be completed by the United States Army Corps of Engineers and all required permit obtained.
  5. The Floodplain Administrator for the Town of Orangetown shall certify that the proposed construction is in compliance with the floodplain regulations of the Town and the Federal Emergency Management Agency.
  6. There shall be no net increase in the peak rate of discharge from the site at all design points.
  7. Retaining walls that are over four (4) feet in vertical height shall be designed by a licensed New York State Professional Engineer and be in compliance with the NYS Fire Prevention and Building Code. Design plans shall be signed and sealed by the licensed engineer.
  8. The application form indicates the property receives water service from United Water. The form must be corrected to state "Suez."
  40. The Rockland County Drainage Agency reviewed the submitted information and provided the following comments:
    - a. In response to the applicant's recent inquiry, the request for the removal of the impervious material be completed by October 31, 2020 is granted. This is the final extension.

301110 S.M3373 NM01

80:11 V 81 NOV 0202

NM013GNVRO JO NM01

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**Continuation of Condition #40...**

b. Rockland County Drainage Agency (RCDA) has previously reviewed the parcel and determined that the site is within the jurisdiction of RCDA. Therefore, a permit or a determination otherwise from RCDA, pursuant to the Rockland County Stream Control Act is required for any developments within this parcel. Please note that an application for a different project to address the existing Stream Control Act violations was received by the RCDA; however, a permit was NOT issued. Please have the applicant provide the RCDA with requested information to complete the permit process or address the existing site violations as authorized by the RCDA immediately. Any new proposal will require a new Stream Control Act permit and the application is available at the County website, under Highway Department, Drainage Division.

Please note that an application for a site development proposal was submitted to the RCDA in year 2018 to address the existing Stream Control Act violations due to the unauthorized developments done at the site without a valid permit from the RCDA. The application was reviewed and comments were issued under permit application No. 18-01; however to date, a Stream Control Act Permit was NOT issued to address the violations or the site violations have NOT been abated as authorized by the RCDA. Please further note that a new permit cannot be issued until the existing site violations are addressed to the satisfaction of the RCDA.

By copy of this letter the RCDA is hereby notifying the Town of Orangetown land use boards and departments that this parcel and the current property owner are in violation of the Rockland County Stream Control Act, Chapter 846, as indicated above. Any future decisions or determinations made by the Town of Orangetown land use boards and departments regarding this parcel shall indicate that it is within the jurisdiction of the RCDA and that a permit or a determination otherwise from RCDA will be required for all developments within this parcel. The RCDA recommends that the Town of Orangetown land use boards and departments ensure the applicant has secured the necessary permits and approvals from all interested and involved agencies and has not outstanding violations, as a prerequisite for granting any final approvals.

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**41.** The Rockland County Health Department reviewed the plans and offered the following comment:

- The septic system and stormwater management improvements listed in the narrative will need Rockland County Health Department approvals.
- The Engineering plans for any proposed pool or modifications to existing pools must be submitted to and approved by the Rockland County Health Department prior to construction.

**42.** The Rockland County Highway Department has reviewed the plans prepared by Stattec Consulting Engineers, and offer the following comments:

1. As the proposed improvement at the referenced location is expected to increase traffic flow or change the level of service on the County road system, a traffic analysis shall be required to explain days and hours of operation of the facility, traffic impact, and potential mitigation measures, if needed.
2. The driveway design shall prevent the need for undue deceleration in a travel lane and preclude turning vehicle encroachment on adjacent highway travel lanes by the largest vehicle expected to routinely use the driveway. The driveway serving larger vehicles shall also accommodate their turning path without providing excessive pavement width. The above requirements shall be analyzed and confirmed.
3. The proposed entrance #2 on Sickletown Road shall show the details and relevant dimensions.
4. The roadway leading to the parking lot through the entrance #2 on Sickletown Road shall be designed to provide adequate support for the volume and character of traffic using the roadway.
5. The adequate line of sights shall be provided for the proposed driveway or entrance #2 on Sickletown Road.
6. The drainage report shall verify that there would be no net increase in the peak rate of discharge from the site at all design points.
7. Is there any proposed lighting plan on the driveway? If yes, the details shall be provided.

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MM013GNV90 JO MM01

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**Continuation of Condition #42...**

8. A Highway Work Permit must be obtained from the Rockland County Highway Department prior to the start of any construction as Sickletown Road is a County Road.
9. The future submissions incorporating the above comments shall also be distributed to Rockland County Highway Department for review.
43. The U.S. Army Corps of Engineers reviewed the plans and conceptual Stormwater Management Plan and it appears that authorization from the Army Corps of Engineers (Corps) may be required for the discharge of fill material, as associated with the proposed activity into the Waters of the United States. The Corps requests that the applicant address the following concerns:
  1. The Conceptual Stormwater Management plan shows overlapping bio-retention and wetland features. If this overlap represents the discharge of fill to a wetland area, then a Corps permit may be required.
  2. There appears to be stream channels in the project area that are not shown on the site Plan. These channels may also be jurisdictional waters.
  3. The limit of disturbance, which encompasses all grading, staging areas, temporary stockpiles, sediment and erosion controls, and any other temporary or permanent earth disturbance or discharge of fill material, shall be included on the site plan. Without this information, the Corps cannot make a determination regarding additional potential impacts.
44. If the applicant, during the course of construction of any required public improvements or private sanitary or storm sewer improvements, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant (or the applicant's engineer) shall submit their recommendations as to the special treatment or design modification to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's (applicant's engineer's) recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's (applicant's engineer's) disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Federal Wetlands - U.S. Army Corps of Engineers).

301JF40 S.KR373 NAO1

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NA013GNV90 JO NAO1



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**45.** All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and /or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21A-9. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Site Plan Approval pursuant to Town Code §21A-4.

**46.** All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and/or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21A-9. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Site Plan Approval pursuant to Town Code §21A-4.

**47.** The applicant shall comply with all pertinent items in the Guide to the Preparation of Site Plans and Board Decisions prior to signing the final plans.

**48.** All reviews and approvals from various governmental agencies must be obtained prior to stamping of the Site Plan.

**49. TREE PROTECTION:** The following note shall be placed on the site plan: The Tree Protection and Preservation Guidelines adopted pursuant to Section 21-24 of the Land Development Regulations of the Town of Orangetown will be implemented in order to protect and preserve both individual specimen trees and buffer area with many trees. Steps that will be taken to preserve and protect existing trees to remain are as follows:

- a. No construction equipment shall be parked under the tree canopy.
- b. There will be no excavation or stockpiling of earth underneath the trees.
- c. Trees designated to be preserved shall be marked conspicuously on all sides at a 5 to 10 foot height.
- d. The Tree Protection Zone for trees designated to be preserved will be established by one of the following methods:

- One (1) foot radius from trunk per inch DBH.
- Drip line of the Tree Canopy. The method chosen should be based on providing the maximum protection zone possible. A barrier of snow fence or equal is to be placed and maintained one yard beyond the established tree protection zone. If it is agreed that the tree protection zone of a selected tree must be violated, one of the following methods must be employed to mitigate the impact:

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**PB #20-24: Henry Kaufmann Campground, Inc.**

**Permit #446910**

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**Continuation of Condition #49...**

- Light to Heavy Impacts – Minimum of eight inches of wood chips installed in the area to be protected. Chips shall be removed upon completion of work.

- Light Impacts Only – Installation of ¾ inch of plywood or boards, or equal over the area to be protected.

The builder or its agent may not change grade within the tree protection zone of a preserved tree unless such grade change has received final approval from the Planning Board. If the grade level is to be changed more than six (6) inches, trees designated to be preserved shall be welled and/or preserved in a raised bed, with the tree well a radius of three (3) feet larger than the tree canopy.

**50.** All landscaping shown on the site plans shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.

**51.** Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.

**52.** The contractor's trailer, if any is proposed, shall be located as approved by the Planning Board.

**53.** If the applicant, during the course of construction, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant shall submit their recommendations as to the special treatment to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Wetlands - U.S. Army Corps of Engineers).

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**54.** Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.

**55.** Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEME with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications

**56.** The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse control.

The foregoing Resolution was made and moved by Michael Mandel and seconded by Andrew Andrews and carried as follows: Thomas Warren – Chairman, aye; William Young, Vice-Chairman, aye; Andrew Andrews, aye; Robert Dell, aye; Stephen Sweeney, absent; Michael Mandel, aye; Michael McCrory, aye and Bruce Bond, absent.

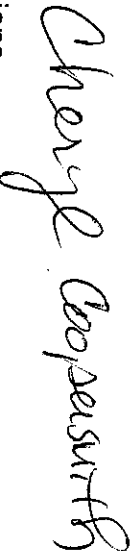
The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

**Dated: June 1, 2020**

Cheryl Coopersmith

Chief Clerk Boards and Commissions

Town of Orangetown Planning Board



OFFICE  
CLERK'S  
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TOWN OF ORANGETOWN