

**TOWN OF ORANGETOWN PLANNING BOARD**  
**Meeting of Wednesday, September 23, 2020 – Virtual Meeting**

**MEMBERS PRESENT:**

Thomas Warren, Chairman  
William Young, Vice-Chairman  
Andrew Andrews  
Robert Dell  
Michael McCrory  
Michael Mandel  
Stephen Sweeney  
Bruce Bond (alternate)

**MEMBERS ABSENT:** None

**ALSO, PRESENT:** Jane Slavin, Director, Office of Building, Zoning, Planning Administration and Enforcement; Rick Pakola, Deputy Town Attorney; Cheryl Coopersmith, Chief Clerk Boards and Commissions

Thomas Warren, Chairman, called the meeting to order at 7:30 p.m. Mr. Warren read the agenda. Hearings as listed on this meeting's agenda which are made a part of these minutes were held as noted below:

<b>Onyx Management/ Amazon Delivery Center Plans</b>	<b>PB#20-39</b>
Amendment to Final Site Plan Review, PB #20-19	Final Approval of Amendment to
200 & 400 Oritani Drive & 65.18/1/1 & 22 and 70.06/1/1.12; LO zoning district	Final Planning Board Decision, PB#20-19

**Continued Items from the March 11, 2020 Meeting:**

<b>125 South Greenbush Road Site Plan</b>	<b>PB #19-17</b>
Review of Traffic Impact Study and Prepreliminary/Preliminary Site Plan and SEQRA Review	Postponed: Traffic Impact Study requires revisions
125 South Greenbush Road, Orangeburg 74.07/1/15.1; LI zoning district	

<b>155 South Greenbush Road Properties Site Plan</b>	<b>PB #19-18</b>
Review of Traffic Impact Study and Prepreliminary/Preliminary Site Plan and SEQRA Review	Postponed: Traffic Impact Study requires revisions
155 South Greenbush Road, Orangeburg 74.07/1/15.2; LI zoning district	

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**TOWN OF ORANGETOWN PLANNING BOARD  
Meeting of Wednesday, September 23, 2020 – Virtual Meeting**

**Other Business:**

The applicant for The Orangetown Shopping Center Electric Charging Stations, PB#20-33, dated July 22, 2020, (74.10/1/67) requested the deletion of Condition #4:

“A chain link fence shall be installed on the easterly perimeter of the parking area by CVS, and continue to the transformer complex. The fence shall match the existing fence on the rear of the lot”

The applicant held that the property owner requested that the fence not be erected since the location proposed for the fence is presently used for snow removal from the parking facility.

The Board held that the fence should be erected, noting that the fence would not create a problem placing snow at that location. **Condition #4 of PB#20-33 shall not be deleted.**

The hearing was open to the public.

There being no one to be heard from the Public, a motion was made to close the Public Hearing portion of the meeting by Michael Mandel and seconded by Andrew Andrews and carried as follows: Thomas Warren - Chairman; aye, William Young, Vice-Chairman, aye; Andrew Andrews, aye; Michael Mandel; aye, Stephen Sweeney, aye, Bruce Bond; abstain, Robert Dell; aye and Michael McCrory, aye.

The Board took a roll call as follows:

Keep Fence, do not delete condition #4

Thomas Warren

William Young

Andrew Andrews

Michael Mandel

Robert Dell

Michael McCrory

Bruce Bond; abstain

Remove Fence, Delete condition #4

Stephen Sweeney

The decisions of the September 9, 2020 Planning Board Meeting were reviewed, edited, and approved. The motion for adoption was made and moved by Michael Mandel and seconded by Andrew Andrews and carried as follows: Thomas Warren – Chairman, aye; William Young - Vice-Chairman, aye; Michael Mandel, aye; Stephen Sweeney, aye; Andrew Andrews, aye, Robert Dell, aye; Michael McCrory, aye and Bruce Bond, abstain.

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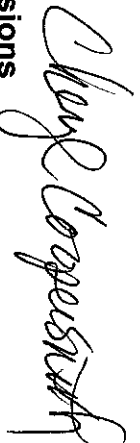
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**TOWN OF ORANGETOWN PLANNING BOARD  
Meeting of Wednesday, September 23, 2020 – Virtual Meeting**

Since there was no further business to come before the Board, a motion to adjourn the meeting was made by Andrew Andrews and seconded by Robert Dell and agreed to by all in attendance. The meeting was adjourned at 8:20 p.m. The next Planning Board meeting is scheduled for October 14, 2020.

**DATED: September 23, 2020**

**Cheryl Coopersmith  
Chief Clerk Boards and Commissions  
Town of Orangetown Planning Board**



3011 JO S. MARTIN ROAD

33 :21 P 62 DES OZ

ORANGETOWN FL 34461

PB #20-39: Onyx Management/ Amazon

Permit #49989

Delivery Center Plans

Amendment to Final Site Plan Approval PB #20-19;

Final Approval Subject to Conditions

Neg. Dec.

Town of Orangetown Planning Board Decision

September 23, 2020

Page 1 of 12

TO: Daniel Patrick, Cuddy & Feder, 445 Hamilton Avenue, Floor 14,  
White Plains, New York 10601

FROM: Orangetown Planning Board

RE: Onyx Management/ Amazon Delivery Center Plans-  
Amendment to Final Site Plan Approval PB #20-19: The application of Amazon Services, Inc., applicant, for AG-OE 200 Oritani Drive, owner and AG-OE 400 Oritani Drive, owner, AG-OE 877 Western Highway, owner for an Amendment to Final Site Plan Approval, PB #20-19 at a site to be known as "Onyx Management/ Amazon Delivery Center, Amendment to Final Site Plan Approval PB #20-19", in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the Code of the Town of Orangetown and to determine the environmental significance of the application pursuant to the requirements of the New York State Environmental Quality Review Act. The site is located at 200 & 400 Oritani Drive and 877 Western Highway, Blauvelt, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 65.18, Block 1, Lot 1 & 22 and Section 70.06, Block 1, Lot 1.12, in the LO zoning district.

Heard by the Planning Board of the Town of Orangetown at a virtual meeting held **Wednesday, September 23, 2020**, the Board made the following determinations:

Tarum Sonkhya, Daniel Patrick, Seth Mandelbaum and Jeff DeZort appeared and testified. The Board received the following communications:  
The Board received the following communications:

1. An interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R.A., Director, dated September 21, 2020.
2. An Interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E., September 2, 2020.

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**Delivery Center Plans**

**Amendment to Final Site Plan Approval PB #20-19;  
Final Approval Subject to Conditions  
Neg. Dec.**

**Town of Orangetown Planning Board Decision**

**September 23, 2020**

**Page 2 of 12**

3. A letter from Brooker Engineering signed by Kenneth DeGennaro, P.E., dated September 23, 2020.
4. An interdepartmental memorandum from the Bureau of Fire Prevention, Town of Orangetown, signed by Michael Betmann, Chief Fire Inspector, dated September 18, 2020.
5. A letter from Rockland County Sewer District No. 1, signed by Joseph LaFiandra, Engineer II, dated May 26, 2020.
6. Site Plans prepared by CESO CO., dated March 12, 2020, last revised August 8, 2020:
  - C1.0: Cover
  - C2.0: General Notes
  - C3.0: Demo Plan
  - C4.0: Overall Site Plan
  - C4.1: Site Plan – West
  - C4.2: Site Plan – Parking Middle
  - C4.3: Site Plan – Parking South
  - C4.4: Site Plan – Parking North
  - C5.0: Grading Plan
  - C5.1: Utility Plan
  - C5.2: Utility Plan – Sanitary and Water
  - C5.3: Storm Profiles Plan
  - C5.4: Storm Profiles Plan
  - C5.5: Sanitary Profiles Plan
  - C5.6: Stormtech Details
  - C5.7: Stormtech Details
  - C6.0: SWPPP Notes
  - C6.1: SWPPP Plan
  - C6.2: SWPPP Plan 2
  - C6.3: SWPPP Details
  - C6.4: SWPPP Details
  - C7.0: Construction Details
  - C7.1: Construction Details
  - C7.2: Construction Details
  - C7.3: Construction Details
  - C7.4: Construction Details
  - C7.5: Construction Details

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**Delivery Center Plans**

**Amendment to Final Site Plan Approval PB #20-19;**

**Final Approval Subject to Conditions**

**Neg. Dec.**

**Town of Orangetown Planning Board Decision**

**September 23, 2020**

**Page 3 of 12**

**Continuation of submitted Plans:**

- C8.0: Signage Plan – Overall
- C8.1: Signage Plan – West
- C8.2: Signage Plan – Parking Middle
- C8.3: Signage Plan – Parking South
- C10.0: Circulation Plan
- C10.1: Line of Sight – North Property
- C10.2: Line of Sight – South Property
- L1.0: Landscape Plan
- L2.0: Landscape Details and Notes

7. A copy of PB#20-19, Final Site Plan Approval Subject to Conditions, dated July 8, 2020.

The Board reviewed the plans and information submitted. The hearing was then opened to the Public.

There being no one to be heard from the Public, a motion was made to close the Public Hearing portion of the meeting by Michael Mandel and seconded by Andrew Andrews and carried as follows: Thomas Warren - Chairman; aye, William Young, Vice-Chairman, aye; Andrew Andrews, aye; Michael Mandel; aye, Stephen Sweeney; aye, Bruce Bond; abstain, Robert Dell; aye and Michael McCrory; aye.

**REAFFIRMATION OF SEQRA - NEGATIVE DECLARATION**

The proposed action is classified as an "unlisted action" as defined by Section 617.2 (ak) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA. On motion by Michael Mandel and second by Andrew Andrews and carried as follows: Thomas Warren - Chairman; aye, William Young, Vice-Chairman, aye; Michael Mandel; aye, Stephen Sweeney; aye, Bruce Bond; abstain, Michael McCrory, aye; Robert Dell; aye and Andrew Andrews; aye, the Board declared itself Lead Agency.

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**PB #20-39: Onyx Management/ Amazon  
Delivery Center Plans  
Amendment to Final Site Plan Approval PB #20-19;  
Final Approval Subject to Conditions  
Neg. Dec.**

**Permit #49989**

**Town of Orangetown Planning Board Decision  
September 23, 2020  
Page 4 of 12**

Pursuant to New York Code, Rules & Regulations (NYCRR) Section 617.7, the Town of Orangetown Planning Board, as lead agency, for the reasons articulated in this Board's analysis of all of the submissions by the applicant, interested agencies, departments and the public, with respect to this project including the Environmental Assessment Form, which reasons are summarized in the motion, hereby determines that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared.

After having identified the relevant areas of environmental concern, namely drainage, surface water runoff, land clearing, vegetation, fauna, traffic and noise levels, and after having taken a hard look at said environmental issues, and after having deliberated regarding such concerns, and having heard from the applicant, the applicant's professional representatives, namely  
CESO and the Town of Orangetown engineering consultant, Brooker Engineering, and having heard from the following offices, officials and/or Departments: (Town of Orangetown): Office of Building, Zoning, Planning Administration and Enforcement and Department of Environmental Management and Engineering, and having heard from the following involved and interested agencies: New York State Department of Environmental Conservation, Rockland County Department of Highway, Rockland County Drainage Agency, Rockland County Sewer District No. 1, and having reviewed the proposed Site Plans by prepared by CESO a summary of the reasons supporting this determination are, and the Planning Board finds that the proposed action:

- Will not significantly affect existing air quality or noise levels;
- Will not significantly affect existing surface water quality or quantity or drainage;
- Will not significantly affect existing ground water quality or quantity;
- Will not significantly affect existing traffic levels;
- Will not create a substantial increase in solid waste production;
- Will not create a potential for erosion, flooding, leaching or drainage problems;
- Will not have a significant adverse impact on the environmental characteristics of our critical environmental area or environmentally sensitive sites or features;
- Will not have an impairment of the character or quality of important historical, archeological or architectural resources;
- Will not have an impairment of the character or quality of important aesthetic resources;

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Town of Orangetown Planning Board Decision  
September 23, 2020  
Page 5 of 12

- Will not have an impairment of existing community or neighborhood character;
- Will not remove or destroy large quantities of vegetation or fauna;
- Will not remove or destroy large quantities of wildlife species or migratory fish;
- Will not have a significant adverse impact to natural resources;
- Is consistent with the Town of Orangetown Comprehensive/Master Plan;
- Will not have adverse economic or social impacts upon the Town;
- Will not create a hazard to human health; and
- Will not create a substantial change in the use of land, open space or recreational resources.

On motion by Michael Mandel and seconded by Andrew Andrews and carried as follows: Thomas Warren - Chairman; aye, William Young, Vice-Chairman, aye; Michael Mandel; aye, Stephen Sweeney; aye, Bruce Bond; abstain, Michael McCrory, aye; Robert Dell; aye and Andrew Andrews; aye, the Board made a Negative Declaration pursuant to SEQRA.

**DECISION:** In view of the foregoing and the testimony before the Board, the application was granted an **Amendment to Final Site Plan Approval Subject to Conditions, PB #20-19; Final Approval Subject to Conditions** Subject to the Following Conditions:

1. The following note shall be placed on the Site Plan: At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a Pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a Meeting.
2. Stormwater Management Phase II Regulations: Additional certification, by an appropriate licensed or certified design professional shall be required for all matters before the Planning Board indicating that the drawings and project are in compliance with the Stormwater Management Phase II Regulations

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PB #20-39: Onyx Management/ Amazon  
Delivery Center Plans  
Amendment to Final Site Plan Approval PB #20-19;  
Final Approval Subject to Conditions  
Neg. Dec.

Permit #49989

Town of Orangetown Planning Board Decision  
September 23, 2020  
Page 6 of 12

3. All outdoor construction activities, including site-clearing operations if applicable, shall take place between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday. No such activities shall take place on Sunday or a legal holiday. The same criteria shall apply to indoor construction activities, except that such activities may take place between the hours of 7:00 a.m. and 10:00 p.m. This information shall be noted on the Site Plan.
4. **All prior pertinent and applicable conditions of PB#20-19; Final Site Plan Approval Subject to Conditions, remain in effect.**
5. DEME recommends that this site/ project return to the Town of Orangetown Planning Board for a site plan amendment. This is necessary due to the fact that the entire stormwater system has been changed, and thus, the site plan has been changed. All of the previously supplied drawings depicted an "above ground" forebay/ infiltration basin. These are the plans that the Board gave Final Approval. The current revised plans now show a subsurface detention system. The design was changed because the infiltration tests failed at the stormwater infiltration basin's original location. This fact renders the original design, as shown on the plan that received final approval, inadequate. This exact scenario is why DEME consistently, and early on in any review process, makes recommendation to the Board not to grant final approval (see comment #3, DEME letter of May 20, 2020 and PB#20-19) condition #8) on a project until the all groundwater/ perc/ infiltration/ soil boring tests have been completed. These tests are critical in determining if a proposed stormwater design will work. Therefore, the revised site plan requires a site plan amendment approval of the Planning Board.
6. Soil borings, perc tests and determination of groundwater elevation shall be performed at the proposed drywell location. These tests shall be performed **PRIOR** to this proposal receiving **Final Approval** to ensure the adequacy of the proposed design. This information shall be added to the drainage calculations.
7. Cross-sections for the proposed subsurface Stormtech detention system depicting the elevations at all the year storms designed for, plus their related storage volumes, shall be included in said cross sections.

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8. The drawings indicate two different stormwater systems. The majority of the plans show/ call for a subsurface stormwater system and others still show an "above ground" infiltration basin. Drawings C10.1 & C10.2 show cross hatched areas of previously proposed infiltration basin. Drawing L1.0 actually calls for infiltration basin. All of the drawings shall be coordinated.

9. The Drainage Report/ SWPPP supplied is under review by DEME. A formal review will be sent directly to the Applicant's engineer. However, a cursory review of the Drainage Report has revealed a number of issues with it:

- a) The report supplied is separated into two distinct sections, drainage report first followed by the SWPPP report. The report shall be reorganized into one unified report. The "SWPPP" report shall be first and the drainage report made part of the SWPP report (e.g. not two separate reports.)
- b) The opening SWPPP project narrative shall explicitly described how Chapter 6 - Green Infrastructure and Chapter 9 – Redevelopment of the New York State Stormwater Management Design Manual are being satisfied. This information shall also be flushed out in the calculations and other pertinent section of the SWPPP.
- c) The SWPPP and NOI indicate a total area of disturbance (A.o.d.) of 2.17 acres. However, drawing C6.0 list the a.o.d. as 1.98 acres. The SWPPP and the drawings shall be coordinated to reflect the same a.o.d throughout.
- d) The a.o.d. shall be plainly listed on drawings C1.0-C3.0, C4.0, C5.0 and C6.0-C6.2.
- e) The drainage calculations do not currently include pre-development drainage calculations (analyzing the same storms as the post development.) These are required and shall be added to the report.
- f) The required pre and post development calculations and hydrographs for all the analyzed storms shall be separated into two appendices.
- g) Currently, the post development calculations only contain the hydrographs for the various storms analyzed. All of the tabulator data/ calculations for the pre and post development, shall be included in the calculations.

OFFICE SUPERVISOR

SEP 24 6 23 PM '20

MANAGEMENT OF

**PB #20-39: Onyx Management/ Amazon  
Delivery Center Plans  
Amendment to Final Site Plan Approval PB #20-19;  
Final Approval Subject to Conditions  
Neg. Dec.**

**Permit #49989**

**Town of Orangetown Planning Board Decision  
September 23, 2020  
Page 8 of 12**

**Continuation of Condition #9...**

- h) Appendix E shall include the required "during" construction checklists for ALL of the proposed stormwater management facilities (e.g. Stormtech subsurface detention system, snout-hood, etc.) as well as all of the proposed soil erosion and sediment control features.
  - i) an appendix shall be included containing the required post construction stormwater maintenance agreement and checklists for all of the proposed stormwater management facilities: storm tech subsurface detention, snout hood(s), system catch basins, piping, etc.
  - j) Currently the Drainage report/ SWPPP report each contain the entire set of site plans, Drainage Report – Appendix A and SWPPP Report – Appendix B. By reorganizing the reports into one report (drainage to be section of SWPPP – see note 9a above) one of these duplicate sections can be eliminated.
10. The pocket pond detail, drawing C6.3 is no longer relevant and shall be removed from the drawings.
11. The legend on drawing C5.1 states that details for the proposed subsurface stormwater detention system can be found on drawing C7.0, however, no details for this system are on drawing C7.0. The details are on drawing C5.6. The legend shall be amended accordingly.
12. The current NYSDEC SPDES Permit for construction, NYSDEC SMDM, NYS Standards and Specifications for Erosion and Sediment Control shall be listed and referenced in the SWPPP.
13. The soil erosion and sediment control symbols shall conform to NYSDEC Standards.
14. Manhole E1 shall be labeled on drawing C5.1. Also, the storm piping crossing between sanitary manholes SS-A2 and SS-A3 shall be shown on the profile on drawing C5.5.

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**Town of Orangetown Planning Board Decision  
September 23, 2020  
Page 9 of 12**

15. A post construction stormwater maintenance agreement, in accordance with NYSDEC Phase II regulations, for the proposed stormwater systems, shall be submitted to DEME and the Orangetown Town Attorney's Office for review and approval. Said agreement shall include a maintenance and management schedule, inspection checklist, contact person with a telephone number, yearly report to be submitted to DEME, etc.
16. All existing utilities, easements (with metes and bounds, ownership and page and liber/ instrument number) and dedications (with metes and bounds, ownership and page and liber/ instrument number) shall be shown on the plans.
17. Drawing C5.2 shows an 8-inch sanitary line coming out of the proposed addition where the indoor vehicle loading will take place. The drawings refer to plumbing drawings not supplied to DEME. If this line is designed to be connected to floor drains in the addition/ vehicle loading area, the applicant shall contact the Town of Orangetown Pre-Treatment Coordinator to see what regulations/ facilities may need to be installed and if the Applicant will need to be covered under the Town's Pre-Treatment permit system. If the lines are only connected to standard sanitary facilities, no further action needs to be taken.
18. The proposed outside drop manhole detail, drawing C7.3 shall be modified to reflect a doghouse manhole, as the proposed manhole is being installed on an existing Town maintained sanitary line. Also, a Town of Orangetown Licensed Sewer contractor is required to preform all "tie-ins" to the Town main.
19. The proposed sanitary manhole details shall be revised to show a Campbell Foundry model 1012B (30-inch diameter opening.) Frame and cover details to be added to the drawings. Cover to say "Sanitary Sewer" and the installation year (20XX.)
20. The following note shall be added to drawings C2.0, C3.0, C5.0, C5.2, C5.5 and C6.0 stating, "The Contractor shall notify the Town of Orangetown Sewer Inspector at least 48 hours in advance of any construction taking place in or around the sanitary sewer system."
21. Drawing C1.0 incorrectly lists the Town as owner of the Water system. The potable water system is owned by Suez. The drawing shall be corrected accordingly. Also, drawing C1.0 and the SWPPP cover and narrative shall reference/ list the title of project as Onyx Management/ Amazon Delivery Center Plan, in addition to DXY4-Delivery Station.

OFFICE SUPERVISOR

CECILIA B. JONES

MANAGEMENT INFORMATION

**PB #20-39: Onyx Management/ Amazon  
Delivery Center Plans  
Amendment to Final Site Plan Approval PB #20-19;  
Final Approval Subject to Conditions  
Neg. Dec.**

**Permit #49989**

**Town of Orangetown Planning Board Decision  
September 23, 2020  
Page 10 of 12**

**22. Copies of all correspondence, including any and all approvals, with the NYS Department of Environmental Conservation, U.S. Army Corps of Engineers, the Rockland County Drainage Agency, etc., in connection with this proposed site plan, shall be supplied to the Planning Board and DEME, prior to signing the map.**

**23. Drainage Review – Brooker Engineering**

**Project Comments:**

The proposed action has provided sufficient drainage information that demonstrates that potential significant adverse impacts with respect to drainage can be mitigated. Therefore, Brooker Engineering recommends that the DXY4-Delivery Station Site Plan be approved subject to the following conditions.

**Project Description**

This is the third drainage review report for this application; the last review was dated July 7, 2020. The site is located in Bradley Industrial Park, along the west side of Oritani Drive. Two existing buildings at 200 and 400 Oritani Drive are to remain and be used as warehouses. A building expansion over the existing parking lot is proposed at the southern building. A reconfiguration of the parking area between the two buildings is proposed for this application. A new stormwater management underground infiltration basin is proposed north of the building expansion.

The latest submission changes the previous open infiltration basin to a new underground infiltration system adjacent to the building. The system will tie into the existing storm drain system on the site. The Drainage Consultant notes that the overall project land disturbance decrease the imperious area on the site, while providing approximately 23,000 cubic feet of additional underground storage for stormwater detention.

**Project Comments:**

1. Provide the drainage area maps at a larger scale and the drainage subareas outlined.
2. It appears existing stormwater that was conveyed to the existing stormwater detention facility is now being diverted around the existing stormwater detention facility at new MH B4. The hydrologic model shall reflect the diversion of this subarea. It appears portions of Oritani Drive will now bypass both the existing and proposed detention facilities.

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**Delivery Center Plans  
Amendment to Final Site Plan Approval PB #20-19;  
Final Approval Subject to Conditions  
Neg. Dec.**

**Town of Orangetown Planning Board Decision  
September 23, 2020  
Page 11 of 12**

**Continuation of Condition #23...**

3. Coordinate the data in the Disturbed Area calculations on Drawing 6.0 with data in the stormwater management report. Provide the Post Construction BMPs on Drawing 6.0
4. The soil test results have been provided to support the use of an open infiltration basin at the previous location. However, no infiltration tests were performed at the current location of the underground infiltration basin. A map note shall be added that the infiltration rate shall be field verified during construction.

24. The Town of Orangetown Bureau of Fire Prevention has no comments in regard to the underground detention system. However, in PB#20-19, the Fire Prevention Bureau had the following comments, as Condition #29:

“29. The Town of Orangetown Bureau of Fire Prevention reviewed the information and offered the following comments regarding the proposed canopy on the north side of Building 400:

- That side of the building is an emergency access for the Fire Department in the event of a train being stopped or stuck across the east entrance. This would require an amendment to the Site Plan and a new plan for emergency access.
- The canopy attached to the building and covering 24 vehicles would require fire protection; and must be protected with a sprinkler system.
- The canopy is too close to the side yard.
- The proposed emergency access road at the eastern most side of the parking lot of building 200 is acceptable. It has to be stripped and signed appropriately and key boxes must be installed at each end for the gates.
- The existing emergency access road appears to be part of the entry exist to the site and the Bureau believes it is approved for such use as there were traffic concerns at the Western Highway entry/ exit as well as along the access road.
- Provide details pertaining to fire lanes at the site.
- Drawing C10.0 needs to show the fire truck navigating the entire site.
- Detailed interior drawings are needed to comment on interior renovations.”

OFFICE OF SHERIFF MNO1

SEP 21 6 23 PM '20

MNO1 ORANGETOWN

**Delivery Center Plans  
Amendment to Final Site Plan Approval PB #20-19;  
Final Approval Subject to Conditions  
Neg. Dec.**

**Town of Orangetown Planning Board Decision  
September 23, 2020  
Page 12 of 12**

25. The applicant shall comply with all pertinent items in the Guide to the Preparation of Site Plans prior to signing the final plans.

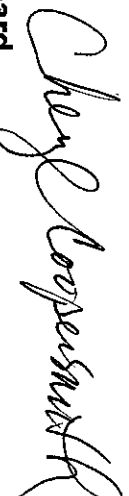
26. All reviews and approvals from various governmental agencies must be obtained prior to stamping of the Site Plan.

27. All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and /or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21A-9. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Site Plan Approval pursuant to Town Code §21A-4.

The foregoing Resolution was made and moved by Michael Mandel, Vice-Chairman and seconded by Andrew Andrews and carried as follows:  
Thomas Warren - Chairman; aye, William Young, Vice-Chairman, aye;  
Michael Mandel; aye, Stephen Sweeney; aye, Bruce Bond; abstain,  
Andrew Andrews, aye; Robert Dell; aye and Michael McCrory; aye

The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

**Dated: September 23, 2020  
Cheryl Coopersmith  
Town of Orangetown Planning Board**



OFFICE CLERK'S OFFICE  
SEP 23 12 34  
SEP 23 0707  
TOWN OF ORANGETOWN

PB #20-39: Onyx Management/ Amazon

Permit #49989

Delivery Center Plans

Amendment to Final Site Plan Approval PB #20-19;

Final Approval Subject to Conditions

Neg. Dec.

Town of Orangetown Planning Board Decision

September 23, 2020

Reaffirmation

State Environmental Quality Review Regulations

NEGATIVE DECLARATION

Notice of Determination of Non-Significance

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Regulation) of the Environmental Conservation Law.

The PLANNING BOARD, TOWN OF ORANGETOWN, as Lead Agency, has determined that the proposed action described below will not have a significant impact on the environment and a Draft Environmental Impact Statement will not be prepared.

Name of Action: **Onyx Management/ Amazon Delivery Center Plans**

**Amendment to Final Site Plan Approval PB #20-19;**

**Final Approval Subject to Conditions**

SEQR STATUS: Type I \_\_\_\_\_ Unlisted XXXXXX

CONDITIONED NEGATIVE DECLARATION: Yes \_\_\_\_\_ No XXXXXX

DESCRIPTION OF ACTION: Site Plan Review

LOCATION: The site is located at 200 & 400 Ortani Drive and 877 Western Highway, Blauvelt, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 65.18, Block 1, Lot 1 & 22 and Section 70.06, Block 1, Lot 1.12, in the LO zoning district.

REASONS SUPPORTING THIS DETERMINATION:

The Orangetown Planning Board, as Lead Agency, determined that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared. The reasons supporting this determination are as follows:

The project will not have a significant impact upon the environment and a DEIS need not be prepared because the proposed action does not significantly affect air quality, surface or ground water quality, noise levels or existing external traffic patterns. In addition, it will have no impact upon the aesthetic, agricultural or cultural resources of the neighborhood. No vegetation, fauna or wildlife species will be affected as a result of this proposed development. The proposed action is consistent with the Town of Orangetown Master Plan and will not have any adverse economic or social impacts upon the Town or its businesses or residences.

If Conditioned Negative Declaration, the specific mitigation is provided on an attachment.

For Further Information contact:

Office of Building, Zoning and Planning

Administration and Enforcement, Town of Orangetown, 20 Greenbush Road  
Orangeburg, NY 10962; Telephone Number: 845.359.5100

For Type I Actions and Conditioned Negative Declarations, a copy of this notice is sent: - Commissioner, New York State Department of Environmental Conservation, - Region 3 Headquarters, - Town Supervisor, Applicant

- Involved Agencies