

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2020 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 50689
ASSIGNED _____
INSPECTOR: GM
Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: L+Z Partners Addition L+Z Partners

Street Address: 250 Blawett Rd, Pearl River

Tax Map Designation:
Section: 69.13 Block: 2 Lot(s): 7
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the S side of Blawett Rd, approximately 314 feet W of the intersection of Colonial Ct, in the Town of ORANGETOWN in the hamlet/village of Pearl River.

Acreage of Parcel <u>.2969</u>	Zoning District <u>R-15</u>
School District <u>Pearl River</u>	Postal District <u>Pearl River</u>
Ambulance District <u>Pearl River</u>	Fire District <u>Pearl River</u>
Water District <u>SLR 2</u>	Sewer District <u>Orange town</u>

Project Description: (If additional space required, please attach a narrative summary.)
Addition to single family Res

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: _____ Applicant's Signature: _____

APPLICATION REVIEW FORM

Applicant: L&Z partners LLC Phone # (845) 825-9313
Address: 250 Blauvelt Rd Pearl River NY 10965

Property Owner: L&Z partners LLC Phone # (845) 825-9313
Address: 176 N Main Street Spring Valley NY 10977

Engineer/Architect/Surveyor: Phone #
Address: Street Name & Number (Post Office) City State Zip Code

Attorney: Phone #
Address: Street Name & Number (Post Office) City State Zip Code

Contact Person: Jonathan Bisko Phone # (845) 825-9313
Address: Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- State or County Road
Long Path
Municipal Boundary
State or County Park
County Stream
County Facility

List name(s) of facility checked above:

Referral Agencies:

- RC Highway Department
RC Drainage Agency
NYS Dept. of Transportation
NYS Thruway Authority
Adjacent Municipality
Other
RC Division of Environmental Resources
RC Dept. of Health
NYS Dept. of Environmental Conservation
Palisades Interstate Park Commission

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

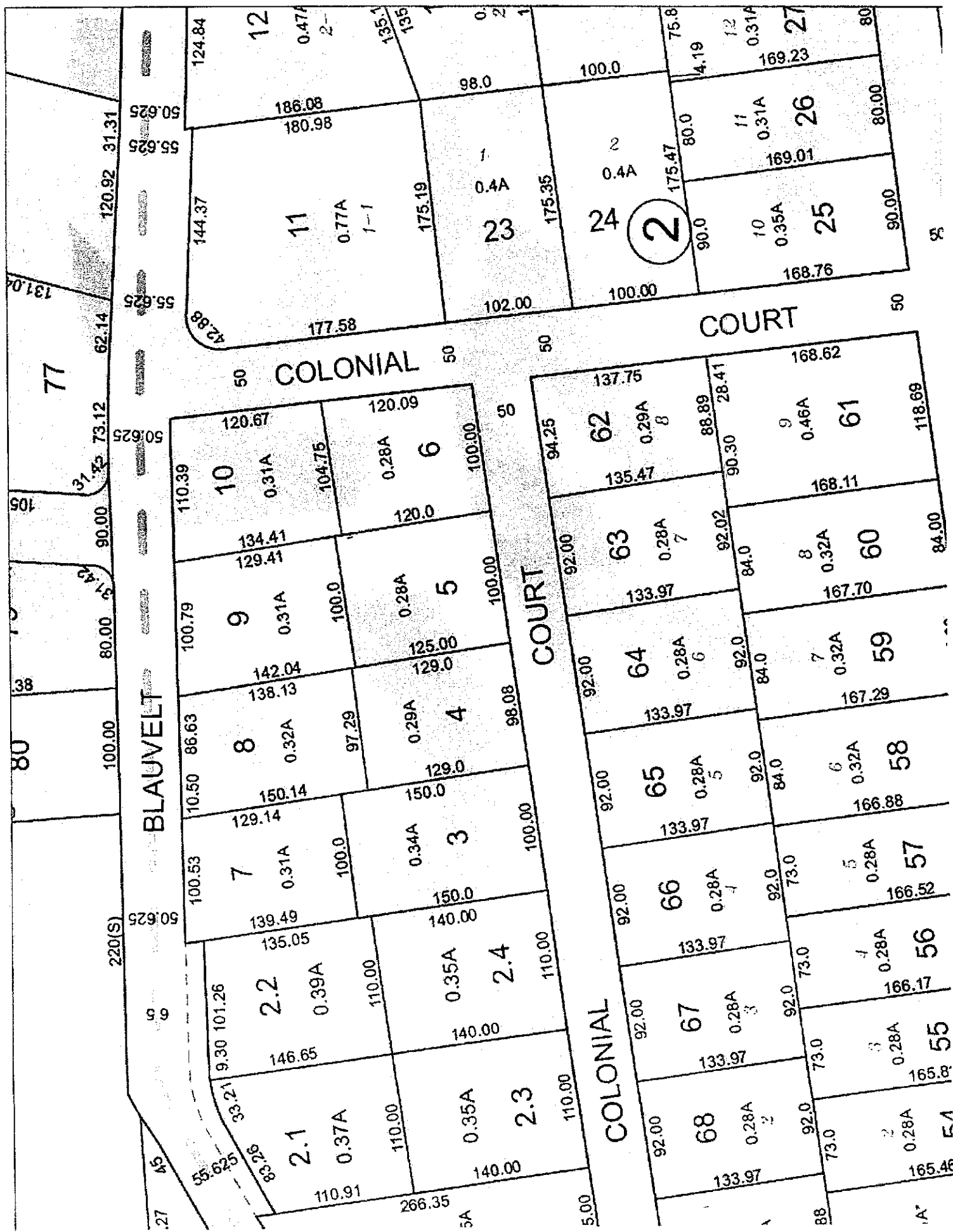
Project History:

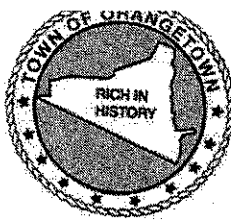
Has this project ever been reviewed before? No _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

SWIS	PRINT KEY	NAME	ADDRESS
392489	89.09-5-79	James J Rahal III	261 Blauvelt Rd, Pearl River, NY 10965
392489	89.09-5-80	Mary Ellen Malley	255 Blauvelt Rd, Pearl River, NY 10965
392489	89.13-2-3	Catherine Callahan	53 Colonial Ct, Pearl River, NY 10965
392489	89.13-2-4	Thomas J Reddan	63 Colonial Ct, Pearl River, NY 10965
392489	89.13-2-5	William Garrison Jr	71 Colonial Ct, Pearl River, NY 10965
392489	89.13-2-7	L&Z Partners LLC	176 N Main St, Spring Valley, NY 10977
392489	89.13-2-8	Maye T Gerard	262 Blauvelt Rd, Pearl River, NY 10965
392489	89.13-2-9	Constance A Racavich	266 Blauvelt Rd, Pearl River, NY 10965
392489	89.13-2-10	Mary A Driscoll	270 Blauvelt Rd, Pearl River, NY 10965
392489	89.13-2-2.1	Bernadette Kelly-Finch	226 Blauvelt Rd, Pearl River, NY 10965
392489	89.13-2-2.2	John Hynes	230 Blauvelt Rd, Pearl River, NY 10965
392489	89.13-2-2.3	Brendan Bane	49 Colonial Ct, Pearl River, NY 10965
392489	89.13-2-2.4	New Vistas of Rockland Inc Attn: Chris Monroe/ARC	25 Hemlock Dr, Congers, NY 10920





OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
 20 Greenbush Road
 Orangeburg, N.Y. 10962

Jane Slavin, R.A.
 Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: November 4, 2020

Applicant: L & Z Partners LLC

Address: 176 N Main St, Spring Valley, NY

RE: Application Made at: 250 Blauvelt Rd. NY

Chapter 43, Table 3.12 Column 1 R-15 District, Column 2 Group M, Column 3 SFR, Column 4 Max FAR 20% w/ 24% proposed, Column 9 Min Side Yard 15' w/ 13.1' proposed, Column 11 Min Rear Yard 35' w/ 28.3' proposed, Column 12 Max height 20' with 23' proposed.
 4 Variances required
 Chapter 43, Section 5.21 (c)(e) Undersized Lot applies for side yard, total side yard, and height

Section: 69.13

Block: 2

Lot: 7

Dear L & Z Partners LLC:

Please be advised that the Building Permit Application, which you submitted on October 16, 2020, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,


 Richard Oliver
 Deputy Building Inspector

Signature of Director
 NOTE: PLEASE KEEP FOR YOUR RECORDS
 12-31-18-CCC

Deputy

11/4/2020

Date
 CC: Rosanna Sfraga
 Liz Decort
 Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE. TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.
APPLICATION FOR BUILDING / DEMOLITION PERMIT

TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: <u>R-15</u>	OFFICIAL USE ONLY	ACREAGE: <u>.29</u>
Inspector: <u>Colan</u>	Date App Received: _____	Received By: <u>10-16-2020</u>
Permit No. <u>50689</u>	Date Issued: _____	
CO No. _____	Date Issued: _____	
Permit Fee: <u>\$1,950.-</u>	Ck# <u>111</u>	Paid By <u>L+Z Partners LLC</u>
GIS Fee: <u>\$20-</u>	Ck# <u>112</u>	Paid By _____
Stream Maintenance Fee	Ck # _____	Paid By _____
Additional Fee: _____	Ck# _____	Date Paid _____ Paid By _____
1 st 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____ Paid By _____
2 nd 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____ Paid By _____

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application, PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 250 Blauvelt Rd Pearl River NY 10965
 Section: 69.13 Block: 2 Lot: 7
 Property Owner: L+Z Partners LLC
 Mailing Address: 176 N Main Street Spring Valley NY 10977
 Email: Scranton Realty @ gmail.com Phone #: (845) 825-9313
 Lessee (Business Name): _____
 Mailing Address: _____
 Phone #: _____

Type of Business /Use: _____
 Contact Person: Jonathon Blisko Relation to: Owner
 Email: Scranton Realty @ gmail.com Phone#: (845) 825-9313
 Architect/Engineer: Stanley S Mayerfeld NYS Lic # 039659
 Address: 15 Lyncrest Dr. Mansey NY 10952 Phone#: (845) 354-0001
 Builder/General Contractor: Karash Construction Corp. RC Lic # H-17140
 Address: 4 Anchor Road New Hempstead NY 10977 Phone#: (845) 667-4075
 Plumber: IZZY Plumbing & Heating Inc. RC Lic # P-789
 Address: 66 Woodbine Road New City NY 10956 Phone#: _____
 Electrician: First Class Electrical Contractors LLC RC Lic #: E-00501
 Address: 70 Hasbrouck Drive Woodburne NY 12788 Phone#: _____
 Heat/Cooling: _____ RC Lic#: _____
 Address: _____ Phone#: _____

Existing use of structure or land: Residential Home 1 Family
 Proposed Project Description: Residential Home 1 Family
Renovations & new roof & partial addition
 Proposed Square Footage: _____ Estimated Construction Value (\$): 220k
100k
 BUILDING DEPARTMENT COMPLETES BELOW 720k

PLANS REVIEWED: _____

PERMIT REFERRED/DENIED FOR:

Chapter 43, Table 3.12, Col 1 = 20'5", Col 2 Group M Col 3 S&R, Column 4 R&A 20% w/20% proposed, Column 9 Side Yard 15' w/13', Column 4 Rear Yard 35' w/ 28', Column 12 Max Height 20' w/ 25' proposed

Chapter 43, Section 5.21 (c)(6) applies for Side Yd, P&P Side Yd of Height Page 1

[Signature] 11/1/2020

FOR OFFICE USE ONLY SECTION 69.13 BLOCK 2 LOT 7 NAME L+Z PARTNERS PERMIT# 50689

PARTIAL SECOND FLOOR ADDITION TO SINGLE FAMILY RESIDENCE

250 BLAUVELT RD.
PEARL RIVER, NY

1. GENERAL CONDITIONS

ALL WORK PERFORMED SHALL COMPLY WITH ALL REQUIREMENTS OF LOCAL BUILDING CODE AND ZONING ORDINANCES OF THE TOWN OF ORANGETOWN, THE NEW YORK EDITION OF THE 2020 ICC INTERNATIONAL RESIDENTIAL CODE, THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, ALL RELATED 2020 ICC CODE BOOKS AND THE CURRENT NATIONAL ELECTRIC CODE.

CONTRACTORS SHALL CHECK ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND BE RESPONSIBLE FOR VERIFYING SAME. THEY SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND THE OWNER SHALL BE FURNISHED WITH CERTIFICATES OF SAID INSURANCE. CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION INSURANCE ON ALL WORKMEN EMPLOYED ON THE JOB SITE.

CONTRACTOR SHALL PROVIDE ALL MATERIALS, PERFORM ALL WORK AND INSTALL ALL MATERIALS IN ACCORDANCE WITH RECOGNIZED GOOD STANDARD PRACTICE.

CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE, CLEAN AND ORDERLY FASHION FOR THE DURATION OF THE CONSTRUCTION PERIOD. DISPOSE OF ALL CONSTRUCTION DEBRIS AT A LEGAL OFF-SITE WASTE FACILITY.

MINOR ITEMS SUCH AS BLOCKING, TRIM, ETC., SHALL BE PERFORMED AS REQUIRED TO MAKE THE WORK COMPLETE WHETHER SHOWN OR NOTED ON THE DRAWINGS OR NOT.

2. SITE WORK

PREPARATION OF SITE - PROTECT ALL CURBS, TOPSOIL AND THOSE TREES NOT TO BE REMOVED. EXCAVATED SOIL AND TOP SOIL SHALL BE USED FOR GRADING. GRADE THE SITE TO INSURE THAT WATER RUNS AWAY FROM THE HOUSE AND THAT NO LOW AREAS WILL BE CREATED AND CAUSE STANDING WATER.

EXCAVATING AND GRADING - ALL FOOTINGS AND PIERS CARRY TO LEVELS INDICATED OR A MINIMUM OF 3'-0" BELOW FINISH GRADE. ALL FOOTINGS TO BEAR ON VIRGIN SOIL HAVING A MINIMUM BEARING STRENGTH OF 2 TONS P.S.F. OR SOUND ROCK.

FOUNDATION DRAINAGE - INSTALL WATERPROOFING ON THE EXTERIOR OF ALL BELOW GRADE WALLS AND FLOOR SLABS. APPLY A GEOTEXTILE PREFABRICATED DRAINAGE SYSTEM WITH A 4" PERFORATED DRAINAGE PIPE WITH A POSITIVE OUTFLOW.

BACKFILL - AFTER COMPLETION OF FOUNDATION WALLS AND FIRST FLOOR FRAMING, PUDDLE AND TAMP ALL BACKFILL. REGRADE ELEVATIONS SHOWN ON DRAWINGS AND PROVIDE ANY ADDITIONAL FILL REQUIRED.

3. CONCRETE, MASONRY AND WOOD FRAMING

ALL ROUGH CARPENTRY SHALL BE NEW, THOROUGHLY SEASONED OR KILN DRIED, AND PROTECTED FROM WEATHER UNTIL PLACED IN THE BUILDING. FRAMING LUMBER SHALL BE NO. 1 AND 2 COMMON DOUGLAS FIR DRESSED ON FOUR SIDES. WOOD BEAMS, FLOOR JOISTS AND RAFTERS SHALL HAVE A MINIMUM ALLOWABLE STRESS OF 1200 PSI IN BENDING. PROVIDE WOOD BEAMS, FLOOR JOISTS, CEILING JOISTS, ROOF RAFTERS, STUD WALLS AND HEADERS AS SHOWN ON THE PLANS. LOAD BEARING STUD WALLS SHALL HAVE A SINGLE PLATE ON BOTTOM AND DOUBLE PLATE ON TOP OF EACH WALL. MINIMUM OF TWO STUDS AROUND ALL WALL OPENINGS. DOUBLE JOISTS AROUND ALL OPENINGS AND UNDER ALL PARTITIONS RUNNING PARALLEL TO FLOOR FRAMING. FLOOR JOISTS SHALL HAVE ONE ROW OF 1X8 CROSS BRIDGING FOR 15'-0" SPANS OR LESS. ALL SPANS OVER 15'-0" SHALL HAVE TWO ROWS ALL NAILED SECURELY TO JOISTS AT EACH END. IN THE CASE OF MANUFACTURED LUMBER SUCH AS PARALLAM 2 (OE FSL (P.L.) AND MICROLAM (OE LVL (M.L.) BEAMS, HEADERS AND POSTS AND 'TJI JOISTS' BY TRUS-JOIST MACMILLAN COMPANY, OR ARCHITECT APPROVED EQUAL, FOLLOW THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. NO HOLES SHALL BE DRILLED OR NOTCHES CUT IN ANY PARALLAM OR MICROLAM BEAM OR POST WITHOUT CONSULTING THE ARCHITECT AND/OR STRUCTURAL ENGINEER. ALL LOAD BEARING PARTITIONS SHALL HAVE ONE ROW OF SOLID BRIDGING AT MID HEIGHT. ALL WOOD COMING IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

INSPECT STRUCTURAL MEMBERS AND REPLACE ANY DAMAGED OR ROTTED MEMBERS AS REQUIRED.

4. WINDOWS, SKYLIGHTS, DOORS AND HARDWARE

WINDOWS - ALL WINDOWS TO BE MANUFACTURED BY ANDERSEN OR EQUIVALENT WITH OPTIONS, ACCESSORIES AND COLOR AS SELECTED BY THE OWNER/DESIGNER. ALL GLASS TO BE INSULATED LOW E HIGH PERFORMANCE GLAZING. USE CASHEM WINDOWS WITH U-FACTOR .29 AND SHGC .49 (SOLAR HEAT GAIN COEFFICIENT). PROVIDE INSECT SCREENS AND HARDWARE AS SELECTED BY OWNER. PROVIDE ARCHITECT WITH SHOP DRAWINGS PRIOR TO ORDERING ANY WINDOWS.

DOORS - EXTERIOR AND INTERIOR DOORS AS SELECTED BY OWNER. ALL GLASS LOCATED IN DOORS SHALL BE TEMPERED. GLASS IN ALL EXTERIOR DOORS TO BE INSULATED.

HARDWARE - PROVIDE EGRESS HARDWARE WHERE REQUIRED TO ACHIEVE 20" MINIMUM CLEAR OPENING WIDTH. HARDWARE AS SELECTED BY OWNER. ALL HARDWARE SHALL BE INSTALLED IN A WORKMAN LIKE MANNER IN STRICT ACCORD WITH THE MANUFACTURER'S RECOMMENDATIONS.

5. WALLS AND CEILINGS

ALL INTERIOR WALLS AND CEILINGS SHALL BE LAMINATED WITH 1 LAYERS OF 1/2" THICK GYPSUM WALL BOARD, UNLESS NOTED OTHERWISE ON THE PLANS. USE MOISTURE RESISTANT TYPE GYPSUM WALL BOARD FOR BASEMENT WALLS AND CEILINGS AND IN ALL TOILET AND BATHROOMS. USE 5/8" TYPE 'X' FIRE RATED GYPSUM WALL BOARD WHERE SPECIFIED ON THE PLANS. INSTALL R-20 BATT INSULATION IN ALL EXTERIOR WALLS.

6. FINISHES

FLOORING - FLOOR COVERINGS SHALL BE AS SELECTED BY THE OWNER.

BATH AND TOILET ROOMS - FLOORS TO BE TILE. ALL OF THE TILE AND MARBLE WORK SHALL BE DONE IN STRICT ACCORD WITH THE LATEST VERSION OF 'HANDBOOK FOR CERAMIC TILE INSTALLATION' BY THE TILE COUNCIL OF AMERICA (TCA). THE SURFACE SHALL BE CLEANED AND POLISHED AND LEFT IN PERFECT CONDITION.

EXTERIOR: TO MATCH EXISTING

7. FLOORS

ALL SUBFLOORING SHALL BE 3/4" TONGUE AND GROOVE PLYWOOD SECURELY SCREWED AND GLUED TO THE FLOOR JOISTS. ALL JOINTS SHALL BE MADE AT FLOOR JOISTS.

8. PAINTING

EXTERIOR DOORS - EXTERIOR DOORS SHALL RECEIVE TWO COATS OF BENJAMIN MOORE PAINT IN ACCORDANCE WITH DOOR MANUFACTURER'S RECOMMENDATIONS

INTERIOR TRIM AND FINISHES - AS SELECTED BY OWNER.

9. ROOFING, ROOF VENTS, FASCIA, SOFFITS, FLASHING AND INSULATION

ROOF SHINGLES - AS SELECTED BY OWNER

ROOF VENTS - ROOF VENTS, RIDGE VENTS SHALL BE INSTALL AS REQUIRED

METAL FASCIA AND TRIM - FASCIA SHALL BE 'UNA-CLAD' KYMAR 500 FLUOROCARBON .040 GA. ALUMINUM @ SHINGLE ROOF AREAS, COLOR TO MATCH ROOF. INSTALL PER MANUFACTURERS INSTRUCTIONS.

METAL SOFFITS - SOFFITS SHALL BE 'UNA-CLAD' UC-500 VENTILATED FLUSH PANEL SYSTEM. KYMAR 500 FLUOROCARBON .040 GA. ALUMINUM @ SHINGLE ROOF AREAS, COLOR TO MATCH ROOF. INSTALL PER MANUFACTURERS INSTRUCTIONS.

FLASHING - FLASH WHERE REQUIRED WITH COPPER FLASHING TO INSURE A WEATHERTIGHT SEAL. FLASHINGS WILL BE STEPPED WHERE NECESSARY AND STOCK FLASHINGS ARE TO BE USED AROUND ALL VENTS PROTRUDING THROUGH THE ROOF TO MAKE ALL WORK WEATHERTIGHT. FLASH ALL EXTERIOR DOOR AND WINDOW HEADS EXTENDING THE FLASHING AT LEAST 6" ABOVE THE FRAMES.

INSULATION - ALL EXTERIOR WALLS TO RECEIVE 6" (R19) BATT INSULATION. ROOF/CEILING SHALL RECEIVE 11" (R38) BATT INSULATION. INSTALL ALL INSULATION WITH THE VAPOR BARRIER FACING THE ROOM SIDE. FOUNDATION WALL AND CONCRETE SLAB SHALL BE INSULATED AS SHOWN ON THE PLANS.

10. HEATING, AIR CONDITIONING AND PLUMBING

PROVIDE HEATING AND AIR CONDITIONING SYSTEMS AS SELECTED BY THE OWNER, WITH MATERIAL AND WORKMANSHIP IN STRICT ACCORD WITH THE REGULATION OF ALL AUTHORITIES HAVING JURISDICTION.

ALL HOT WATER PIPING SHALL RECEIVE INSULATION WHEN IN UNHEATED SPACES, AS PER THE NEW YORK STATE REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. THE PLUMBING SUBCONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS AND PAY ALL FEES. ALL MATERIALS SHALL BE NEW, HIGH GRADE AND SUITABLE AND WORKMANSHIP SHALL BE OF THE BEST QUALITY.

HOUSE DRAIN - ALL PLUMBING TO BE CONNECTED TO THE EXISTING SEWER PUMP. REFER TO PLUMBING RISER DIAGRAM. SANITARY LINES WILL BE PVC PIPE. ALL BELOW GRADE WASTE PIPING TO BE EXTRA HEAVY CAST IRON WITH LEAD AND OAKUM JOINTS.

ALL HOT AND COLD WATER LINES TO BE TYPE L COPPER, W/95/5 SOLDERED JOINTS, COPPER FITTINGS AND BRASS VALVES AND OF PROPER SIZE. PROVIDE SIX (6) 3/4" HOSE BIBS, IN LOCATIONS SELECTED BY THE OWNER, ALL CONNECTIONS TO BE ANTI-FREEZE. PROVIDE SHUTOFF VALVES UNDER ALL FIXTURES.

11. ELECTRICAL

ALL ELECTRICAL WORK SHALL CONFORM TO THE N.E.C., THE N.E.C. AND THE LOCAL UTILITY COMPANY. CONTRACTOR SHALL PROVIDE THE OWNER WITH AN UNDERWRITER'S LABORATORY CERTIFICATE AS REQUIRED SMOKE ALARM SYSTEM SHALL BE HARD WIRED WITH BATTERY BACKUP. CARBON MONOXIDE SHALL BE HARD WIRED WITH BATTERY BACKUP.

12. NEW YORK STATE RESIDENTIAL CODE

OCCUPANCY TYPE: ONE-FAMILY DWELLING R-3

CONSTRUCTION TYPE: TYPE 5

ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE DATA:

TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE DRAWINGS ARE IN CONFORMANCE WITH THE ENERGY CONSERVATION CODE OF NYS.

REScheck COMPLIANCE REPORT								
NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE								
DETACHED ONE OR TWO FAMILY DWELLING								
REFER TO THE ATTACHED SHEET FOR COMPLIANCE REPORT								
	MAXIMUM	MINIMUM						
	GLAZING U-FACTOR	CEILING R-VALUE	EXTERIOR WALL R-VALUE	FLOOR R-VALUE	BASEMENT R-VALUE	SLAB PERIMETER R-VALUE	CRAWL SPACE WALL R-VALUE	SKYLIGHT U-FACTOR
PROVIDED	.32	49	R-20	30	N/A	10	N/A	U.55

CONCRETE AND REINFORCING

- ALL CONCRETE EXPOSED TO WEATHER TO BE 4000 PSI IN 28 DAYS WITH 6% AIR-ENTRAINMENT AND STRENGTH OF 3000 PSI IN 28 DAYS. 3000-PSI PEA GRAVEL CONCRETE MAY BE USED FOR FILLED BLOCK CELLS
- ALL CONCRETE SHALL BE REINFORCED AND ERECTED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AS ADOPTED BY ACI 318 AND LOCAL CODES.
- ALL CONCRETE WORK SHALL CONFORM TO ACI 301 STANDARD SPECIFICATIONS FOR REINFORCED CONCRETE.
- ALL REINFORCING STEEL SHALL BE DEFORMED HIGH BOND BARS ROLLED FROM NEW BILLET OR INTERMEDIATE GRADE STEEL TO MEET LATEST ASTM SPECIFICATIONS A-615, GRADE 60.
- BARS SHALL BE LAPPED A MINIMUM OF 36 DIAMETERS AT SPLICES. WELDED WIRE FABRIC SHEETS LAPPED 6" MINIMUM.
- WELDED WIRE FABRIC SHALL MEET REQUIREMENTS OF ASTM A-185.
- ALL DETAILS OF REINFORCEMENT AND ACCESSORIES SHALL BE FABRICATED AND PROVIDED IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING.
- BEFORE POURING CONCRETE, MECHANICAL AND ELECTRICAL CONTRACTORS TO VERIFY LOCATION AND SIZE OF ALL OPENINGS, PADS, TRENCHES AND SLEEVES FOR THEIR EQUIPMENT, IF ANY.
- SHOP DRAWINGS SHALL MEET REQUIREMENTS OF ASTM A-185. SHOP DRAWINGS ON ALL CONCRETE REINFORCING MUST BE SUBMITTED TO THE ARCHITECT AND P.E. FOR REVIEW.
- SOIL TESTS OR BORINGS HAVE BEEN SUPPLIED TO THE ENGINEER. FOOTINGS HAVE BEEN DESIGNED FOR TWO (2) TONS PER SQUARE FOOT BEARING CAPACITY. SOIL SHALL BE VERIFIED AND/OR OWNER SHALL ASSUME ALL RESPONSIBILITY FOR ANY FAILURE IN THE BUILDING DUE TO SOIL CONDITION.

13. ENERGY CODE COMPLIANCE STATEMENT AND TABLE

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, 2020. WINDOW AND GLAZED DOOR AREA FOR THIS BUILDING COMPLIES WITH ECCNYS-2020. DATA WAS COMPUTED USING TABLE 602.1(i) - CLIMATE ZONE 5 AND 4,910 HEATING DEGREE DAYS.

ENVELOPE ELEMENT	ACTUAL VALUE	REQUIRED VALUE
SKYLIGHTS	U = 0.55	MAXIMUM U = 0.55
GLAZING	U = 0.32	MAXIMUM U = 0.32
CEILINGS	R = 49	R = 49
WALLS	R = 20	R = 20
FLOORS	R = 30	R = 30
BASEMENT WALL	R = 15	R = 15
SLAB PERIMETER	R = 10 (2 FT)	R = 10 (2 FT)
CRAWL SPACE WALL	NA	

ALL WORK PERFORMED SHALL COMPLY WITH ALL REQUIREMENTS OF LOCAL BUILDING CODE AND ZONING ORDINANCES OF THE TOWN OF ORANGETOWN, INTERNATIONAL BUILDING CODE 2020 AS ADOPTED BY NYS, ALL RELATED 2020 ICC CODE BOOKS, AND THE 2017 NATIONAL ELECTRIC CODE

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN POUNDS PER SQUARE FOOT)	
USE	LIVE LOAD
ATTICS WITH LIMITED STORAGE	20
ATTICS WITHOUT STORAGE	10
DECKS	40
EXTERIOR BALCONIES	60
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS	200
GUARDRAILS IN-FILL COMPONENTS	50
PASSENGER VEHICLE GARAGES	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

ZONE R15 SINGLE FAMILY DETACHED RESIDENCE

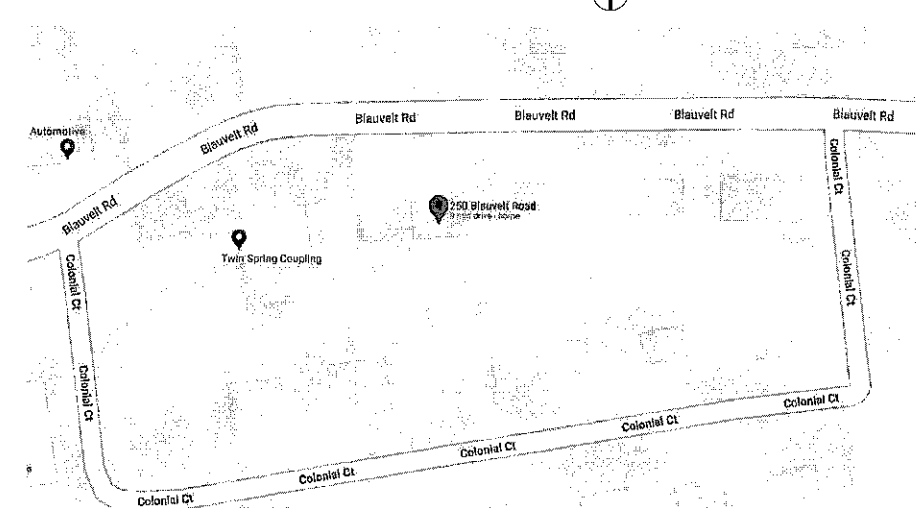
BULK REQUIREMENTS TABLE AND 'EXCEPTIONS TO BULK REGULATIONS' CHAPTER 43, SECTION 5.21 (c) (e)

	FL. AREA RATIO 'FA'	MIN. LOT AREA	LOT WIDTH	STREET FRONTAGE	FRONT YARD	SIDE YARD	FTL. SIDE YARD	REAR YARD	MAX BLDG. HT.
REQUIRED	.20 MAX	15,000 SF	100'	70'	30'	15'	30'	35'	20 ft
EXISTING	.17	13,457 SF*	100'	100.53'	64.8'	13.1'	37.5'	±39'	17 ft
PROVIDED	.24 **	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	±28.3' **	23 ft **

* - EXISTING NONCONFORMING
** - PROPOSED CHANGE, VARIANCE REQUIRED

LOCATION PLAN

(FROM GOOGLE MAPS)



REVISION
BUILDING DEPARTMENT SUBMISSION
AS PER BUILDING DEPARTMENT COMMENTS

9.8.20
10.28.20

PROJECT TITLE
PARTIAL 2ND FLOOR ADDITION
TO SINGLE FAMILY RESIDENCE
250 BLAUVELT RD.
PEARL RIVER, N.Y. 10965

DWG TITLE
COVER SHEET

15 Lyncrest Drive, Money N.Y. 10952
T (845) 354-0001 F (845) 362-3272

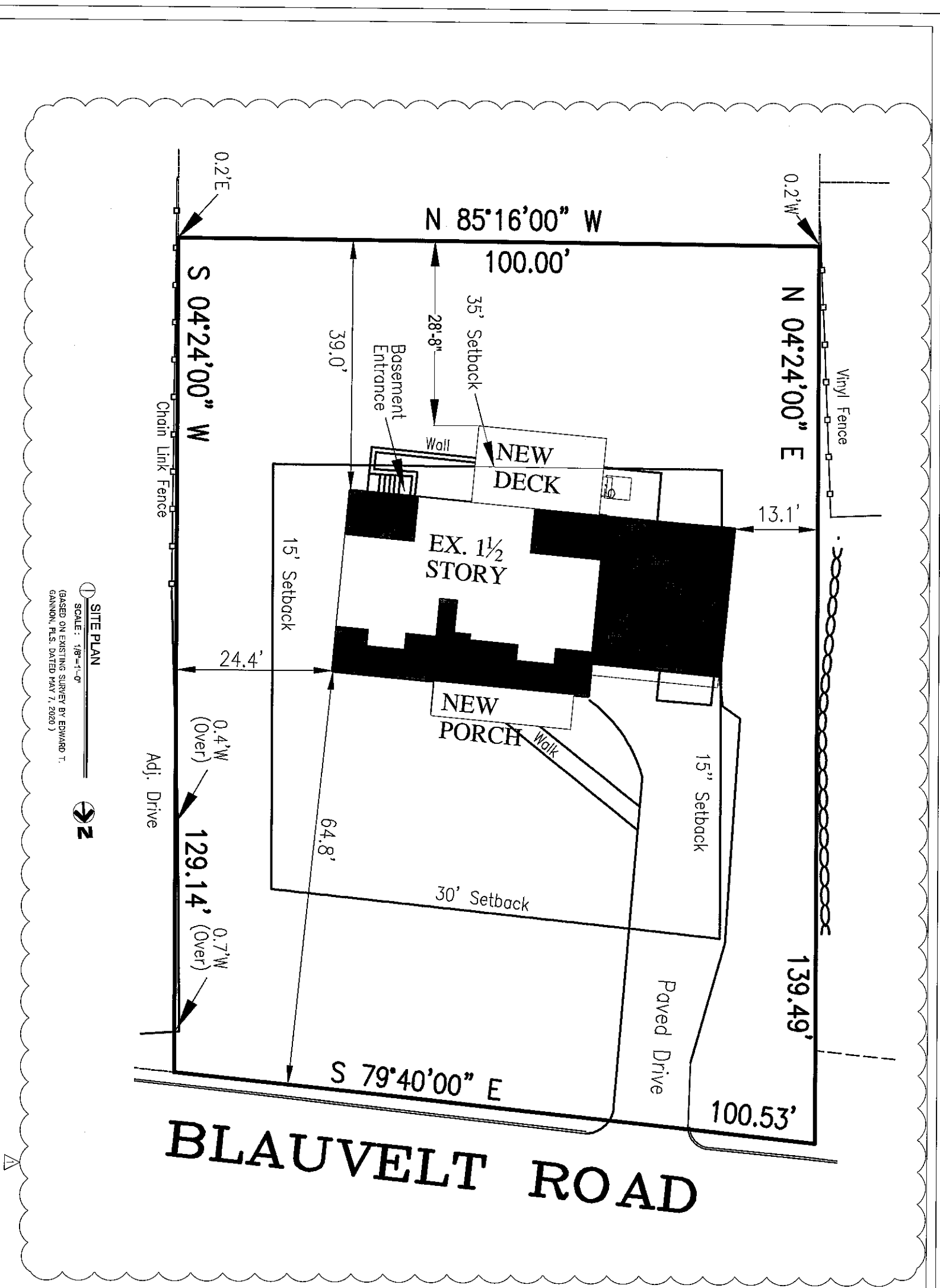
Mayerfeld
ARCHITECTURE PLLC

SCALE
DWG No.
A-0

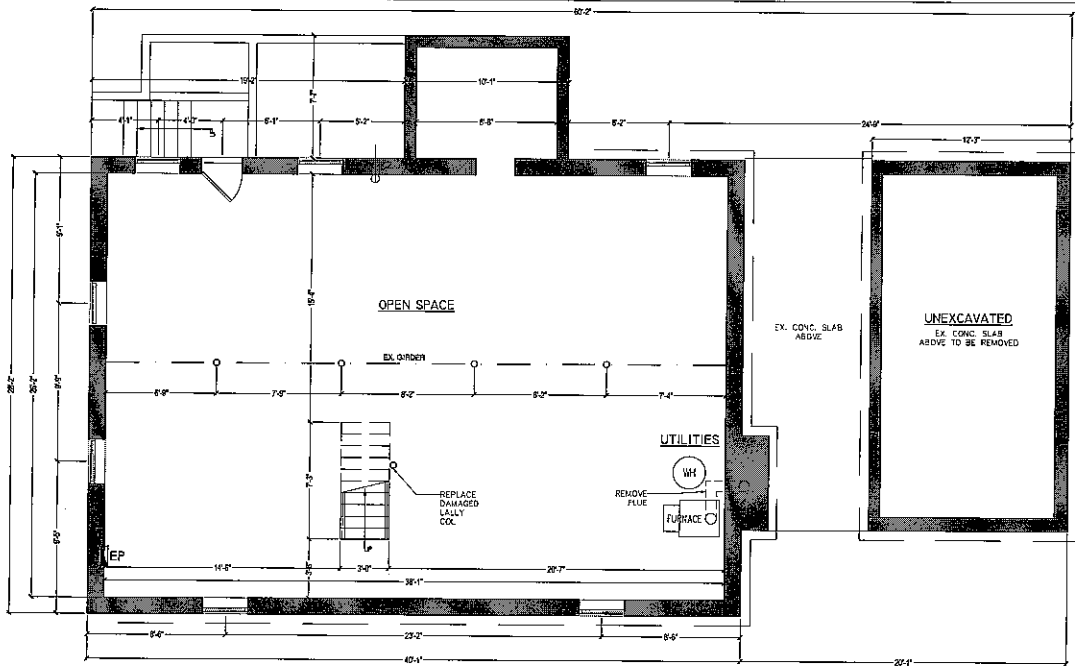
SHEET No.
1 OF 7

SCALE: AS NOTED
DATE: 6/15/20

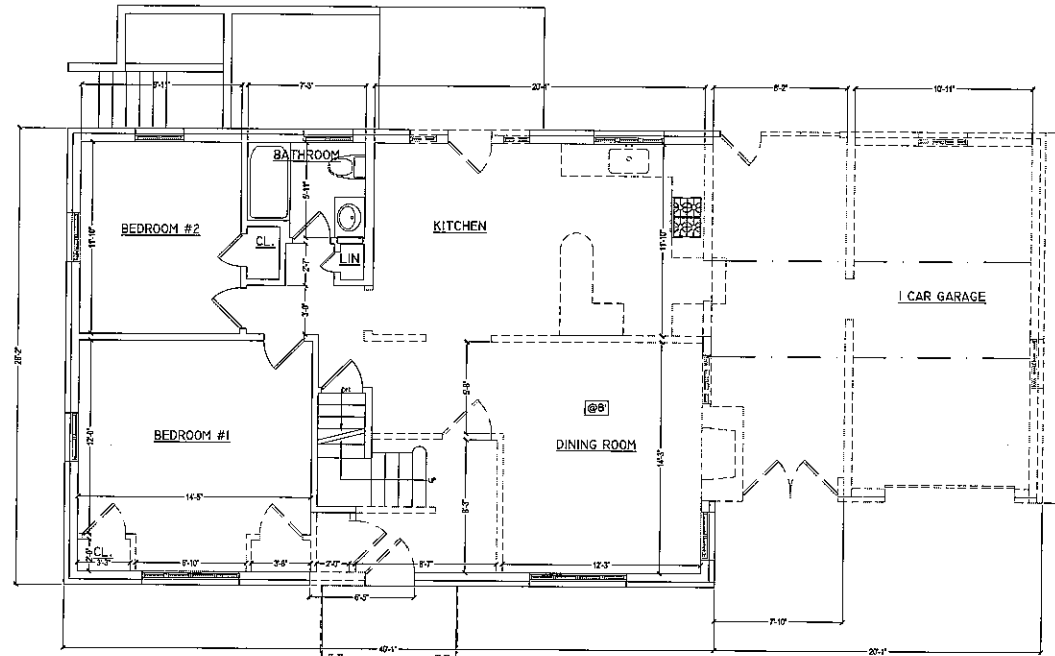
DWG No. A



SHEET No. A-00	SCALE AS NOTED DATE: 6/15/20		PROJECT TITLE: PARTIAL 2ND FLOOR ADDITION TO SINGLE FAMILY RESIDENCE 250 BLAUVELT RD. PEARL RIVER, N.Y. 10965	REVISION BUILDING DEPARTMENT SUBMISSION 9.8.20 AS PER BUILDING DEPARTMENT COMMENTS 10.28.20
			DWG TITLE: SITE PLAN	
15 Lyncrest Drive, Monsey N.Y. 10952 T (845) 354-0001 F (845) 362-3272				

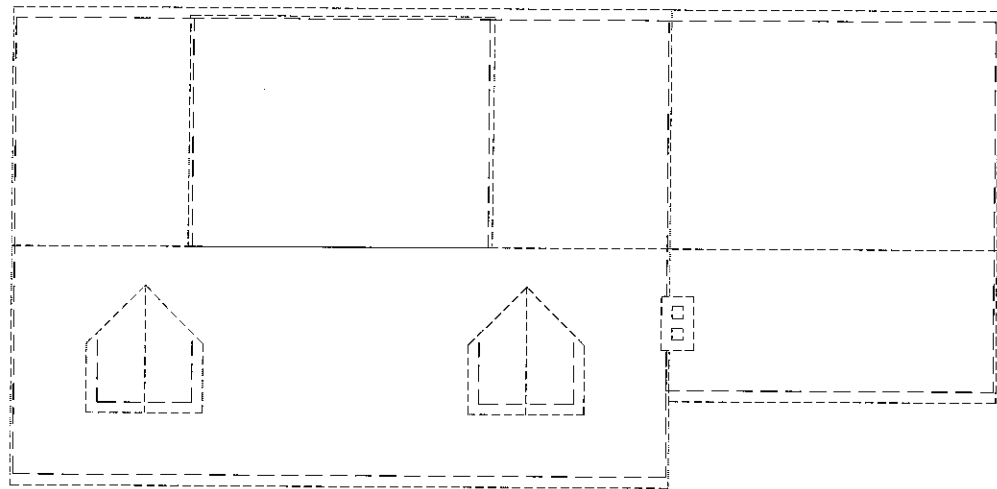


EXISTING AND DEMOLITION
BASEMENT FLOOR PLAN
SCALE: 3/16"=1'-0"

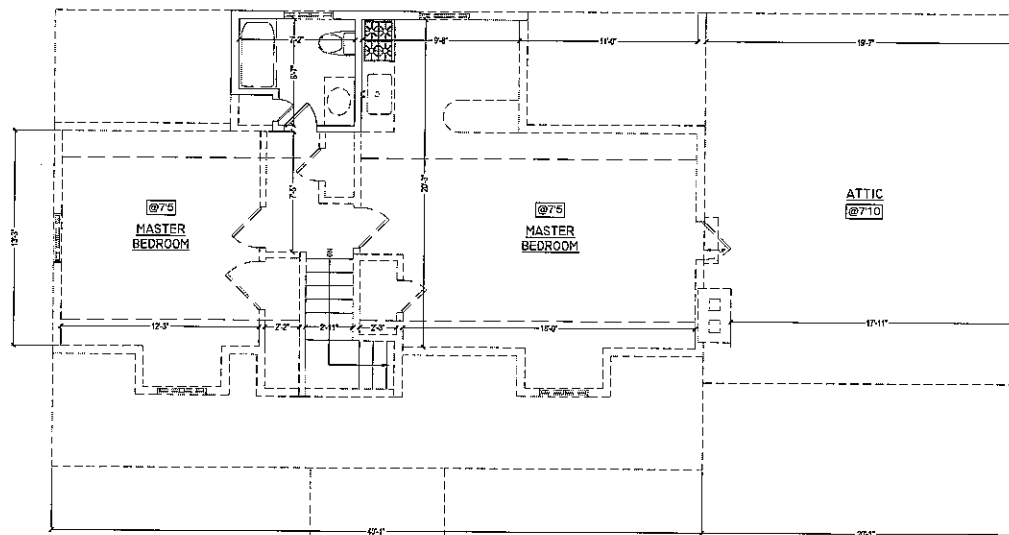


EXISTING AND DEMOLITION
FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"

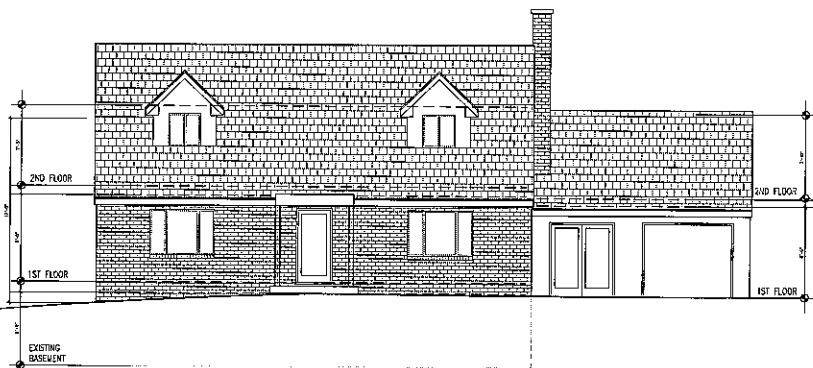
CONSTRUCTION LEGEND	
[Symbol]	EXISTING FOUNDATION WALL
[Symbol]	NEW FOUNDATION WALL
[Symbol]	EXISTING PARTITION OR EXTERIOR WALL TO REMAIN
[Symbol]	EXISTING PARTITION TO REMOVED
[Symbol]	NEW DRYWALL PARTITION OR EXTERIOR WALL
[Symbol]	NEW OR EXISTING WINDOW TO REMAIN
[Symbol]	EXISTING WINDOW TO REMOVED
[Symbol]	NEW OR EXISTING DOOR TO REMAIN
[Symbol]	EXISTING DOOR TO REMOVED



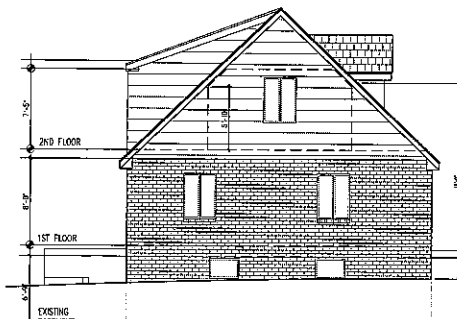
EXISTING AND DEMOLITION
ROOF PLAN
SCALE: 3/16"=1'-0"



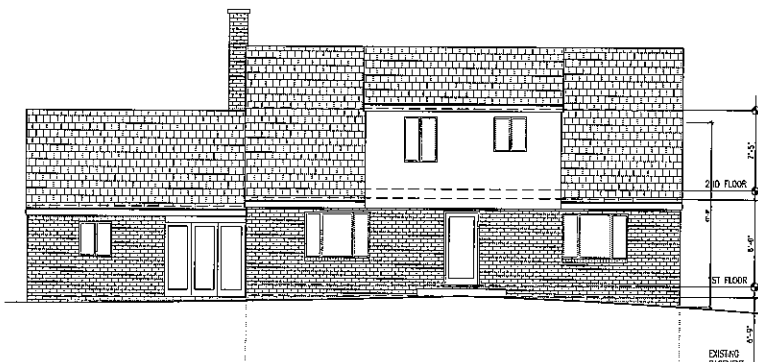
EXISTING AND DEMOLITION
SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



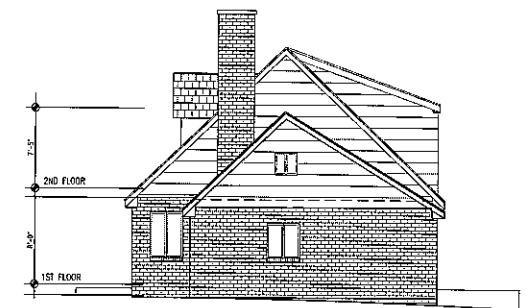
EXISTING NORTH ELEVATION
SCALE: 1/8"=1'-0"



EXISTING EAST ELEVATION
SCALE: 1/8"=1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1/8"=1'-0"



EXISTING WEST ELEVATION
SCALE: 1/8"=1'-0"

REVISION
BUILDING DEPARTMENT SUBMISSION 9.8.20
AS PER BUILDING DEPARTMENT COMMENTS 10.28.20

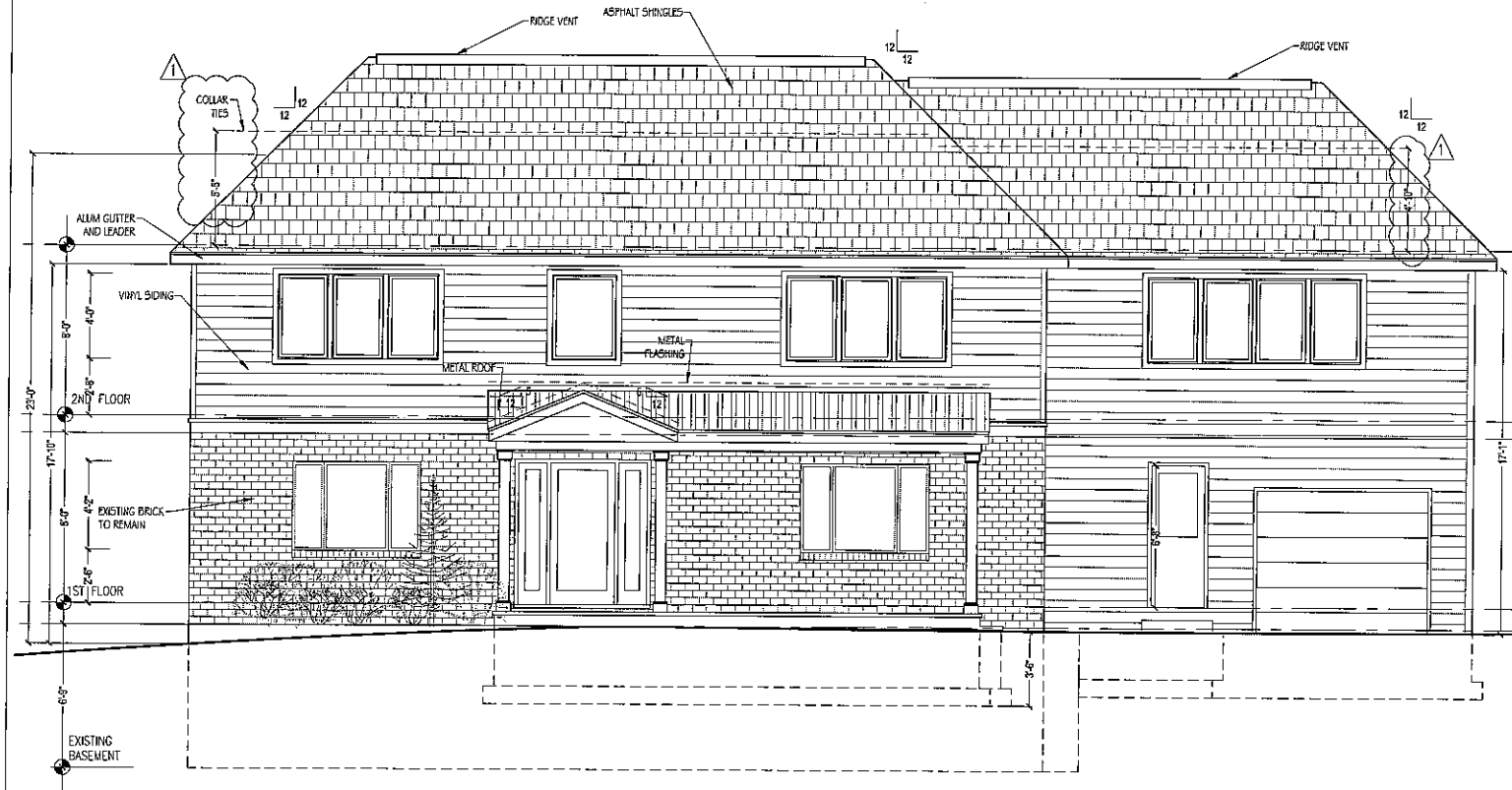
PROJECT TITLE: PARTIAL 2ND FLOOR ADDITION TO SINGLE FAMILY RESIDENCE 250 BLAUVELT RD. PEARL RIVER, N.Y. 10965

DATE TITLE: EXISTING AND DEMOLITION PLANS AND EXISTING ELEVATIONS

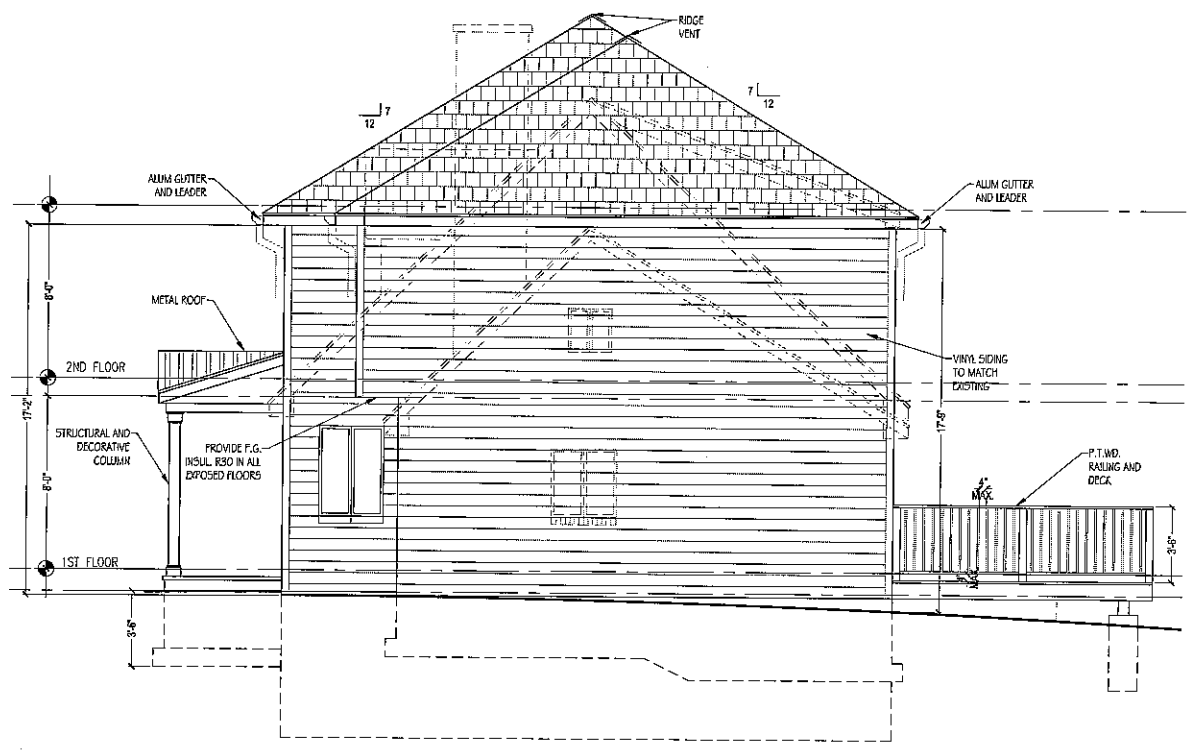
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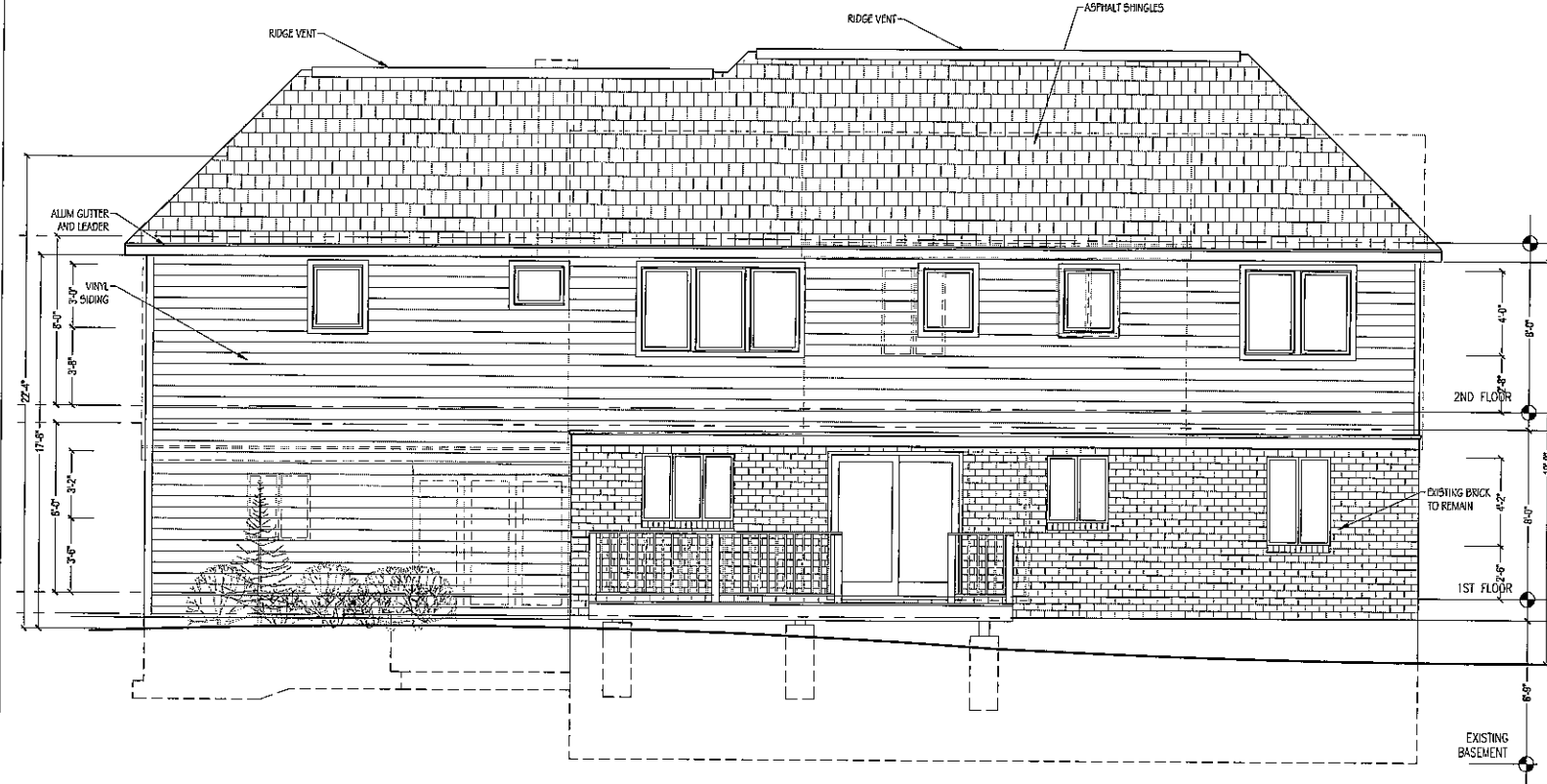
SCALE: AS NOTED
DATE: 6/15/20
SHEET No: A-1
2 OF 7



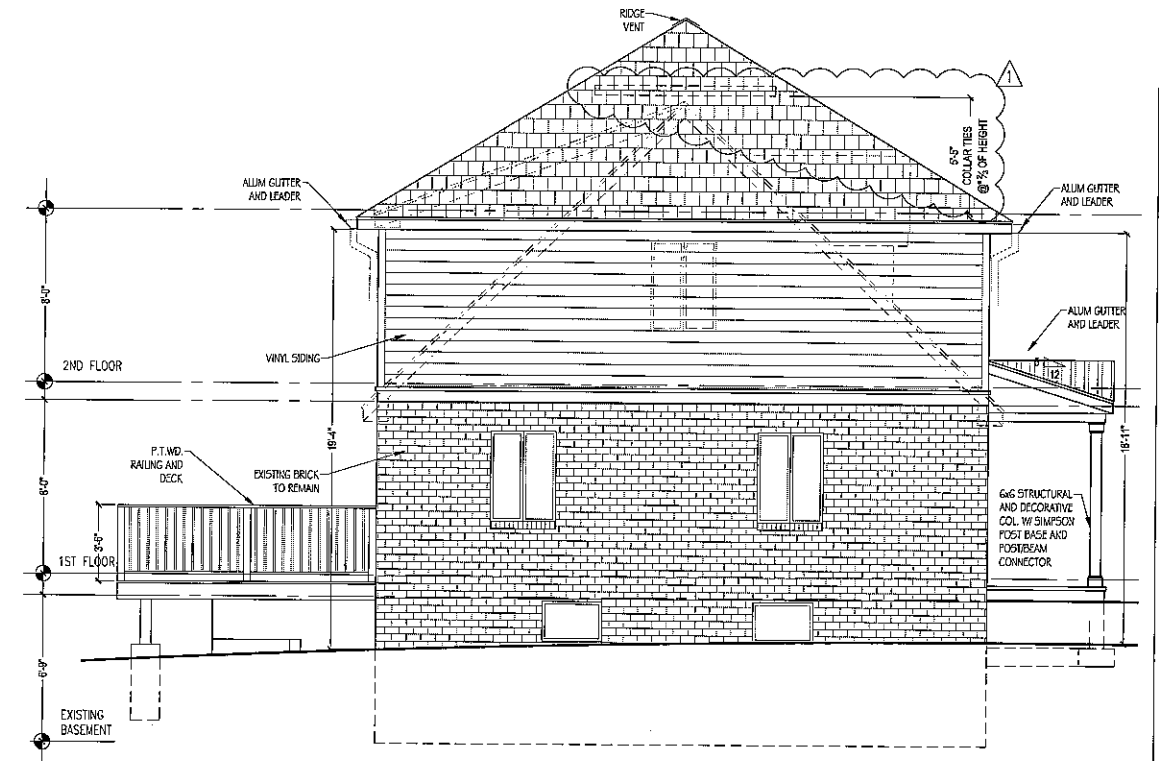
NORTH ELEVATION - FRONT
SCALE: 1/4"=1'-0"



WEST ELEVATION - RIGHT
SCALE: 1/4"=1'-0"



SOUTH ELEVATION - REAR
SCALE: 1/4"=1'-0"



EAST ELEVATION - LEFT
SCALE: 1/4"=1'-0"

REVISION
BUILDING DEPARTMENT SUBMISSION 9.8.20
AS PER BUILDING DEPARTMENT COMMENTS 10.28.20

PROJECT TITLE: PARTIAL 2ND FLOOR ADDITION TO SINGLE FAMILY RESIDENCE TO 250 BLAUVELT RD., PEARL RIVER, N.Y. 10965
DWG. TITLE: PROPOSED ELEVATIONS

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SHEET No: **A-4**

5 OF 7
SCALE: AS NOTED
DATE: 8/15/20
BIN No: A

Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.

Any alteration or addition to this survey is a violation of SECTION 7209 of the NEW YORK STATE EDUCATION LAW, except as per SUBDIVISION 2. All certifications hereon are valid for this map and copies thereof only if said map or copies bear the inked or impressed seal of the surveyor whose original signature appears hereon.

SUBJECT TO A COMPLETE AND UP TO DATE TITLE SEARCH
SUBJECT TO ANY EASEMENTS AND/OR SUBSURFACE STRUCTURES RECORDED OR
UNRECORDED ARE NOT GUARANTEED UNLESS PHYSICALLY EVIDENT ON THE
PREMISES AT THE TIME OF THE SURVEY

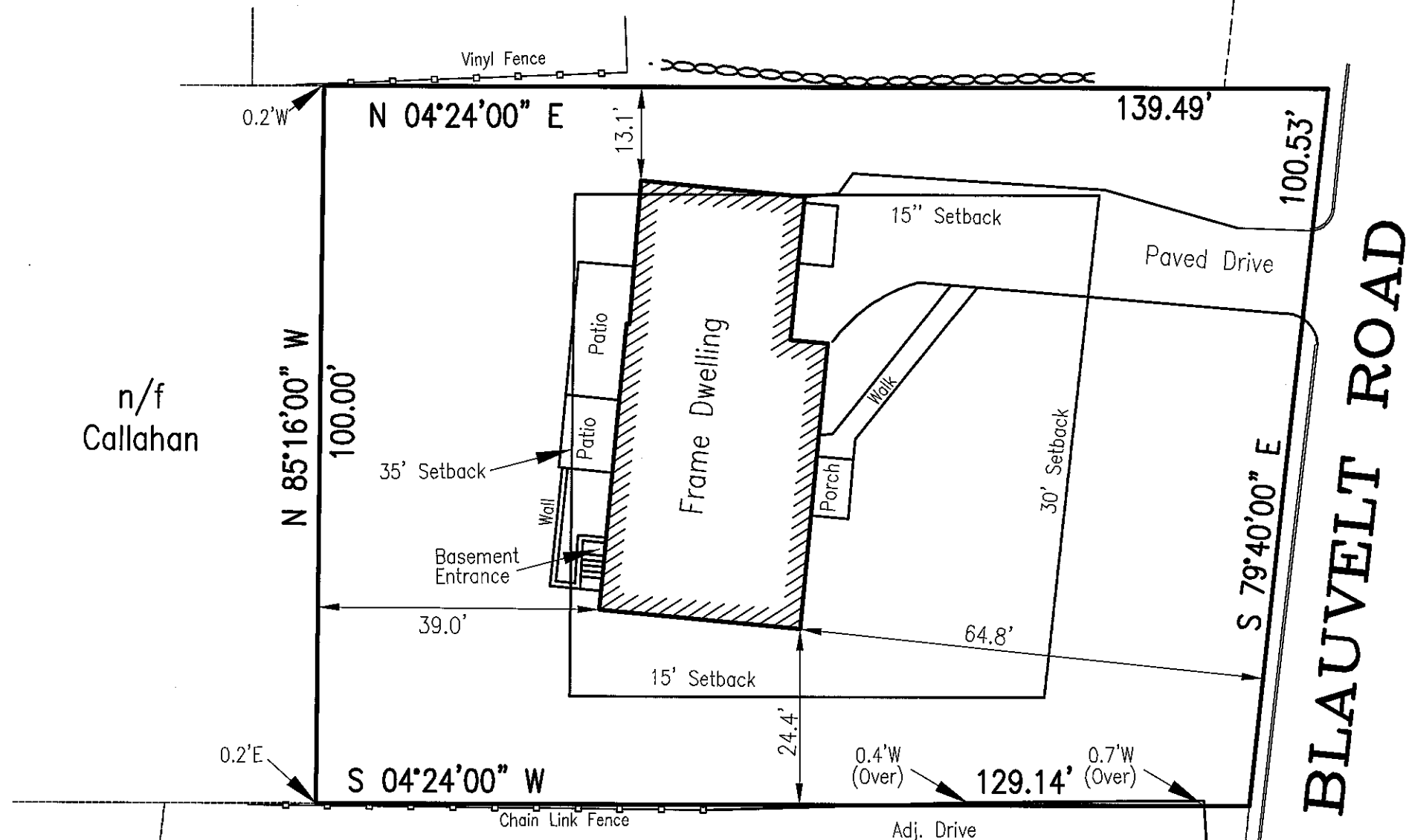
SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND
AGREEMENTS OF RECORD

UNDERGROUND UTILITIES SHOWN HEREON BASED ON UTILITY EVIDENCE VISIBLE AT
GROUND SURFACE AND ARE SUBJECT TO FIELD VERIFICATION BY EXCAVATION

UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES
LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES

WETLANDS IF ANY ARE NOT SHOWN

n/f
Hynes/Riordan
F.M. 7837 Lot 2



CERTIFIED ONLY TO:
L & Z Partners LLC

**SURVEY OF PROPERTY
PREPARED FOR
L & Z PARTNERS LLC**

HAMLET OF PEARL RIVER
TOWN OF ORANGETOWN, COUNTY OF ROCKLAND, STATE OF NEW YORK
TAX LOT: SECTION 69.13 - BLOCK 2 - LOT 7
SCALE: 1" = 20'
SURVEY DATE: MAY 7, 2020
AREA: 13,457 SQ.FT.

#20191
EDWARD T. GANNON, P.L.S.
P.O. BOX 285 ~ BLOOMING GROVE, NY 10914
egannonsurveying@yahoo.com