

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

**2020 LAND USE BOARD APPLICATION**

*Please check all that apply:*

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 49811  
 ASSIGNED \_\_\_\_\_  
 INSPECTOR: Glen  
 Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

**Project Name:** 462 Washington Street Tappan, New York

**Street Address:** 462 Washington Street Tappan, New York

**Tax Map Designation:**  
 Section: 77.08 Block: 3 Lot(s): 55  
 Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

**Directional Location:**  
 On the \_\_\_\_\_ side of \_\_\_\_\_, approximately \_\_\_\_\_ feet \_\_\_\_\_ of the intersection of \_\_\_\_\_, in the Town of ORANGETOWN in the hamlet/village of \_\_\_\_\_.

Acreage of Parcel <u>.35</u>	Zoning District <u>R-15</u>
School District <u>Orangetown</u>	Postal District <u>Tappan</u>
Ambulance District <u>S Orange Twp</u>	Fire District <u>Tappa-</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown Sewer</u>

**Project Description:** *(If additional space required, please attach a narrative summary.)*  
 Existing front deck is passed the minimum side yard and minimum combined side yard numbers  
 \_\_\_\_\_  
 \_\_\_\_\_

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 6/3/20 Applicant's Signature: May Kay

11-18-20

May Kay

### APPLICATION REVIEW FORM

**Applicant:** Mary Kirby Phone # 6178775853

**Address:** 767 Rt. 9W S Nyack NY 10960  
Street Name & Number (Post Office) City State Zip Code

**Property Owner:** Shin Yeon Kim Phone # \_\_\_\_\_

**Address:** 462 Washington St. Tappan NY 10983  
Street Name & Number (Post Office) City State Zip Code

**Engineer/Architect/Surveyor:** Josh Jakob Architect Phone # 201-244-6142

**Address:** \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Attorney:** \_\_\_\_\_ Phone # \_\_\_\_\_

**Address:** \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Contact Person:** Mary Kirby Phone # 617-877-5853

**Address:** 767 Rt. 9W S Nyack NY 10960  
Street Name & Number (Post Office) City State Zip Code

### GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:  
(Check all that apply)

**IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.**

- |   |   |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path            | <input type="checkbox"/> County Stream        |
| <input type="checkbox"/> Municipal Boundary   | <input type="checkbox"/> County Facility      |

List name(s) of facility checked above:

\_\_\_\_\_  
\_\_\_\_\_

#### Referral Agencies:

- |  |  |
|--|--|
| <input type="checkbox"/> RC Highway Department       | <input type="checkbox"/> RC Division of Environmental Resources  |
| <input type="checkbox"/> RC Drainage Agency          | <input type="checkbox"/> RC Dept. of Health                      |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority       | <input type="checkbox"/> Palisades Interstate Park Commission    |
| <input type="checkbox"/> Adjacent Municipality _____ |  |
| <input type="checkbox"/> Other _____                 |  |

# APPLICATION REVIEW FORM

**FILL IN WHERE APPLICABLE.**

**( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )**

**If subdivision:**

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

**If site plan:**

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

**If special permit**, list special permit use and what the property will be used for.

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**Environmental Constraints:**

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there **streams** on the site? If yes, please provide the names. \_\_\_\_\_

Are there **wetlands** on the site? If yes, please provide the names and type: \_\_\_\_\_

**Project History:**

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

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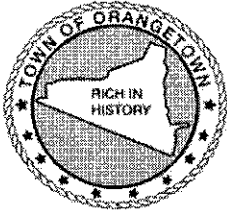
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List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

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OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN

20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**DENIAL TO THE ZONING BOARD OF APPEALS**

Date: November 23, 2020

Applicant: Kirby

Address: 462 Washington St, Tappan, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-15 District, Column 2 Group M, Column 3 SFR, Column 9 Min Side Yard 20' with 13.04' proposed, Column 10 Min Total Side Yard 50' with 24.69' proposed. 2 Variances required

*Section 521 (e)  
undersized lot  
appeals*

Section: 77.08

Block: 3

Lot: 55

Dear Kirby:

Please be advised that the Building Permit Application, which you submitted on

February 14, 2020, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

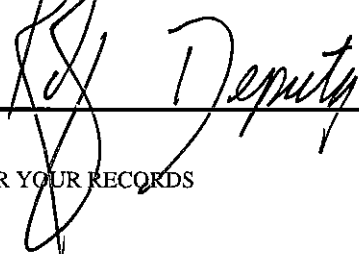
Sincerely,

  
Richard Olivet  
Deputy Building Inspector

*11/23/2020*

Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
12-31-18-CCC

Date  
CC: Rosanna Sfraga  
Liz Decort  
Debbie Arbolino

  
*Deputy* *11/23/2020*

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.  
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.

**APPLICATION FOR BUILDING / DEMOLITION PERMIT**

**TOWN OF ORANGETOWN**

20 Greenbush Road, Orangetown, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: R-15 OFFICIAL USE ONLY ACREAGE: .32  
 Inspector: G. (GML) Date App Received: 2/14/2020 Received By: l12  
 Permit No. 49811 Date Issued: \_\_\_\_\_  
 CO No. \_\_\_\_\_ Date Issued: \_\_\_\_\_  
 Permit Fee: \$240 Ck# 336 Paid By MARY KIRBY  
 GIS Fee: \$20 Ck# 335 Paid By \_\_\_\_\_  
 Stream Maintenance Fee Ck # \_\_\_\_\_ Paid By \_\_\_\_\_  
 Additional Fee: \_\_\_\_\_ Ck# \_\_\_\_\_ Date Paid \_\_\_\_\_ Paid By \_\_\_\_\_  
 1<sup>st</sup> 6 mo. Ext.: \_\_\_\_\_ Ck # \_\_\_\_\_ Exp. Date: \_\_\_\_\_ Paid By \_\_\_\_\_  
 2<sup>nd</sup> 6 mo. Ext.: \_\_\_\_\_ Ck # \_\_\_\_\_ Exp. Date: \_\_\_\_\_ Paid By \_\_\_\_\_

**APPLICANT COMPLETES:**

Note: See inside for instructions for completing this application,  
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 462 Washington St. TAPPAN, NY 10983  
 Section: 7708 Block: 3 Lot: 55  
 Property Owner: Mary Kirby  
 Mailing Address: 462 Washington St.  
 Email: MKirby13@gmail.com Phone #: 617-877-5853  
 Lessee (Business Name): \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 Email: \_\_\_\_\_ Phone #: \_\_\_\_\_  
 Type of Business /Use: \_\_\_\_\_  
 Contact Person: Mary Kirby Relation to Project: Self-Owner  
 OR ✓ Email: MKirby13@gmail.com Phone #: 617-877-5853  
 Architect/Engineer: Jon Takob NYS Lic # 041194  
 Address: 253 S. Washington Ave. 07621 Phone#: 201-523-1103  
 Builder/General Contractor: \_\_\_\_\_ RC Lic # \_\_\_\_\_  
 Address: \_\_\_\_\_ Phone#: \_\_\_\_\_  
 Plumber: \_\_\_\_\_ RC Lic # \_\_\_\_\_  
 Address: \_\_\_\_\_ Phone#: \_\_\_\_\_  
 Electrician: \_\_\_\_\_ RC Lic # \_\_\_\_\_  
 Address: \_\_\_\_\_ Phone#: \_\_\_\_\_  
 Heat/Cooling: \_\_\_\_\_ RC Lic#: \_\_\_\_\_  
 Address: \_\_\_\_\_ Phone#: \_\_\_\_\_  
 Existing use of structure or land: single-family residential  
 Proposed Project Description: legalize existing stairs & deck/porch structure in front/side of house  
 Proposed Square Footage: \_\_\_\_\_ Estimated Construction Value (\$): \$5880

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: \_\_\_\_\_

PERMIT REFERRED / DENIED FOR:

Chptr 43, Table 3.12, Col 1 R-15, Col 2 Group 1a, Col 3 SPA, Col 9 Side Yd 20' w/ 13.04' proposed, Col 10 Tot Side Yd 50' w/ 24.69' proposed  
2 VARIANCES REQ'D.

11/23/2020  
[Signature]

FOR OFFICE USE ONLY SECTION 7708 CK 3 LOT 55 NAME Kirby PERMIT# 49811

Mary Kirby  
Tax Map #: 77.08-3-55  
10 Waverly Pl  
New York, NY 10003

Eric Medina  
Tax Map #: 77.12-1-20  
46 Horan Pl  
Tappan, NY 10983

~~John Cocuzza  
Tax Map #: 77.08-3-49  
500 Washington St  
Sparkill, NY 10976~~

Ronald C Krumm  
Tax Map #: 77.08-3-54  
470 Washington St  
Tappan, NY 10983

~~Joseph Punnen  
Tax Map #: 77.12-1-27  
27 Horan Pl  
Tappan, NY 10983~~

~~Ann Soto  
Tax Map #: 77.12-1-28  
19 Horan Pl  
Tappan, NY 10983~~

Joseph Martin  
Tax Map #: 77.12-1-25  
45 Horan Pl  
Tappan, NY 10983

Brett Karopczyc  
Tax Map #: 77.12-1-46  
453 Washington St  
Tappan, NY 10983

~~Miriam Cinquegrana  
Tax Map #: 77.08-3-50  
34 Piermont St  
Tappan, NY 10983~~

John E Ferri  
Tax Map #: 77.12-1-32  
454 Washington St  
Tappan, NY 10983

George Garrecht  
Tax Map #: 77.12-1-34.4  
20 Delongis Ct  
Sparkill, NY 10976

~~Anna Kleiner  
Tax Map #: 77.08-3-58  
19 Piermont St  
Tappan, NY 10983~~

Carmen Texeira  
Tax Map #: 77.12-1-26  
35 Horan Pl  
Tappan, NY 10983

John T Moeller  
Tax Map #: 77.12-1-21  
1208 Pine Hill Rd  
Mc Lean, VA 22101

Edvins I Puris  
Tax Map #: 77.12-1-19  
51 Sparkill Ave  
Tappan, NY 10983

Timothy P Farrell  
Tax Map #: 77.08-3-53  
478 Washington St  
Tappan, NY 10983

Kenneth Collins  
Tax Map #: 77.08-3-57  
23 Piermont St  
Tappan, NY 10983

Deborah D Brenner  
Tax Map #: 77.12-1-50  
417 Washington St  
Tappan, NY 10983

John Bodnaruk  
Tax Map #: 77.08-3-56  
31 Piermont St  
Tappan, NY 10983

Nancy R Mc Dowell  
Tax Map #: 77.12-1-47  
437 Washington St  
Tappan, NY 10983

~~Eileen J Lyman  
Tax Map #: 77.12-1-30  
430 Washington St  
Tappan, NY 10983~~

Michael Dimeglio  
Tax Map #: 77.12-1-34.5  
PO BOX 246  
Tappan, NY 10983

Jin Yong Kim  
Tax Map #: 77.12-1-49  
419 Washington St  
Tappan, NY 10983

~~John Garcia  
Tax Map #: 77.12-1-34.2  
16 Delongis Ct  
Sparkill, NY 10976~~

Colleen Bonfiglio  
Tax Map #: 77.12-1-34.6  
24 Delongis Ct  
Sparkill, NY 10976

Brian O'Donohue  
Tax Map #: 77.12-1-34.7  
26 Delongis Ct  
Sparkill, NY 10976

~~Daniels Family 2012 Trust  
Tax Map #: 77.08-3-60  
700 Columbus Ave  
New York, NY 10025~~

Alexander Lococo  
Tax Map #: 77.12-1-31  
444 Washington St  
Tappan, NY 10983

Robert C Dell  
Tax Map #: 77.12-1-48  
421 Washington St  
Tappan, NY 10983

~~Hyon Chae  
Tax Map #: 77.12-1-23  
22 Horan Pl  
Tappan, NY 10983~~

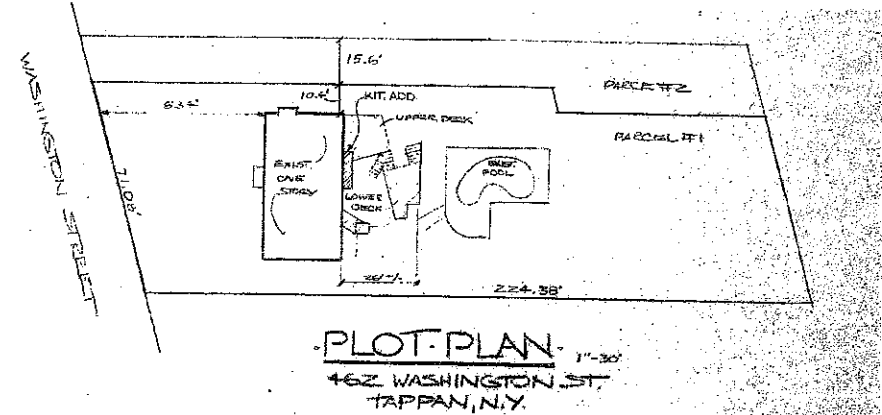
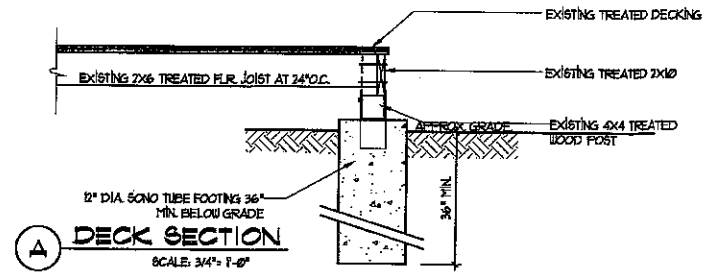
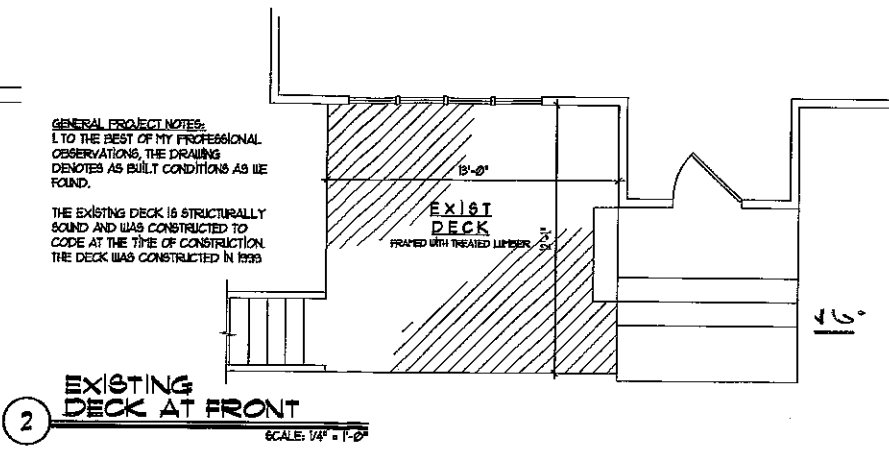
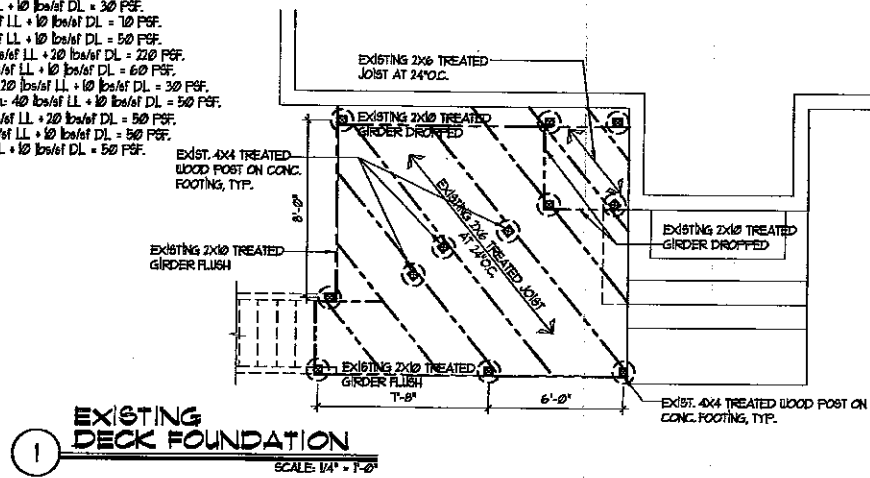


Site  
77.08-3-55

**AL NOTES**

**RELOADING**  
 and comply for these requirements.

- 20 lbs/sf LL + 10 lbs/sf DL = 30 PSF.
- concrete: 60 lbs/sf LL + 10 lbs/sf DL = 70 PSF.
- 40 lbs/sf LL + 10 lbs/sf DL = 50 PSF.
- anchors: 200 lbs/sf LL + 20 lbs/sf DL = 220 PSF.
- III comp: 50 lbs/sf LL + 10 lbs/sf DL = 60 PSF.
- single garage: 20 lbs/sf LL + 10 lbs/sf DL = 30 PSF.
- than sleeping rm: 40 lbs/sf LL + 10 lbs/sf DL = 50 PSF.
- ms: 30 lbs/sf LL + 20 lbs/sf DL = 50 PSF.
- 40 lbs/sf LL + 10 lbs/sf DL = 50 PSF.
- 40 lbs/sf LL + 10 lbs/sf DL = 50 PSF.



ZONING INFORMATION	REQUIRED	EXISTING	PROPOSED
R-15 ZONE 462 WASHINGTON STREET TAPPAN NEW YORK			
MAX. FLOOR AREA	20% (3,044 s.f.)	25% (1,959 s.f.)	no change
MIN. LOT AREA	15,000 s.f.	15,220 s.f.	no change
MINIMUM LOT WIDTH	100 ft.	110.8 ft.	no change
MINIMUM STREET FRONTAGE	75 ft.	110.8 ft.	no change
MIN. FRONT YARD	30 ft.	38.62 ft.	no change
MIN. SIDE YARD	20 ft.	10.40 ft. (house) 13.04 ft. (deck)*	
TOTAL SIDE YARD	50 ft.	22.05 ft.	24.69 ft. *
REAR YARD SETBACK	35 ft.	119 ft.	no change

\* BULK VARIANCE REQUIRED

NEW PARTITIONS

**PRINTZ RESIDENCE**

FLOOR, DECK, FOUNDATION PLANS

PLOT PLAN

TYPICAL SECTION

DESIGNER: J. VIS GOSHEN, N.Y. 914-294-5396

CONSULTING ENGINEER: J. McLENNAN, 85 HILLCREST ROAD, HARTSDALE, N.Y. 10520 914-428-4976

DATE: 9-2-89

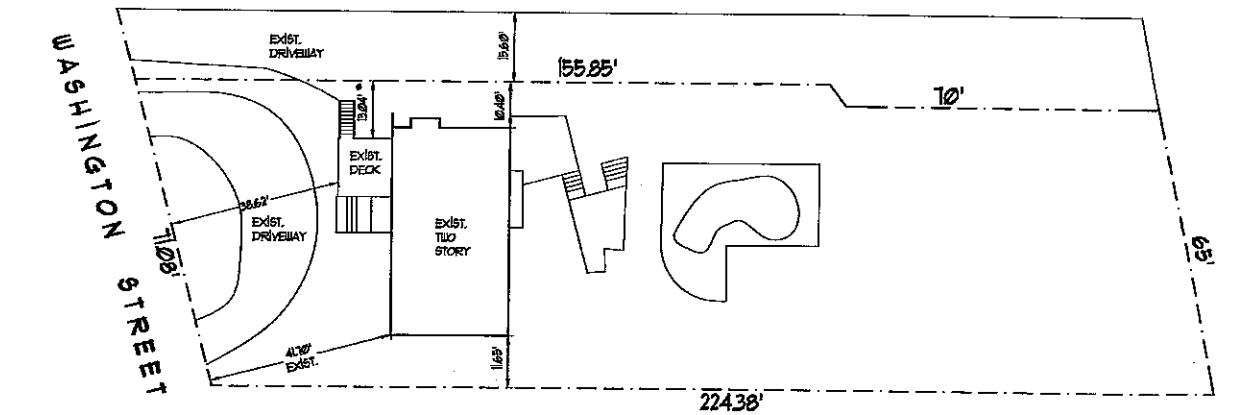
SCALE: 1" = 30'

SCALE: 1" = 12'

SCALE: 1" = 12'



**A FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**SITE PLAN**  
 SCALE: 1" = 20'-0"  
 ALL SITE INFORMATION IS TAKEN FROM AN OWNER'S PROVIDED SURVEY AS PREPARED BY DEMARCATO

RECEIVED  
 MAR 19 2020  
 TOWN OF ORANGETOWN  
 BUILDING DEPARTMENT

**EXISTING DECK PLAN & DECK FOUNDATION**

DRAWING NO.	PROJECT SITE	CHECKED: JJ
<b>A1.0</b>	<b>EXISTING FRONT DECK</b> 462 WASHINGTON STREET TAPPAN, NEW YORK	DRAWN: FN
AN & BULK TABLE 03-09-2020	TAX LOT 77.08 - 3 - 55	DATE: 02-13-2020
AS PER COMMENTS 02-25-2020		
DECK 02-13-2020		
SION		

