

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(914) 359-8410 (ex. 4331)
Date: February 10, 2020

*Army Corp
DEC*

TO: OBAPAE
Environmental Management and Engineering
Rockland County Sewer District #1
New York State Dept. of Transportation
Palisades Interstate Park Commission
Orange and Rockland Utilities
Orangetown Highway
Fire Prevention (Performance Standards)

✓ Rockland County Drainage
✓ Rockland County Health
✓ Rockland County Planning
✓ Rockland County Highway

old Tappan NJ

Review of Plans: Skae Site Plan Building Expansion, 337-339 Blaisdell Road, Orangeburg, NY
Section 76.08 Block 1 Lot 4 LIO zone
This matter is scheduled for:

Chapter 43, LIO District, Section 3.12, Columns 9 (Side Yard: 100; required, 33.5' provided to 10' x 15' accessory structure & 55.8' provided to the pole barn addition) and 10 (Total Side Yard: 200' required, 89.3') for an expansion of existing rear structure –pole barn.

Please review the information enclosed and provide comments. These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: darbolino@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: March 18, 2020

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, March 18, 2020** . **Kindly forward your completed review to this office by March 18, 2020.**

Reviewing Agency _____

Name _____ date: _____

Signature: _____

Thank you, Deborah Arbolino



**OFFICE OF BUILDING, ZONING PLANNING
ADMINISTRATION AND ENFORCEMENT**
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGEBURG, N.Y. 10962

**Jane Slavin, RA
Director**

(845) 359-8410

Fax: (845) 359-8526

MEMO

DATE: January 27, 2020
APPLICANT: Skae Site Plan – Building Expansion
ADDRESS: 337-339 Blaisdell Road, Orangeburg, NY
RE: Building Expansion
76.08-1-4



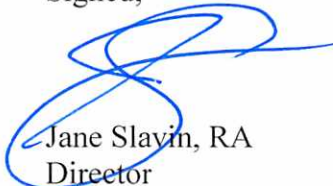
Debbie,

The following variances are required:

Chapter 43, Table 3.12, LIO District;

Column 9, side yard required 100', provided 33.5 feet to 10'x15' accessory structure.
Column 9, side yard required 100', provided 55.8' feet to pole barn addition.
Column 10, total side yard required 200', provided 89.3'

Signed,


Jane Slavin, RA
Director

**PLANNING BOARD
MEETING OF:**
MAY 10 2019
Town Of Orangetown

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2019 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final <input type="checkbox"/> Interpretation
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PERMIT#: 47781
 ASSIGNED _____
 INSPECTOR: MM
 Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: 9/12/18

Project Name: Skae Rear Expansion - Pole Barn

Street Address: 337-339 Blaisdell Road
Orangeburg, NY 10962

Tax Map Designation:
 Section: 76.08 Block: 1 Lot(s): 4
 Section: _____ Block: _____ Lot(s): _____

Directional Location:
 On the east side of Blaisdell Road, approximately
0 feet north of the intersection of NY/NJ state line, in the
 Town of ORANGETOWN in the hamlet/village of Orangeburg.

Acreage of Parcel <u>14.9657</u>	Zoning District <u>LIO</u>
School District <u>Pearl River</u>	Postal District <u>Orangeburg</u>
Ambulance District <u>S. Orangetown</u>	Fire District <u>Orangeburg</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)
Expansion of existing rear structure - pole barn

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
 Date: 5/8/19 Applicant's Signature: _____

APPLICATION REVIEW FORM

Applicant: Peter Skae Phone # 845-365-9105

Address: 348 Route 9W Palisades NY 10964
Street Name & Number (Post Office) City State Zip Code

Property Owner: same as above Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Sparaco & Youngblood Phone # 914-262-7168

Address: 18 North Main Street Harriman NY 10926
Street Name & Number (Post Office) City State Zip Code

Attorney: Donald Brenner Phone # 845-359-2210

Address: 4 Independence Ave Tappan NY 10983
Street Name & Number (Post Office) City State Zip Code

Contact Person: Donald Brenner Phone # 845-359-2210

Address: 4 Independence Ave Tappan NY 10983
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|--|---|
| <input checked="" type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:

Referral Agencies:

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input type="checkbox"/> Other _____ | |

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

**PB#18-35: Skae Site Plan
Building Expansion
Preliminary Site Plan Approval
Subject to Conditions/ Neg. Dec.**

Permit #47781

**Town of Orangetown Planning Board Decision
September 12, 2018
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**TO: Donald Brenner, 4 Independence Ave., Tappan, New York
FROM: Orangetown Planning Board**

RE: Skae Site Plan – Building Expansion: The application of Peter Skae, LLC, owner, for Prepreliminary/ Preliminary/ Final Site Plan Review, at a site known as “**Skae Site Plan – Building Expansion Plan**” in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the Code of the Town of Orangetown and to determine the environmental significance of the application pursuant to the requirements of the New York State Environmental Quality Review Act. The site is located at 337-339 Blaisdell Road, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 76.08, Block 1, Lot 4 in the LIO zoning district.

Heard by the Planning Board of the Town of Orangetown at a meeting held **Wednesday, September 12, 2018** at which time the Board made the following determinations:

Donald Brenner, Steven Sparaco and Peter Skae appeared and testified. The Board received the following communications:

1. Project Review Committee Report dated September 5, 2018.
2. Interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R.A., AIA, Director, dated September 7, 2018.
3. Interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E., dated September 6, 2018.
4. A letter from Brooker Engineering, signed by Kenneth DeGennaro, P.E., dated September 10, 2018.
5. A letter from the Rockland County Department of Planning, signed by Douglas Schuetz, Acting Commissioner of Planning, dated August 29, 2018.
6. Letters from the Rockland County Highway Department signed by Dyan Rajasingham, Engineer III, dated August 17, 2018 and Joseph Arena dated August 23, 2018.
7. Letters from the Rockland County Department of Health, signed by Elizabeth Mello, P.E., dated August 24, 2018.
8. A letter from the Rockland County Sewer District No.1, signed by Joseph LaFindra, Engineer II, dated September 7, 2018.
9. A letter from the Town of Orangetown Zoning Board of Appeals, signed by Daniel Sullivan, Chairman, dated September 5, 2018.
10. An interdepartmental memorandum signed by Michael Bettmann, Chief Fire Inspector, Bureau of Fire Prevention, Town of Orangetown, dated September 7, 2018.

TOWN CLERK'S OFFICE
2018 SEP 27 P 2:42
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11. A Short Environmental Assessment Form, signed by Peter Skae, dated July 20, 2018.
12. A Project Narrative prepared by the applicant.
13. Site Plans entitled "Pole Barn Addition for Skae Training" prepared by Sparaco & Youngblood PLLC dated March 21, 2017:
 - 1 of 3: Site Plan
 - 2 of 3: Part Plans & Details
 - 3 of 3: Details
14. Architectural Plans prepared by Victor Caruso, R.A., dated April 24, 2018:
 - Floor Plan and Foundation Plan
 - Elevations and Section
15. Building Permit Referral dated June 13, 2018, prepared by Rick Oliver, Building Inspector.

The Board reviewed the plans. The hearing was then opened to the Public.

There being no one from the Public, a motion was made to close the Public Hearing portion of the meeting by Kevin Garvey and seconded by William Young and carried as follows: Thomas Warren, Chairman, aye; William Young, Vice Chairman, aye; Michael Mandel aye; Blythe Yost, aye; Stephen Sweeney, aye; Robert Dell, aye, Kevin Garvey, aye and Bruce Bond, absent.

The proposed action is classified as an "unlisted action" as defined by Section 617.2 (ak) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA. On motion by Kevin Garvey and seconded by Stephen Sweeney and carried as follows Thomas Warren, Chairman, aye; William Young, Vice Chairman, aye; Michael Mandel aye; Blythe Yost, aye; Stephen Sweeney, aye; Robert Dell, aye; Kevin Garvey, aye, and Bruce Bond, absent the Board declared itself Lead Agency.

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Pursuant to New York Code, Rules & Regulations (NYCRR) Section 617.7, the Town of Orangetown Planning Board, as lead agency, for the reasons articulated in this Board's analysis of all of the submissions by the applicant, interested agencies, departments and the public, with respect to this project including the Environmental Assessment Form, which reasons are summarized in the motion, hereby determines that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared.

After having identified the relevant areas of environmental concern, namely drainage, surface water runoff, land clearing, vegetation, fauna, traffic and noise levels, and after having taken a hard look at said environmental issues, and after having deliberated regarding such concerns, and having heard from the applicant, the applicant's professional representatives, namely Sparaco & Youngblood PLLC, and having heard from the following offices, officials and/or Departments: (Town of Orangetown): The Office of Building, Zoning, Planning Administration and Enforcement and Department of Environmental Management and Engineering; and having heard from the following involved and interested agencies: Town of Orangetown Zoning Board of Appeals, Rockland County Sewer District No.1, Rockland County Drainage Agency and Rockland County Health Department, a summary of the reasons supporting this determination are, and the Planning Board finds, that the proposed action:

- Will not significantly affect existing air quality or noise levels;
- Will not significantly affect existing surface water quality or quantity or drainage;
- Will not significantly affect existing ground water quality or quantity;
- Will not significantly affect existing traffic levels;
- Will not create a substantial increase in solid waste production;
- Will not create a potential for erosion, flooding, leaching or drainage problems;
- Will not have a significant adverse impact on the environmental characteristics of our critical environmental area or environmentally sensitive sites or features;
- Will not have an impairment of the character or quality of important historical, archeological or architectural resources;
- Will not have an impairment of the character or quality of important aesthetic resources;
- Will not have an impairment of existing community or neighborhood character;

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- Will not remove or destroy large quantities of vegetation or fauna;
- Will not remove or destroy large quantities of wildlife species or migratory fish;
- Will not have a significant adverse impact to natural resources;
- Is consistent with the Town of Orangetown's Comprehensive/Master Plan;
- Will not have adverse economic or social impacts upon the Town;
- Will not create a hazard to human health; and
- Will not create a substantial change in the use of land, open space or recreational resources.

On motion by Kevin Garvey and seconded by William Young and carried as follows: Thomas Warren, Chairman, aye; William Young, Vice Chairman, aye; Michael Mandel aye; Blythe Yost, aye; Stephen Sweeney, aye; Robert Dell, aye; Kevin Garvey, aye, Bruce Bond, absent, the Board made a Negative Declaration pursuant to SEQRA.

DECISION: In view of the foregoing and the testimony before the Board, the application was granted **Preliminary Site Plan Approval Subject to the Following Conditions:**

1. The following note shall be placed on the Site Plan: "At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a Pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a meeting".
2. The following note shall be placed on the Site Plan: "Stormwater Management Phase II Regulations: Additional certification, by an appropriate licensed or certified design professional shall be required for all matters before the Planning Board indicating that the drawings and project are in compliance with the Stormwater Management Phase II Regulations" .
3. All outdoor construction activities, including site clearing operations if applicable, shall take place between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday. No such activities shall take place on Sunday or a legal holiday. The same criteria shall apply to indoor construction activities, except that such activities may take place between the hours of 7:00 a.m. and 10:00 p.m.

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4. The Site Plan shall note the access road to the structure, starting point and ending point; in accordance with Bureau of Fire Prevention conditions.
5. The building separation distances between the proposed and existing structures shall be noted on the Site Plan.
6. The applicant shall provide in writing, the use of the proposed pole barn.
7. Explain in writing, what is the construction and use in connection between the existing wood frame structure and proposed pole barn.
8. The Site Plan indicates the existing two story frame dwelling. Is the frame structure being used as a dwelling? As stated in the Town of Orangetown Zoning Board of Appeals Decision #15-01, the pre-existing non-conforming structure was permitted to remain with specific condition that the structure's use shall be conforming to the LIO district.
9. The square footage of the proposed roof overhang at the pole barn shall be shown in the floor ratio calculations.
10. The Bulk Table shall indicate the existing and proposed setbacks and proposed height for the accessory structure. The current Bulk Table indicates the dimensions and variance as they relate to the main building.
11. In accordance with the Town of Orangetown Town Code, Chapter 43, § 9.2, Degree of non-conforming bulk not to be increased; a variance will be required from the Zoning Board of Appeals.
12. Drainage calculations, prepared and sealed by a New York State Licensed Professional Engineer, shall be submitted to DEME for review and approval. The calculations shall demonstrate zero net increase in runoff, tabular and graphical inflow and outflow hydrographs for the proposed subsurface detention system, storage vs. volume vs. elevations tables, pre-development vs. post development runoff totals for various design storms, drainage areas maps, etc.
13. The applicant's engineer shall provide calculations showing the existing and increase impervious area for the site. These calculations shall include a tabular breakdown of the total area of disturbance listed on drawing 2 of 3.
14. The 15 inch HDPE overflow/ outlet pipe and rip rap exhaust area shall be shown on drawing 1 of 3.

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15. Soil borings, perc tests and determination of groundwater elevations shall be performed at the subsurface detention system location. These tests shall be performed **PRIOR** to this proposal receiving **Final Approval** to ensure adequacy of designed drainage system. This information shall be added to the drainage calculations. The tests shall be performed in the spring when the ground water table is typically at its highest.

16. An existing conditions plan shall be added to the drawing set.

17. The post construction stormwater maintenance agreement (in accordance with NYSDEC Phase II regulations) for this site shall be amended to include the proposed subsurface detention system, catch basin, and piping. The revised document shall be submitted to DEME and the Town of Orangetown Town Attorney's office for review and approval. Said agreement shall include a maintenance and management schedule, inspection check list, contact person with telephone number, yearly report to be submitted to DEME, etc.

18. The drawing indicates that only one catch basin is being proposed to capture all of the runoff from the new paved parking areas/ driveway. This is unrealistic and unacceptable. Additional catch basin and connection piping shall be added to the proposed parking areas/ driveway to adequately handle the runoff from these impervious areas.

19. The drawings do not show any curbing to be installed around the proposed driveway/ parking areas. What will prevent stormwater from flowing as sheet flow off of the paved areas and bypassing the catch basin/ subsurface detention system? Curbing shall be added to the paved parking areas/ driveway.

20. Because of any bypass or overflow from the proposed stormwater facilities will flow into wetlands, a grease trap or other approved stormwater quality control feature shall be added to the stormwater system. This feature shall be located prior to the inlet/ outlet stormwater manhole.

21. Profiles for the proposed drainage piping shall be added to the plans. The profiles shall show all utility crossings.

22. Soil erosion and sediment control plans and details shall be submitted to DEME for review and approval.

23. The Soil erosion and sediment control symbols shall conform to NYSDEC standards. Also, the SESC plans shall include the proposed SESC measures in the Legend.

24. The location of the existing sanitary building connection shall be given on the plans.

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25. The datum for the contours shall be added to Note #5.

26. A note shall be added to the Site Plan indicating the source benchmark for the referenced datum, including the BM elevation.

27. Drainage Review Recommendation

Sufficient detail and drainage calculations have been provided to demonstrate that potential significant impacts with respect to drainage can be mitigated. The Drainage Consultant, Brooker Engineering, therefore recommends that the Skae Pole Barn Addition Site Plan be approved for drainage subject to the following comments:

Project Description

This is the first drainage review report for this project. The Drainage Consultant previously performed a drainage review for the athletic training center building on the west side of the property. The current project consists of a new pole barn addition on the east side of the property. Access this portion of the site is via a private drive off of Orangeburg Road. The proposed addition and new parking lot is for an office and warehouse use. The two uses are independent and each has separate stormwater management facilities. There is a wetland between the two areas of land disturbance that resulted from each application.

Stormwater runoff flows downhill in a westerly direction through the site. Approximately 9,500 square feet of new impervious area is being added to the site. Stormwater detention is provided by 16 Stormtech 3500 chambers. An outlet structure is provided to regulate outflows and provide the stormwater routing. The outlet structure discharges to the wetlands on the property.

Project Comments

1. Provide a curb or berm along the west side of the driveway to make sure stormwater runoff does not bypass the field inlet that conveys stormwater to the detention system.
2. The drainage narrative describes an off-site subarea but this is not included in the hydrologic model. Evaluate stormwater runoff from the east that enters the property and may be conveyed to the detention system.
3. Provide a hood over the outlet pipe in the proposed catch basin at the northwest corner of the parking lot.
4. Provide a catch basin with a hood over the outlet pipe to discharge the roof leaders to prior to entering the detention system. Alternately, tie the roof leaders into the catch basin at the northwest corner of the parking lot.

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Continuation of Condition #27...

5. Provide a plan view detail of the detention system. Provide elevations of the isolator row and regular stormtech rows on the section.
6. Shift the stormwater outfall to the center of the property and away from the southern property line.
7. Show positive drainage on the south and east side of the existing building.
8. Show the actual finished floor elevation of the new building.
9. Provide maintenance requirements and schedule for the detention system on the Site Plan.
10. Show proposed grading on the east and south sides of the existing house that directs stormwater runoff away from the building.
11. Provide the results of the test pits.

28. The Rockland County Department of Planning had the following comments which are incorporated herein as conditions of approval:

- The comments in the August 17, 2018 letter from the Rockland County Highway Department must be met.
- As indicated in the August 24, 2018 letter from the Rockland County Department of Health, an application must be made for review of the stormwater management system to ensure compliance with the County Mosquito Code.
- Rockland County Department of Planning last reviewed this parcel for site plan review in February, 2018 for the shed and 75' antenna. The site plan that corresponded to that application was dated November 11, 2016, with a revision date of January 2, 2018. The application before us now is dated March 21, 2017, with no revision dated listed. Therefore, this map for a newer application is older than the previous approved final site plan. Additions since 2017, such as the 75' antenna and shed are not depicted on this set of plans. The plans submitted must contain the most up to date information, particularly for approved facilities. A revised site plan, illustrating all components of the site must be provided.
- Prior to any grading or construction on the site, all soil and erosion control measures must be in place for the site. These measures must be the latest edition (November 2016) of the New York State Guidelines for Urban Erosion and Sediment Control.
- There shall be no net increase in the peak rate of discharge from the site at all design points.

29. The Rockland county Department of Health (RCDOH) offered the following comment:

- Application is to be made to the RCDOH for review of the stormwater management system for compliance with the County Mosquito Code.

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30. The Rockland County Sewer District #1 does not object to the plan as shown. This project does not affect any sanitary sewers within the District and request no future correspondence for this site.

31. The Town of Orangetown Bureau of Fire Prevention reviewed the plan and The Bureau offered the following comments:

- More detail shall be provided as to what the pole barn is proposed to be and where the access to it will be placed. The Detail for turning radius is done with an articulated ladder truck; there is not one in Tappan or Orangeburg. Orangeburg's ladder truck is a straight vehicle 246" wheelbase, total length 47' that would be first due in the event of a fire.

32. The following agencies do not object to the Town of Orangetown Planning Board assuming responsibilities of lead agency for SEQRA purposes:

- Town of Orangetown Zoning Board of Appeals
- Rockland County Sewer District #1
- Rockland County Health Department
-

33. The applicant shall comply with all pertinent items in the Guide to the Preparation of Site Plans and Board Decisions prior to signing the final plans.

34. All reviews and approvals from various governmental agencies must be obtained prior to stamping of the Site Plan.

35. All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and /or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21A-9. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Site Plan Approval pursuant to Town Code §21A-4.

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36. TREE PROTECTION: The following note shall be placed on the Site Plan:
The Tree Protection and Preservation Guidelines adopted pursuant to Section 21-24 of the Land Development Regulations of the Town of Orangetown will be implemented in order to protect and preserve both individual specimen trees and buffer area with many trees. Steps that will be taken to reserve and protect existing trees to remain are as follows:

- a. No construction equipment shall be parked under the tree canopy.
- b. There will be no excavation or stockpiling of earth underneath the trees.
- c. Trees designated to be preserved shall be marked conspicuously on all sides at a 5 to 10 foot height.
- d. The Tree Protection Zone for trees designated to be preserved will be established by one of the following methods:
 - One (1) foot radius from trunk per inch DBH
 - Drip line of the Tree Canopy.

The method chosen should be based on providing the maximum protection zone possible. A barrier of snow fence or equal is to be placed and maintained one yard beyond the established tree protection zone. If it is agreed that the tree protection zone of a selected tree must be violated, one of the following methods must be employed to mitigate the impact:

- Light to Heavy Impacts – Minimum of eight inches of wood chips installed in the area to be protected. Chips shall be removed upon completion of work.
- Light Impacts Only – Installation of ¾ inch of plywood or boards, or equal over the area to be protected.

The builder or its agent may not change grade within the tree protection zone of a preserved tree unless such grade change has received final approval from the Planning Board. If the grade level is to be changed more than six (6) inches, trees designated to be preserved shall be welled and/or preserved in a raised bed, with the tree well a radius of three (3) feet larger than the tree canopy.

37. All landscaping shown on the Site Plans shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.

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Page 11 of 12**

38. Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.

39. The contractor's trailer, if any is proposed, shall be located as approved by the Planning Board.

40. If the applicant, during the course of construction of any required public improvements or private sanitary or storm sewer improvements, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant (or the applicant's engineer) shall submit their recommendations as to the special treatment or design modification to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's (applicant's engineer's) recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's (applicant's engineer's) disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Federal Wetlands - U.S. Army Corps of Engineers).

41. Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.

42. Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEME with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications

43. The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse control.

TOWN CLERK'S OFFICE
2018 SEP 27 P 2:43
TOWN OF ORANGETOWN

**PB#18-35: Skae Site Plan
Building Expansion
Preliminary Site Plan Approval
Subject to Conditions/ Neg. Dec.**

Permit #47781

**Town of Orangetown Planning Board Decision
September 12, 2018
Page 12 of 12**

The foregoing Resolution was made and moved by Kevin Garvey seconded by Stephen Sweeney and carried as follows: Thomas Warren, Chairman, aye; William Young, Vice Chairman, aye; Blythe Yost, aye; Robert Dell, aye; Stephen Sweeney, aye; Kevin Garvey, aye; Michael Mandel, aye and Bruce Bond, absent.

The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

**Dated: September 12, 2018
Cheryl Coopersmith, Chief Clerk Boards and Commissions
Town of Orangetown Planning Board**



TOWN OF ORANGETOWN
2018 SEP 27 P 2:43
TOWN CLERK'S OFFICE

**State Environmental Quality Review Regulations
NEGATIVE DECLARATION
Notice of Determination of Non-Significance**

**PB#18-35: Skae Site Plan
Building Expansion
Preliminary Site Plan Approval
Subject to Conditions/ Neg. Dec.**

Permit #47781

**Town of Orangetown Planning Board Decision
September 12, 2018**

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Regulation) of the Environmental Conservation Law. The PLANNING BOARD, TOWN OF ORANGETOWN, as Lead Agency, has determined that the proposed action described below will not have a significant impact on the environment and a Draft Environmental Impact Statement will not be prepared.

NAME OF ACTION: Skae Site Plan Building Expansion

SEQR STATUS: Type I _____
Unlisted XXXXXX
CONDITIONED NEGATIVE DECLARATION: Yes _____
No XXXXXX

DESCRIPTION OF ACTION: Site Plan Review

LOCATION: The site is located at 337-339 Blaisdell Road, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 76.08, Block 1, Lot 4 in the LIO zoning district.

REASONS SUPPORTING THIS DETERMINATION:
The Orangetown Planning Board, as Lead Agency, determined that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared. The reasons supporting this determination are as follows:
The project will not have a significant impact upon the environment and a DEIS need not be prepared because the proposed action does not significantly affect air quality, surface or ground water quality, noise levels or existing external traffic patterns. In addition, it will have no impact upon the aesthetic, agricultural or cultural resources of the neighborhood. No vegetation, fauna or wildlife species will be affected as a result of this proposed development. The proposed action is consistent with the Town of Orangetown's Master Plan and will not have any adverse economic or social impacts upon the Town or its businesses or residences.

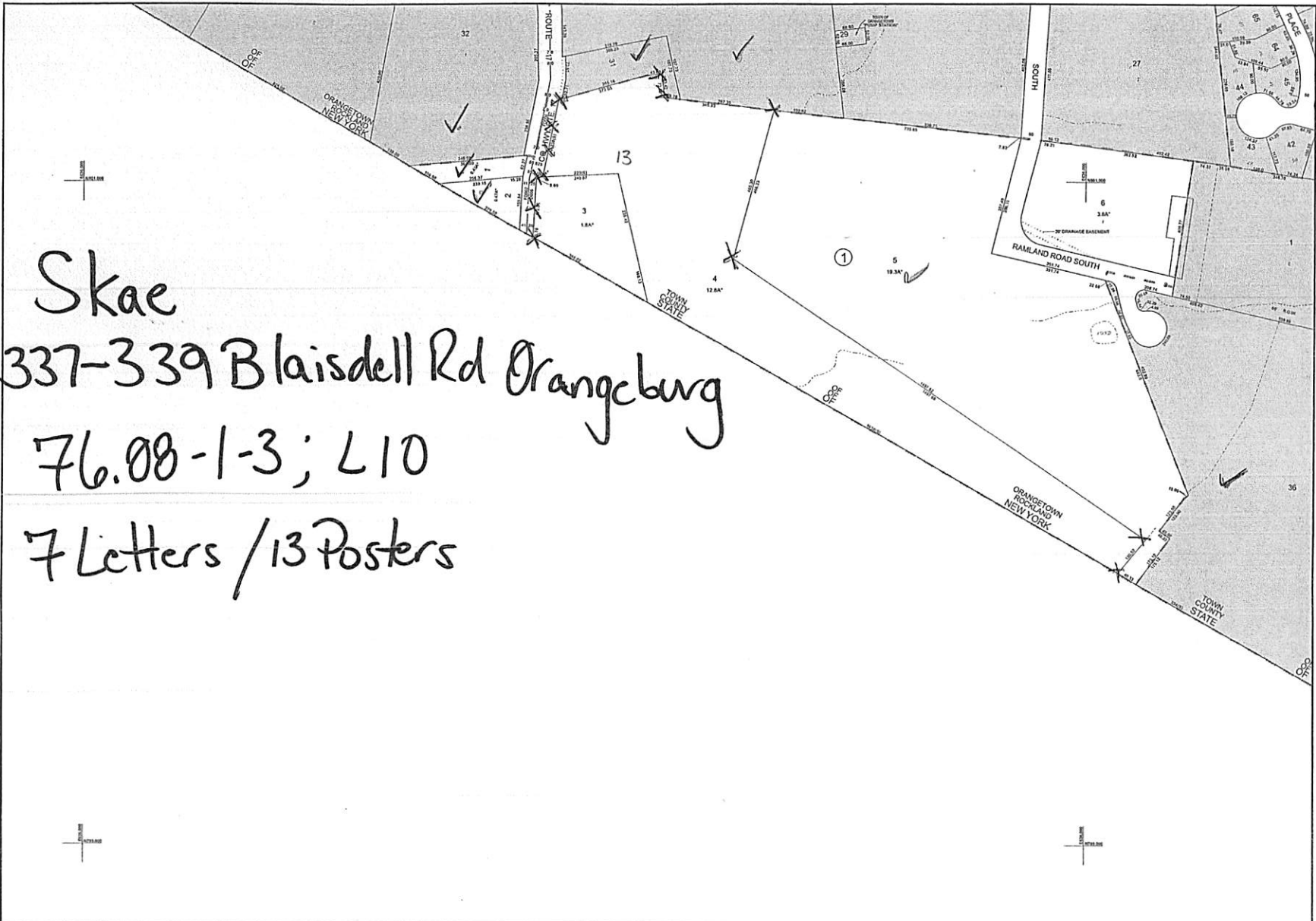
If Conditioned Negative Declaration, the specific mitigation is provided on an attachment.

For Further Information contact:
Office of Building, Zoning and Planning
Administration and Enforcement
Town of Orangetown
20 Greenbush Road
Orangeburg, NY 10962
Telephone Number: 845-359-5100

TOWN CLERK'S OFFICE
2018 SEP 27 P 2:43

For Type I Actions and Conditioned Negative Declarations, a copy of this notice is sent: - Commissioner, New York State Department of Environmental Conservation, - Region 3 Headquarters, NYSDEC, - Town Supervisor, Applicant - Involved Agencies

Skae
 337-339 Blaisdell Rd Orangeburg
 76.08-1-3; L10
 7 Letters / 13 Posters



	MAP REVISIONS				SCHOOL AND SPECIAL DISTRICTS DISTRICT NAME DISTRICT NUMBER	COUNTY OF BOROUGHS BOROUGHS NAME BOROUGHS NUMBER	LEGEND PROPERTY TYPE SYMBOL ZONING DISTRICT SYMBOL WATER SYMBOL ROAD SYMBOL RAILROAD SYMBOL POWER LINE SYMBOL TELEPHONE LINE SYMBOL GAS LINE SYMBOL SANITARY SEWER SYMBOL WATER MAIN SYMBOL FLOOD HAZARD SYMBOL EROSION CONTROL SYMBOL LANDSLIDE SYMBOL OTHER SYMBOL	73.14	73.20	74.17	REVISED THROUGH FEBRUARY 28, 2017		TOWN MAP TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK		76.08
	DATE	BY	REVISIONS	DATE				BY	REVISIONS	77.05					

NOTES:

- THIS IS LOT 4, BLOCK 1, SECTION 7-08 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAP.
- TOTAL AREA OF TRACT: 651,908 SF. = 14.9657 ACRES
- ZONE: L10
- PROPOSED USE: ATHLETIC TRAINING
- DATUM: USGS
- SOURCE BENCHMARK: TOP SEWER MAIN HOLE - ELEV. = 83.21 AT INTERSECTION RAMLAND RD. (SEE DRAWING: 3 OF 6 FOR B.M. LOCATION)
- RECORD OWNER & APPLICANT: PETER SKAE 345 ROUTE 9W PALISADES, N.Y. 10964
- SCHOOL DISTRICT: PEARL RIVER CENTRAL SCHOOL DISTRICT FIRE DISTRICT: ORANGETOWN WATER DISTRICT: ORANGETOWN WATER DISTRICT LIGHTING DISTRICT: ROCKLAND AND ORANGE SENIOR DISTRICT: ORANGETOWN SENIOR DISTRICT
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239LM OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.

- THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER TREE CANOPY
 - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES
 - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5'-10" HEIGHT.
 - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
 - DROP LINE OF TREE CANOPY.
 THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND ESTABLISHED TREE PROTECTION ZONE IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
 - LIGHT TO HEAVY IMPACTS - MIN. OF 8" OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - LIGHT IMPACTS ONLY - INSTALLATION OF 3/4" OF PLYWOOD OR BOARDS OR EQUAL OVER THE AREA TO BE PROTECTED.
 THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED THE FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED BY MORE THAN 6", TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED, AND/OR PRESERVED IN A RAISED BED WITH THE TREE WELL A RADIUS OF 3' LARGER THAN THE TREE CANOPY

- ALL LANDSCAPING SHOWN ON THE SITE PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (EM&E) SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT EM&E AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
- THE CONTRACTOR TRAILER IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.
- IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE APPLICANT. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE PERMANENT AND SATISFACTORY CONSTRUCTION DEME. SHALL INVESTIGATE THE CONDITIONS AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITIONS, OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF DEME, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING IN THE SUBDIVISION PLAN OR SITE PLAN OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THE MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (I.E. WETLANDS-US ARMY CORPS OF ENGINEERS).
- PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.

- PRIOR (AT LEAST 14 DAYS) TO THE PLACING OF ANT ROAD SUB-BASE THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SUPERINTENDENT OF HIGHWAYS AND DEME WITH A PLAN AND PROFILE OF THE GRADED ROAD TO BE PAVED IN ORDER THAT THESE DEPARTMENTS MAY REVIEW FOR CONFORMANCE TO THE APPROVED CONSTRUCTION PLANS AND THE TOWN STREET SPECIFICATIONS.
- THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING AND LANDSCAPING SIGNS AND REUSE CONTROL.
- LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
- CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR, DIVISION OF SEWERS.
- CLEARING LIMIT AREAS MUST BE MARKED IN THE FIELD PRIOR TO ANY GRADING OR CONSTRUCTION SITE TO AVOID ANY ENCROACHMENTS INTO THE WETLAND AREA.
- STORMWATER MANAGEMENT PHASE II REGULATIONS: ADDITIONAL CERTIFICATION BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.
- ALL OUTDOOR CONSTRUCTION ACTIVITIES, INCLUDING SITE CLEARING OPERATIONS IF APPLICABLE, SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M. MONDAY THROUGH SATURDAY. NO SUCH ACTIVITIES SHALL TAKE PLACE ON SUNDAY OR A LEGAL HOLIDAY. THE SAME CRITERIA SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 10:00 P.M.

TOWN FIRE PREVENTION NOTES:

- INSTALL AN NFPA 13 COMPLIANT FIRE SPRINKLER SYSTEM MAINTAINED ACCORDING TO NFPA 25.
- INSTALL AN NFPA 72 COMPLIANT FIRE ALARM SYSTEM, CONNECTED TO ROCKLAND COUNTY 44-CONTROL WITH AMBER AND RED STROBES AS PER ORANGETOWN CODE.
- INSTALL PORTABLE FIRE EXTINGUISHERS AS PER NFPA 10.
- INSTALL EMERGENCY LIGHTING AS PER NEC.
- INSTALL KEY BOX.
- APPLY FOR AND MAINTAIN CERTIFICATE OF COMPLIANCE FIRE SAFETY WITH FIRE INSPECTORS OFFICE.
- IF LIGHTWEIGHT TRUSSES ARE USED, A SIGN MUST BE PLACED ON THE EXTERIOR OF THE BUILDING FACING MAIN ENTRANCE.

BULK TABLE

LIO	MINIMUM LOT AREA	LOT WIDTH (FEET)	STREET FRONTAGE (FEET)	FRONT YARD (FEET)	SIDE YARD (FEET)	TOTAL SIDE YARD (FEET)	REAR YARD (FEET)	FLOOR AREA RATIO	PARKING	BUILDING HEIGHT (FEET)
REQUIRED	871,200	300	150	100	100	200	100	40	SEE CALCS.	14.58
EXISTING	651,908	466	418.6	*58.2	*52.7	330.6	1,919.9	0.020	SEE CALCS.	*30
ACCESSORY STRUCTURE	651,908	466	418.6	1,799.9	*55.8	*112.6	112.9	0.025	SEE CALCS.	*22 ±

* VARIANCE GRANTED BY ZBA #14-20, DATED MARCH 19, 2014
 * MAXIMUM HEIGHT - 3 INCHES PER FOOT FROM LOT LINE (1.98.3X.25-14.08' MAX HEIGHT ALLOWED-PRIMARY)
 * MAXIMUM HEIGHT - 3 INCHES PER FOOT FROM LOT LINE (1.12.9X.25-28.23' MAX HEIGHT ALLOWED-ACCESSORY)
 ** VARIANCE REQUIRED
 * VARIANCE GRANTED BY ZBA #14-20, DATED MARCH 19, 2014 FOR 58.3' FRONT YARD, 52.7' SIDE YARD AND 57' BUILDING HEIGHT PER APPROVED SITE PLAN LAST REVISED 5-7-14
 VARIANCE REQUIRED FROM CHAPTER 43, SECTION 9.2 FOR INCREASE IN NON-CONFORMING USE

FLOOR AREA RATIO CALCULATIONS:

EXISTING F.A.R. = 11,800 G.F.M. / 15,338 S.F. = 0.77
 PROPOSED POLE BARN ADDITION = 3,000 S.F.
 15,338 G.F.M. / 18,338 S.F. = 0.83
 PROPOSED F.A.R. = 16,338 G.F.M. / 19,338 S.F. = 0.84

DEVELOPMENT COVERAGE CALCULATIONS:

PRE-CONSTRUCTION IMPERVIOUS SURFACE = 41,544 S.F.
 POST-CONSTRUCTION IMPERVIOUS SURFACE = 53,864 S.F.

IMPERVIOUS AREAS:

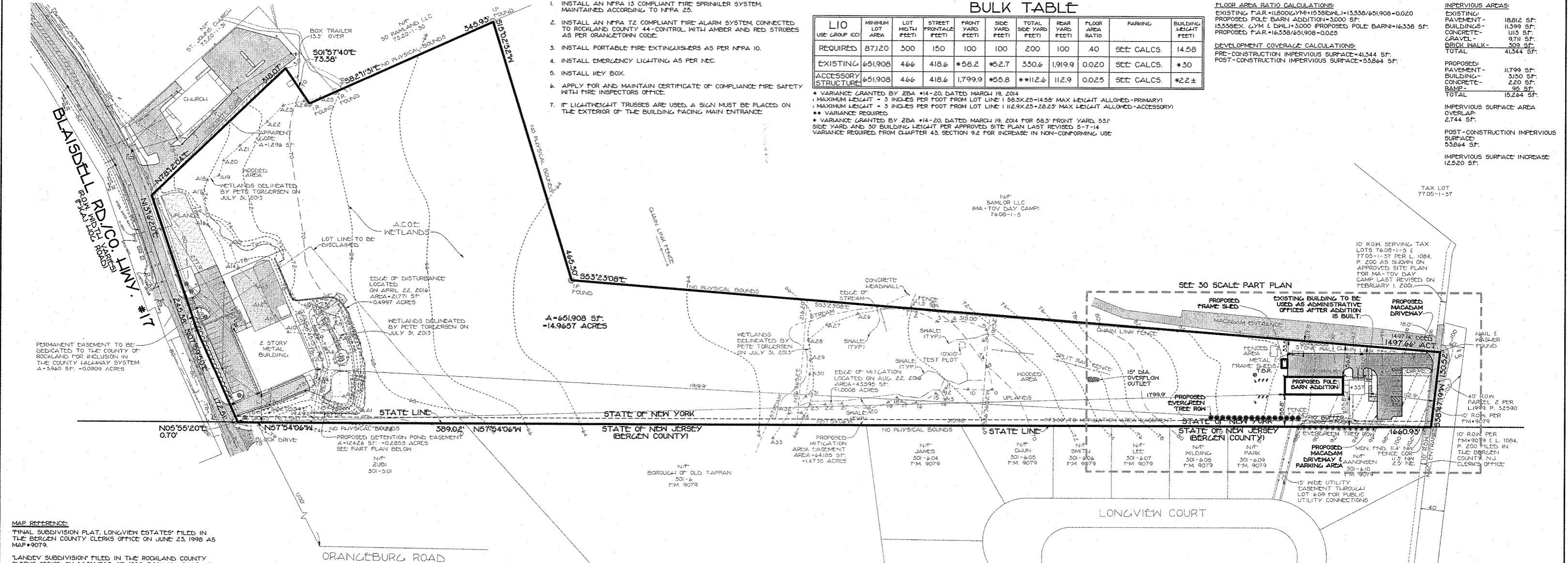
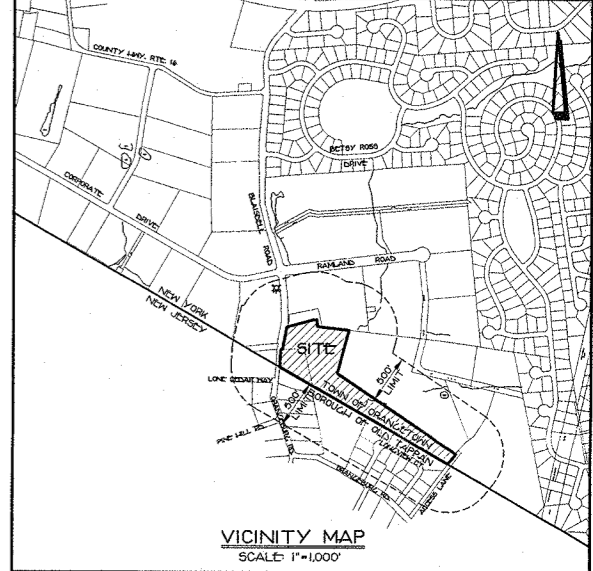
EXISTING: 18,812 S.F.
 PAVEMENT: 11,399 S.F.
 BUILDINGS: 113 S.F.
 CONCRETE: 974 S.F.
 BRICK WALK: 303 S.F.
 TOTAL: 41,544 S.F.

PROPOSED: 11,799 S.F.
 BUILDINGS: 3,150 S.F.
 CONCRETE: 220 S.F.
 RAMP: 90 S.F.
 TOTAL: 15,259 S.F.

IMPERVIOUS SURFACE AREA OVERLAP: 2,744 S.F.

POST-CONSTRUCTION IMPERVIOUS SURFACE: 53,864 S.F.

IMPERVIOUS SURFACE INCREASE: 12,520 S.F.



MAP REFERENCE:
 FINAL SUBDIVISION PLAT, LONGVIEW ESTATES FILED IN THE BERGEN COUNTY CLERKS OFFICE ON JUNE 23, 1998 AS MAP #9079.
 LANDSEY SUBDIVISION FILED IN THE ROCKLAND COUNTY CLERKS OFFICE ON DECEMBER 27, 1985, BOOK 104, PAGE 69 AS MAP #5837.
 MINOR SUBDIVISION-RAMLAND INDUSTRIAL PARK FILED IN THE ROCKLAND COUNTY CLERKS OFFICE ON FEBRUARY 10, 1970, BOOK 79, PAGE 65 AS MAP #3988.
 "SITE PLAN & EROSION CONTROL PLAN, LIMER COMMERCIAL REF. CO. INC." DATED JUNE 20, 1997, LAST REVISED ON MARCH 22, 2000, PREPARED BY COSTA ENGINEERING CORPORATION, APPROVED ON MAY 14, 2003.
 "SITE PLAN OF PROPERTY FOR BLAZEDALE DEVELOPMENT" PREPARED BY WILLIAM YOUNGLOOD ASSOCIATES, DATED JUNE 10, 1993, LAST REVISED DECEMBER 15, 1994, APPROVED ON DECEMBER 16, 1994.
 "SITE PLAN FOR MA-TOV DAY CAMP" DATED NOVEMBER 2, 2000, LAST REVISED ON FEBRUARY 1, 2001, PREPARED BY MCDUGALL ENGINEERING ASSOCIATES INC.

DEED REFERENCE:

- L. 622, P. 2984-2990
- L. 1996, P. 12087
- L. 1998, P. 46159
- L. 2002, P. 11124
- L. 1999, P. 32590
- L. 2011, P. 33008
- L. 2005, P. 8671
- L. 2011, P. 6826
- L. 622, P. 2984
- L. 2010, P. 41024
- L. 2003, P. 71980
- L. 2008, P. 44093
- L. 2009, P. 10021
- L. 2010, P. 583
- L. 601, P. 400
- L. 641, P. 69
- L. 1079, P. 664
- L. 148, P. 2392

CONCEPTUAL PARKING CALCULATIONS:

ATHLETIC TRAINING PARKING CALCULATIONS:
 AT LEAST ONE SPACE REQUIRED FOR EACH 500 SF. OF GROSS FLOOR AREA
 11,800 SF / 500 SF = 23.6
 +40 SPACES REQUIRED FOR GYM
 +40 SPACES PROVIDED FOR GYM (25 PAVED & 15 LANDBANKED)

OFFICE PARKING CALCULATIONS:
 AT LEAST ONE SPACE REQUIRED FOR EACH 200 SF. OF GROSS FLOOR AREA
 15,338 SF / 200 SF = 76.7
 +8 SPACES REQUIRED FOR OFFICE
 +8 SPACES PROVIDED FOR OFFICE

WAREHOUSE PARKING CALCULATIONS:
 AT LEAST ONE SPACE REQUIRED FOR EACH 2 EMPLOYEES OR 300 SF. OF GROSS FLOOR AREA
 4 EMPLOYEES FOR PROPOSED WAREHOUSE
 = 2 SPACES REQUIRED FOR WAREHOUSE
 = 2 SPACES PROVIDED FOR WAREHOUSE

DISTRICTS:

- SCHOOL - PEARL RIVER CENTRAL SCHOOL DISTRICT
- FIRE - PEARL RIVER
- WATER - ORANGETOWN
- LIGHTING - ROCKLAND AND ORANGE
- SENIOR - ORANGETOWN

BULK TABLE FROM APPROVED SITEPLAN LAST REVISED 5-7-14

LIO	MINIMUM LOT AREA	LOT WIDTH (FEET)	STREET FRONTAGE (FEET)	FRONT YARD (FEET)	SIDE YARD (FEET)	TOTAL SIDE YARD (FEET)	REAR YARD (FEET)	FLOOR AREA RATIO	PARKING	BUILDING HEIGHT (FEET)
REQUIRED	871,200	300	150	100	100	200	100	40	40	14.58
PROPOSED	651,908	466	418.6	*58.3	*53.1	331.1	1,920.5	0.018	25 (PAVED) 15 (LANDBANKED)	*30

* VARIANCE GRANTED BY ZBA #14-20, DATED MARCH 19, 2014
 * MAXIMUM HEIGHT - 3 INCHES PER FOOT FROM LOT LINE (1.98.3X.25-14.08' MAX HEIGHT ALLOWED)



SPARACO & YOUNGLOOD, PLLC
 CIVIL ENGINEERING & LAND SURVEYING
 SITE PLANNING
 18 NORTH MAIN STREET
 P.O. BOX 618
 HARRIMAN, N.Y. 10926
 TEL: (845) 782-8845
 FAX: (845) 782-5901
 WWW.SPACOESELSYS.COM
 WWW151@GMAIL.COM
 DATE: APRIL 24, 2019
 SCALE: 1" = 80'
 SHEET: 1 OF 6

GENERAL NOTES:

- CONTRACTOR TO VERIFY LOCATION SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
- ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALKS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- EXISTING UTILITIES & STRUCTURES THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- UTILITIES AND UTILITY STRUCTURES WHOSE LOCATIONS ARE UNKNOWN MAY BE AFFECTED BY THE PROPOSED WORK. UPON FINDING SUCH UTILITIES, THE CONTRACTORS RESPONSIBILITY SHALL BE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
- CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF SERVICE WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO COMPLETED WORK.
- ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING LINES AND EQUIPMENT FOR PROVIDING POWER AND/OR COMMUNICATIONS, ARE TO BE INSTALLED UNDERGROUND.
- THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM REQUIRED TO PERFORM THE CONTRACT WORK WITH AS MINIMAL EFFECT ON ADJACENT AREAS AS POSSIBLE.
- ALL NEW STORM DRAINAGE PIPING TO BE SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE SPECIFIED.
- ROOF LEADERS WHERE REQUIRED TO BE 6" DIA. SDR 35 PVC PIPE AND MILL OUTLET TO DOWNSPOUTS ADJACENT TO THE PROPOSED BUILDINGS.
- ALL NEW WATER MAINS AND RELATED APPURTENANCES TO BE SPECIFIED BY ARCHITECT'S MECHANICAL ENGINEER.
- ALL SANITARY HOUSE CONNECTIONS TO BE 6" DIA. CAST IRON WITH A MINIMUM GRADE OF 2% TO THE FIRST CLEAN OUT OUTSIDE THE BUILDING. BEYOND THE FIRST CLEAN OUT, SDR 35 PVC PIPE MAY BE USED IN LIEU OF CAST IRON.
- ANY SUBSTITUTIONS TO BE REQUESTED IN WRITING AND APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS WITH REGARDS TO DEMOLITION AND DISPOSAL OF EXISTING STRUCTURES.
- ANY EXISTING HOUSE CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT-OF-WAY AND THE CURB LINE WITH A PERMANENT WATER-TIGHT PLUG OR CAP ENCASED IN CONCRETE.
- WHERE FINISHED GRADE ELEVATION AT BUILDING HALL IS LESS THAN 24" BELOW THE FINISHED FLOOR CONSULT WITH ARCHITECT FOR CHANGES IN FOUNDATION AND SILL DESIGN.
- CONTRACTOR TO OBTAIN AND SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL BEFORE MANUFACTURING.
- RETAINING WALLS SHALL BE LESS THAN 4 FEET IN HEIGHT. RETAINING WALLS MORE THAN 4 FEET IN HEIGHT ARE REQUIRED TO BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER.

WATER MAIN SAFETY NOTES:

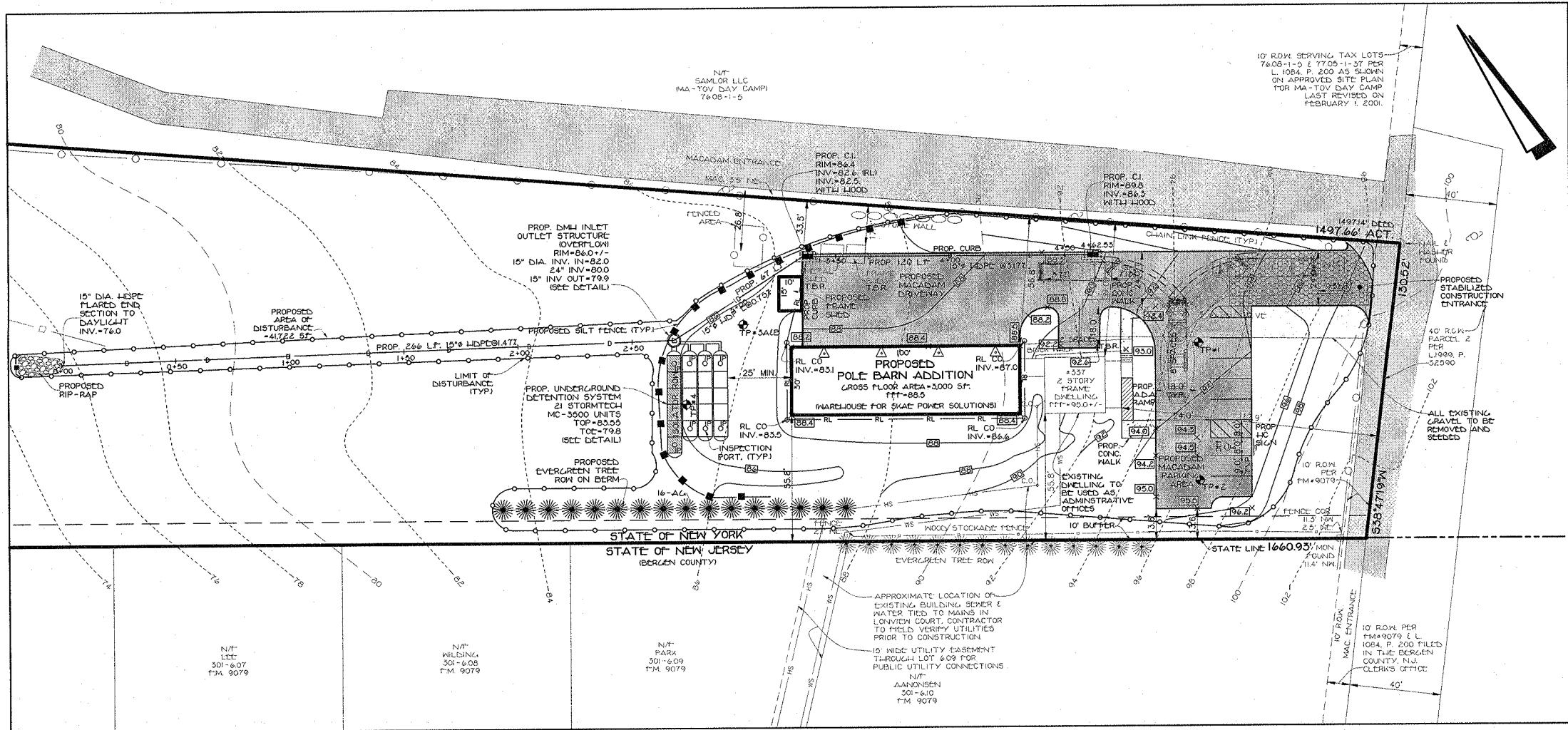
- WHEN WORKING AT OR NEAR A LIVE WATER MAIN EVERY EFFORT IS TO BE MADE TO MAINTAIN STABILITY.
- EXISTING THURST BLOCKS ARE NOT TO BE REMOVED UNLESS THE WATER MAIN HAS BEEN PROPERLY RESTRAINED USING MEANS ACCEPTABLE TO THE LOCAL WATER COMPANY OR DEPARTMENT.
- WHEN POSSIBLE A WATER MAIN SHOULD BE TURNED OFF AND PRESSURE RELIEVED BEFORE EXPOSING MAIN.

EROSION CONTROL INFORMATION:

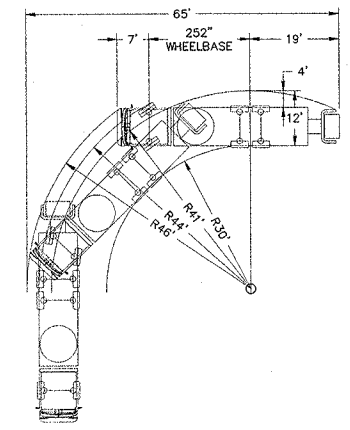
- EROSION AND SEDIMENT CONTROL PLAN - CONSTRUCTION SEQUENCE**
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES AND/OR UTILITIES.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR STABILIZED.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON PLAN.
 - INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND DOWN SLOPE OF ALL AREAS DESIGNATED FOR TOPSOIL STOCKPILING.
 - CONSTRUCT BERMS, TEMPORARY SWALES AND PIPES AS NECESSARY TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION ENTRAPMENT AREAS.
 - CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED, STRIP AND STOCKPILE TOPSOIL FROM AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYE GRASS COVER.
 - PERFORM EXCAVATION AND FILL TO BRING LAND TO DESIRED GRADE. ANY DISTURBED AREAS TO REMAIN BARE SHOULD BE SEED WITH TEMPORARY RYE GRASS.
 - INSTALL UNDERGROUND UTILITIES, MANHOLES AND CATCH BASINS. GRATES OF CURB AND FIELD INLETS SHOULD BE LEFT AT ELEVATIONS WHICH PERMIT PROPER COLLECTION OF SURFACE RUNOFF.
 - INSTALL INLET PROTECTION AT CURB AND FIELD INLETS.
 - CONSTRUCT CURBS AND INSTALL BASE AND BINDER COURSES OF PAVED AREAS. RAISE GRATES OF THE CURB AND FIELD INLETS ACCORDINGLY.
 - COMPLETE THE GRADING.
 - INSTALL SURFACE COURSE OF PAVEMENT. RAISE GRATES OF CURBS AND FIELD INLETS TO FINAL ELEVATION.
 - UPON COMPLETION OF CONSTRUCTION ALL DISTURBED AREAS ARE TO BE SEED WITH 1/2 LB. OF RYE GRASS PER 1000 SQUARE FEET OF DISTURBED AREA OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. SITE SOIL TO BE AMENDED AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR THIS SITE. ALL TEMPORARY DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 - FOR INDIVIDUAL HOUSE: SEPTIC CONSTRUCTION FOLLOW STEPS #1 TO #15 WHERE APPLICABLE.
 - BARE SOIL SHOULD BE SEED WITHIN 14 DAYS OF EXPOSURE. WHENEVER CONSTRUCTION IS SUSPENDED AREAS SHOULD BE SEED DOWN OR MULCHED IMMEDIATELY. UPON COMPLETION A PERENNIAL MIX NEEDS TO BE USED TO ENSURE CONTINUAL STABILIZATION.

STANDARD EROSION CONTROL NOTES:

- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LAIDEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP, CRUSHED STONE DAMS, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LAIDEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS. THESE SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- ALL DISTURBED AREAS EXCEPT ROADWAYS WHICH WILL REMAIN UNFINISHED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEED WITH 1/2 LB. OF RYE GRASS AND MULCHED WITH 100 LBS. OF STRAW OR LAY PER 1000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICAL BY INSTALLATION OF THE BASE COURSE.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
- PROVIDE INLET PROTECTION TO ALL INLETS ON SITE (SEE DETAIL).



PART PLAN
SCALE: 1"=50'



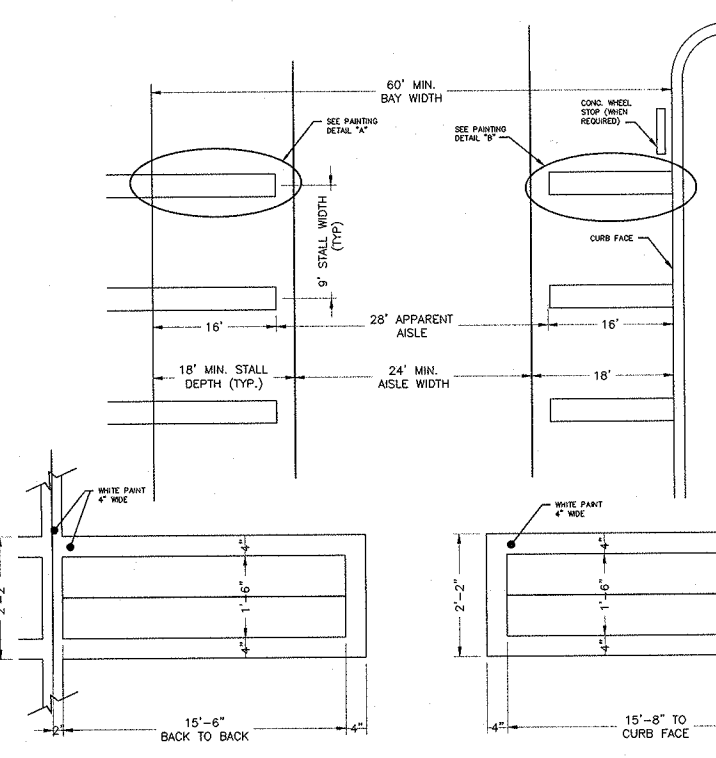
FIRE TRUCK TURNING RADIUS DETAIL
N.T.S.

PLANTING SCHEDULE

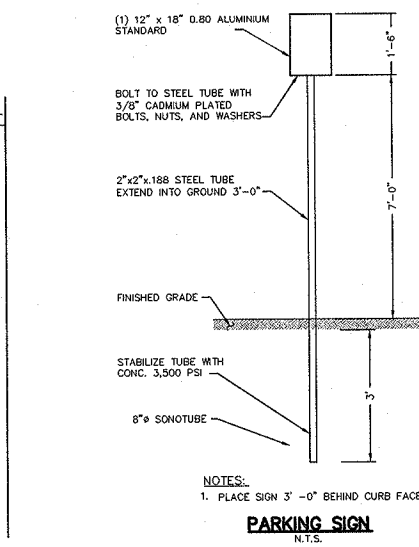
KEY	COMMON NAME	BOTANICAL NAME	QTY.	SIZE	SPACING
AC	GREEN GIANT ARBORVITAE	Thuja Green Giant	16	5' HEIGHT	10' O.C.

LEGEND

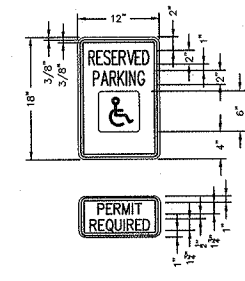
EXISTING	PROPOSED	ITEMS
---	---	PROPERTY LINE
---	---	BUILDING SETBACK LINE
---	---	SANITARY SEWER
---	---	SAN SEWER MANHOLE
---	---	SEWER SERVICE
---	---	CLEAN-OUT
---	---	WATER MAIN
---	---	FIRE SERVICE
---	---	WATER VALVE
---	---	GAS MAIN
---	---	GAS SERVICE
---	---	GAS VALVE
---	---	DRAIN PIPE
---	---	DRAINAGE MANHOLE
---	---	CATCH BASIN
---	---	ROOF LEADER
---	---	FOOTING DRAIN
---	---	UTILITY POLE
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	10' CONTOUR INTERVAL
---	---	2' CONTOUR INTERVAL
---	---	SPOT GRADE
---	---	HALL ELEV.
---	---	SILT FENCE
---	---	INLET PROTECTION
---	---	STABILIZED CONSTRUCTION ENTRANCE



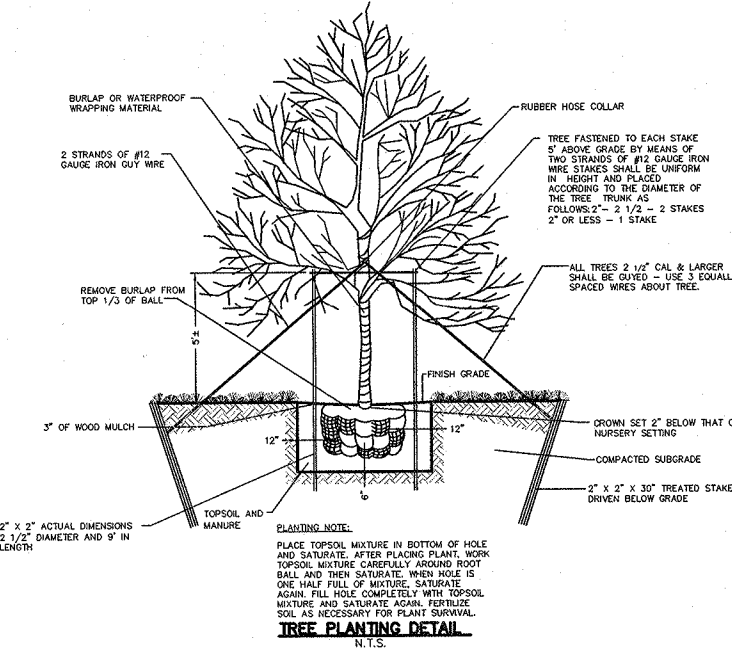
PARKING AND STRIPING DETAIL
N.T.S.



PARKING SIGN
N.T.S.



NOTES:
1. HANDICAPPED PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.
HANDICAPPED SIGN



TREE PLANTING DETAIL
N.T.S.

PART PLAN, GRADING, UTILITIES & EROSION CONTROL OF POLE BARN ADDITION FOR SKAE TRAINING, LOCATED IN TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK



SPARACO & YOUNG BLOOD, PLLC
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TEL: (845) 782-6943
FAX: (845) 782-6901
WWW.SPACOBLO.COM

DATE: APRIL 24, 2019
SCALE: 1"=30'
SHEET: 2 OF 6

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

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NEW YORK
1-800-962-7962

MAP REFERENCE:
 FINAL SUBDIVISION PLAT, LONGVIEW ESTATES FILED IN THE BERGEN COUNTY CLERKS OFFICE ON JUNE 23, 1998 AS MAP#9079.

"LANDEV SUBDIVISION" FILED IN THE ROCKLAND COUNTY CLERKS OFFICE ON DECEMBER 27, 1989, BOOK 104, PAGE 69 AS MAP#5637.

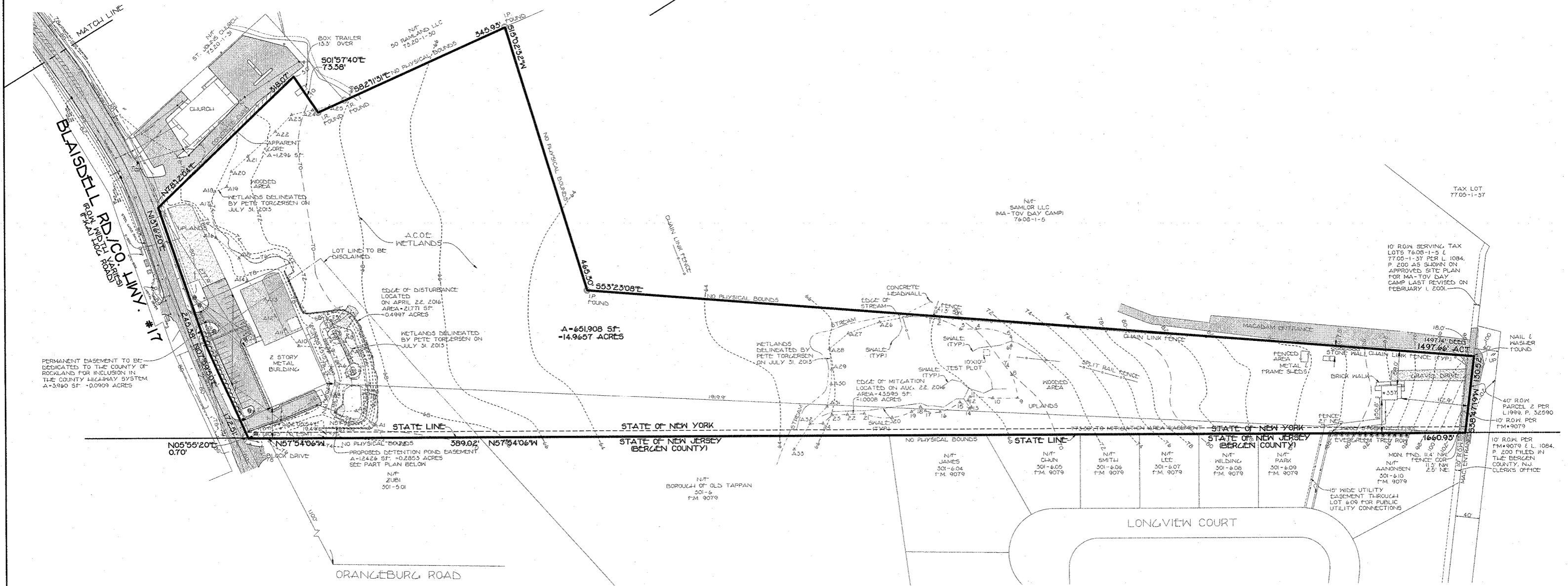
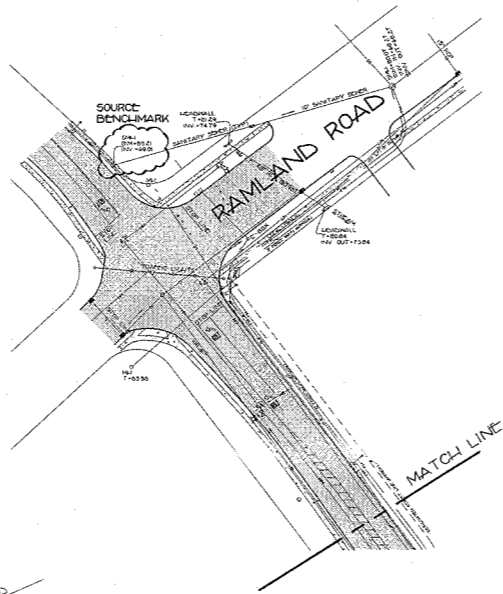
"MINOR SUBDIVISION-RAMLAND INDUSTRIAL PARK" FILED IN THE ROCKLAND COUNTY CLERKS OFFICE ON FEBRUARY 10, 1970, BOOK 79, PAGE 65 AS MAP#3988.

"SITE PLAN & EROSION CONTROL PLAN, LIMMER COMMERCIAL REFIN. CO. INC." DATED JUNE 20, 1997, LAST REVISED ON MARCH 22, 2000, PREPARED BY COSTA ENGINEERING CORPORATION, APPROVED ON MAY 14, 2003.

"SITE PLAN OF PROPERTY FOR BLAZEDALE DEVELOPMENT" PREPARED BY WILLIAM YOUNGBLOOD ASSOCIATES, DATED JUNE 10, 1993, LAST REVISED DECEMBER 15, 1994, APPROVED ON DECEMBER 16, 1994.

"SITE PLAN FOR MA-TOV DAY CAMP" DATED NOVEMBER 2, 2000, LAST REVISED ON FEBRUARY 1, 2001, PREPARED BY MCDUGALL ENGINEERING ASSOCIATES INC.

DEED REFERENCE:
 L 622, P. 2984-2990
 L 1996, P. 12087
 L 1998, P. 46159
 L 2002, P. 11126
 L 1999, P. 32590
 L 2011, P. 35008
 L 2005, P. 8671
 L 2011, P. 4826
 L 622, P. 2984
 L 2010, P. 41024
 L 2003, P. 71980
 L 2008, P. 44093
 L 2009, P. 10021
 L 2010, P. 585
 L 601, P. 400
 L 641, P. 69
 L 1079, P. 664
 L 148, P. 2392



PERMANENT EASEMENT TO BE DEDICATED TO THE COUNTY OF ROCKLAND FOR INCLUSION IN THE COUNTY HIGHWAY SYSTEM A=3960 SF - 0.0909 ACRES

EDGE OF DISTURBANCE LOCATED ON APRIL 22, 2016 AREA=21771 SF - 0.4997 ACRES

WETLANDS DELINEATED BY PETE TORGERSEN ON JULY 31, 2015

A=651908 SF - 14.9657 ACRES

WETLANDS DELINEATED BY PETE TORGERSEN ON JULY 31, 2015

EDGE OF MITIGATION LOCATED ON AUG. 22, 2016 AREA=43595 SF - 1.0008 ACRES

10 ROW SERVING TAX LOTS 7608-1-5 & 7705-1-37 PER L 1084, P. 200 AS SHOWN ON APPROVED SITE PLAN FOR MA-TOV DAY CAMP LAST REVISED ON FEBRUARY 1, 2001.

1497.66 ACRES

1660.93 ACRES

EXISTING CONDITIONS PLAN OF POLE BARN ADDITION FOR SKAE TRAINING
 LOCATED IN TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE 0 20 40 80 160 240

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I HEREBY CERTIFY THAT THIS SITE PLAN WAS PREPARED BY ME AND WAS MADE FROM AN ACTUAL SURVEY COMPLETED BY ME ON 11/04/2013.
 UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL BE CONSIDERED VOID.

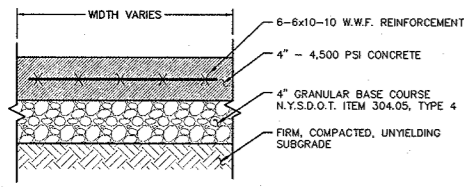
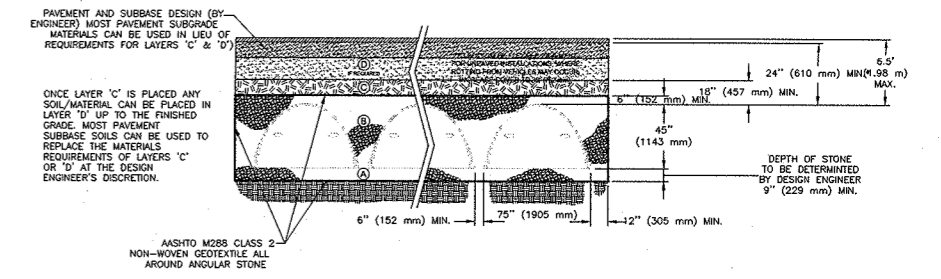
SPARACO & YOUNGBLOOD, PLLC
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 SITE PLANNING
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 HARRIMAN, N.Y. 10926
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 SPARACO.STEVE@SELSNY.COM WBY151@GMAIL.COM

1. REV. AS PER CLIENTS ATTORNEY AND TOWN COMMENTS 8-12-19
 2. REV. AS PER TOWN COMMENTS 9-16-19
 3. REV. AS PER OWNER COMMENTS 10-05-19

FILE #	7066
DATE	APRIL 24, 2019
SCALE	1"=80'
SHEET	3 OF 6

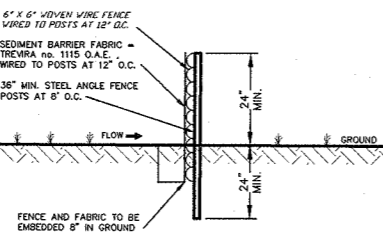
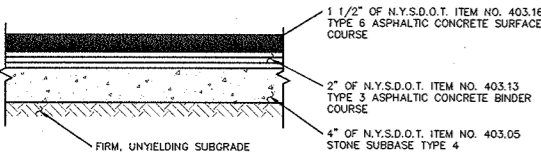
MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION ¹	COMPACTION/DENSITY REQUIREMENT
(D)	FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF THE FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBGRADE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
(C)	FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (IF LAYER TO 18" (457 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBGRADE MAY BE A PART OF THIS LAYER.	3, 357, 4, 487, 5, 56, 57, 6, 67, 68, 7, 76, 8, 85, 9, 10	BEGIN COMPACTION AFTER 12" (305 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (152 mm) LIFTS TO A MIN. 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (5,443 kg). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (9,072 kg).
(B)	EMBEDMENT STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE TO THE 'C' LAYER ABOVE.	3, 357, 4, 487, 5, 56, 57	NO COMPACTION REQUIRED.
(A)	FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	3, 35, 4, 487, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY ² .

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS IN OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (152 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH AN APPROPRIATE COMPACTOR.



NOTES:
 1. BROOM FINISH EACH SQUARE AT 90° TO PRECEDING SQUARE.
 2. PLACE JOINTS EQUAL TO WALK WIDTH OR AS SHOWN ON PLAN.
 3. INSTALL 1/2" PRE-MOLDED EXPANSION JOINT FILLER AT 24" O.C. MAX. AND AGAINST CONCRETE CURBS, BUILDINGS AND OTHER STRUCTURES.

CONCRETE SIDEWALK DETAIL
 N.T.S.

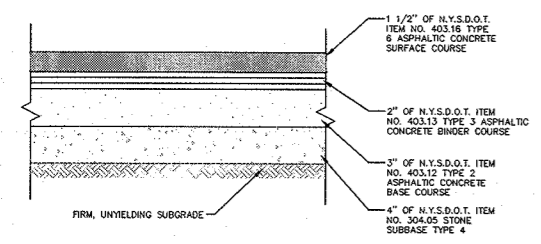


NOTES:
 1. THIS FENCE IS AN ALTERNATE TO HAY BALE SEDIMENT BARRIER.
 2. MAINTAIN FENCE TO INSURE SEDIMENT ENTRAPMENT QUALITIES DURING CONSTRUCTION.
 3. REMOVE EXCESS SILT PERIODICALLY AND WHEN BUILDINGS DEVELOPE.
 4. FENCE SYMBOL ON PLAN

SEDIMENT BARRIER FENCE
 N.T.S.

NOTES:
 THIS SECTION TO BE UTILIZED AT PARKING LOTS FOR PASSENGER CAR PARKING AND AISLES ONLY. NOT FOR USE AT ROADS, DRIVEWAYS OR LOADING ZONES.

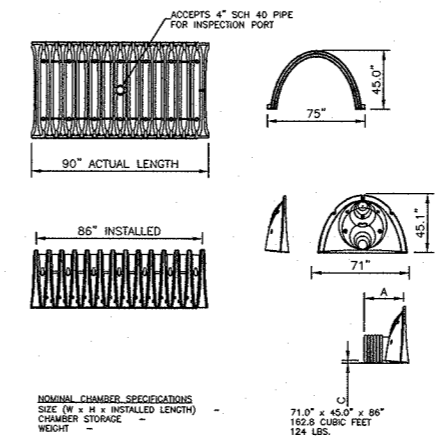
PAVEMENT SECTION: PARKING LOT
 N.T.S.



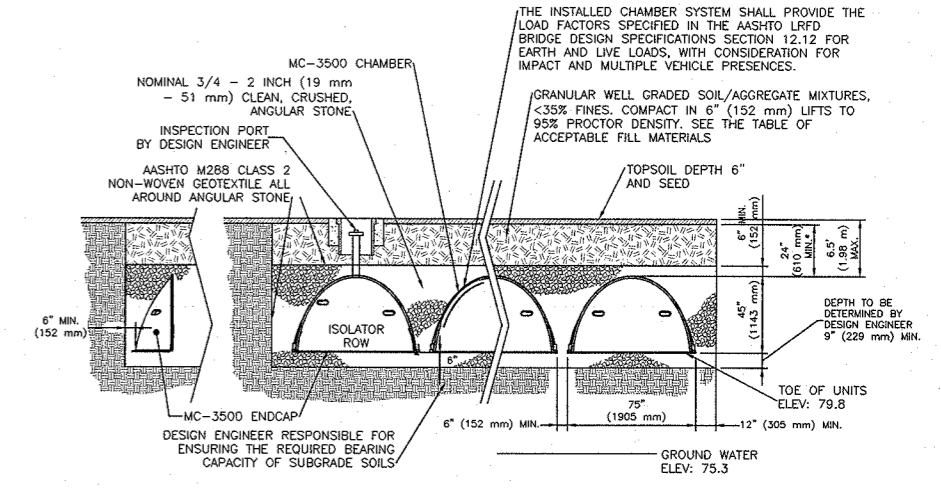
PAVEMENT SECTION: ROAD
 N.T.S.

ISOLATOR ROW STEP BY STEP MAINTENANCE PROCEDURES
 DETENTION SYSTEM TO BE INSPECTED ONCE PER YEAR MINIMUM

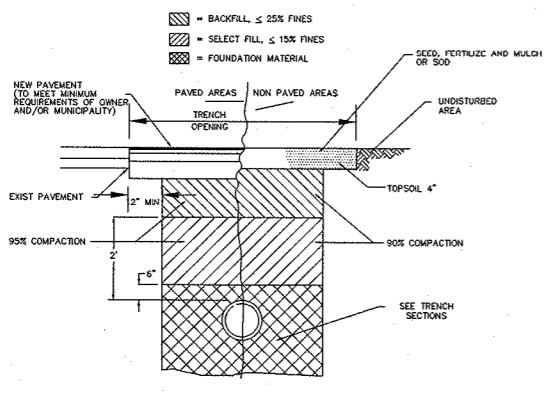
- INSPECT ISOLATOR ROW FOR SEDIMENT
 - INSPECTION PORTS (IF PRESENT)
 - REMOVE LID FROM FLOOR BOX FRAME
 - REMOVE CAP FROM INSPECTION RISER
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD RESULTS ON MAINTENANCE LOG
 - IF SEDIMENT IS AT, OR ABOVE 3 INCH DEPTH PROCEED TO STEP 2. IF NOT PROCEED TO STEP 3.
 - ALL ISOLATOR ROWS
 - REMOVE COVER FROM MANHOLE AT UPSTREAM END OF ISOLATOR ROW
 - USING A FLASHLIGHT, INSPECT DOWN ISOLATOR ROW THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONTINUED SPACE ENTRY IF ENTERING MANHOLE
- CLEAN OUT ISOLATOR ROW USING JET/VAC PROCESS
 - A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING NOZZLE SPREAD OF 45 INCHES OR MORE IS PREFERABLE
 - APPLY MULTIPLE PASSES OF JET/VAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM MANHOLE SUMP AS REQUIRED
- REPLACE ALL CAPS, LIDS AND COVERS. RECORD OBSERVATIONS AND ACTIONS
- INSPECT & CLEAN CATCH BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM



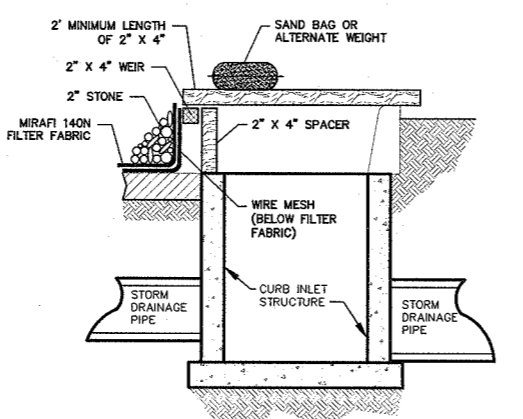
STORMTECH MC-3500 CHAMBER
 N.T.S.



STORMTECH MC-3500 CROSS-SECTION
 N.T.S.

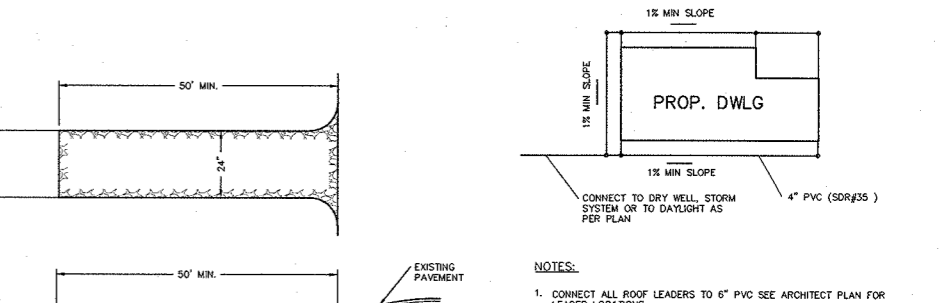


PIPE TRENCH BACKFILL DETAIL
 N.T.S.

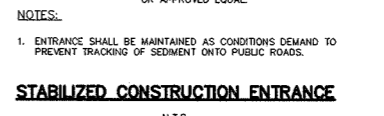


- NOTES:
 1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
 2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2" x 4" CONSTRUCTION GRADE LUMBER.
 3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" x 4" WEIR.
 4. THE WEIR SHALL BE SECURELY NAILED TO 2" x 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
 5. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" x 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SAND BAGS OR ALTERNATE WEIGHTS.

CURB INLET PROTECTION DETAIL
 N.T.S.

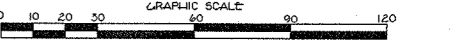


TYPICAL ROOF DRAIN SCHEMATIC
 N.T.S.



STABILIZED CONSTRUCTION ENTRANCE
 N.T.S.

DETAILS
 OF POLE BARN ADDITION FOR
SKAE TRAINING
 LOCATED IN
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK



STEVEN M. SPARACO, PE
 19 NORTH MAIN STREET
 HARRISMAN, NEW YORK 10926
 (845) 782-8543

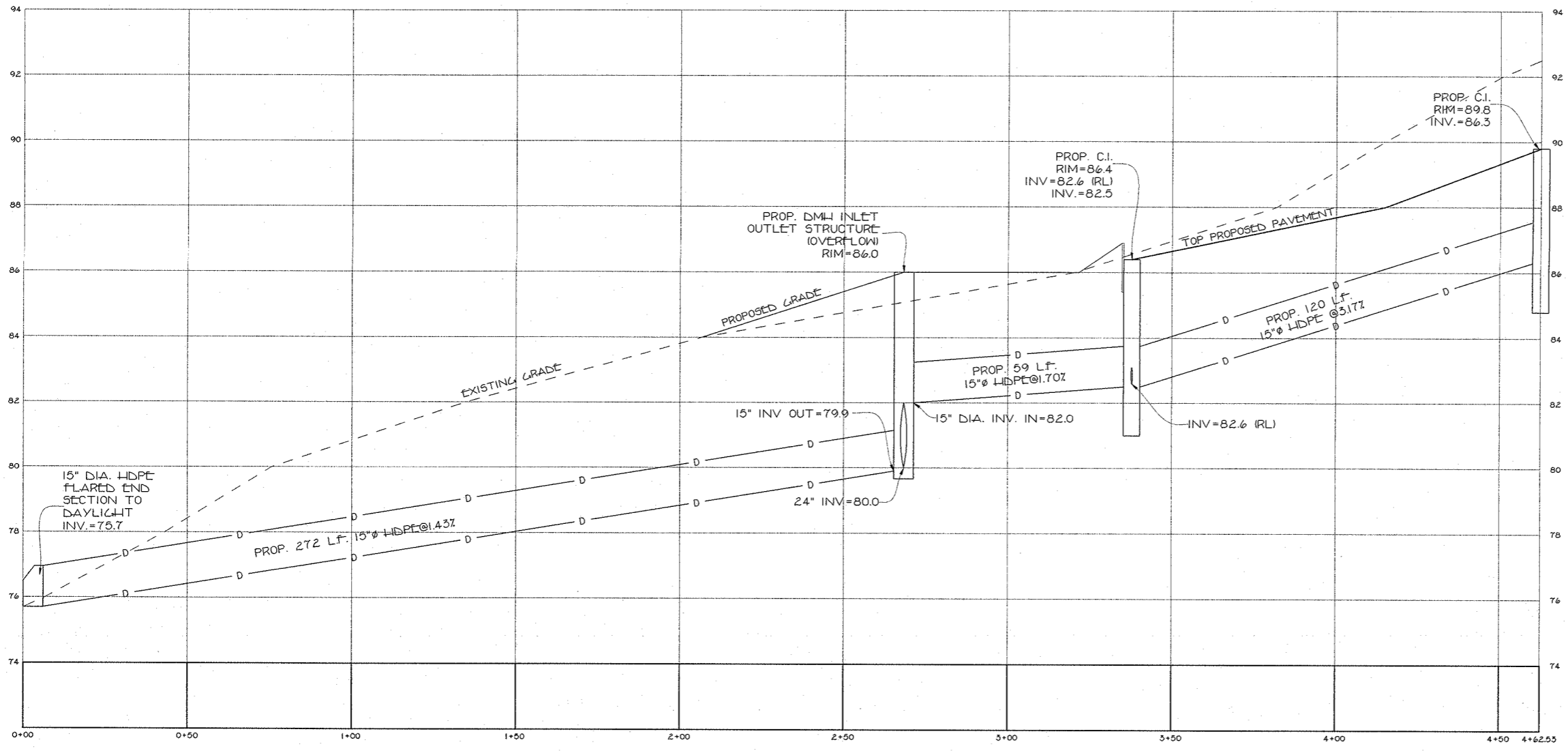


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 E-MAIL: SPARACO.STEVEN@SLSNY.COM WYLS1@GMAIL.COM

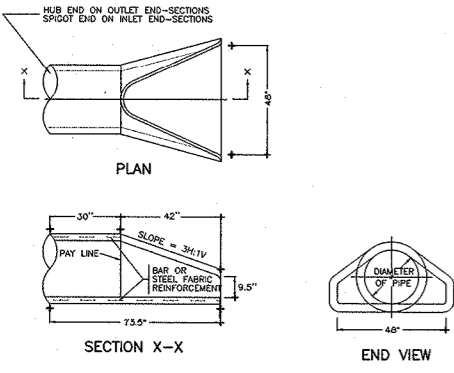
7066
 APRIL 24, 2019
 AS NOTED
 4 OF 6

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14 NYCOM PART 705
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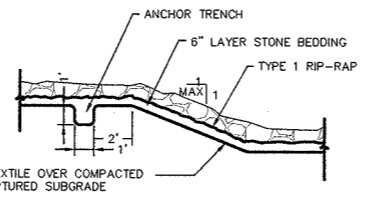


DRAINAGE PROFILE
SCALE: H-1"=20' V-1"=2'

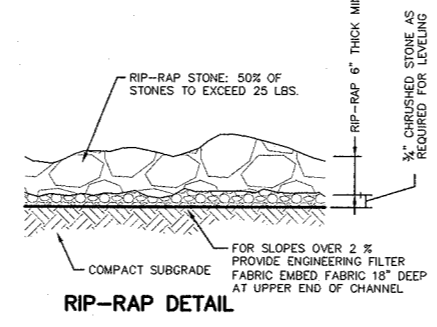


END-SECTION DETAIL
NOT TO SCALE

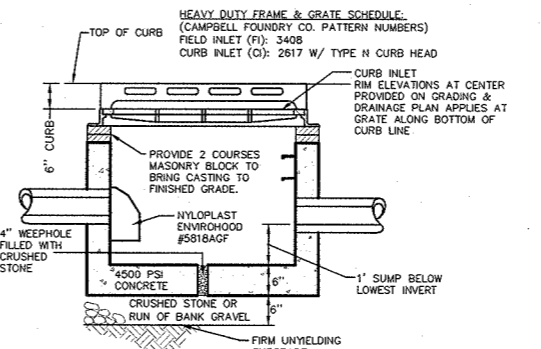
- RIP-RAP NOTES**
1. TYPE 1 RIP-RAP SHALL BE FIELD STONE OR ROUGH QUARRY STONE, HARD AND RESISTANT TO WEATHERING WITH A SPECIFIC GRAVITY AT LEAST 2.5.
 2. TYPE 1 RIP-RAP SHALL BE AT 18" TO 24" ACROSS LEAST DIMENSION, BED THICKNESS OF IN PLACE TYPE 1 RIP-RAP SHALL BE NO LESS THAN 32"
 3. TYPE 2 RIP-RAP SHALL BE AT LEAST 6" TO 9" ACROSS LEAST DIMENSION, WITH BED THICKNESS OF 14"
 4. STONE BEDDING SHALL MEET NYSDOT SPEC. 620-2.05 WHICH LISTS THE FOLLOWING GRADATION:
100% PASSING THE 4 IN. SIEVE
15% TO 60% PASSING THE 1 IN. SIEVE,
0% TO 25% PASSING THE 1/4 IN SIEVE,
0% TO 10% PASSING THE NO. 40 SEIVE.



RIP-RAP SLOPE PROTECTION

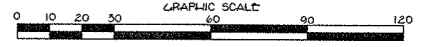


RIP-RAP DETAIL



CATCH BASIN, CURB INLET (CI) WITH TYPE N HEAD & FIELD INLET (FI) DETAIL
N.T.S.

DETAILS
OF POLE BARN ADDITION FOR
SKAE TRAINING
LOCATED IN
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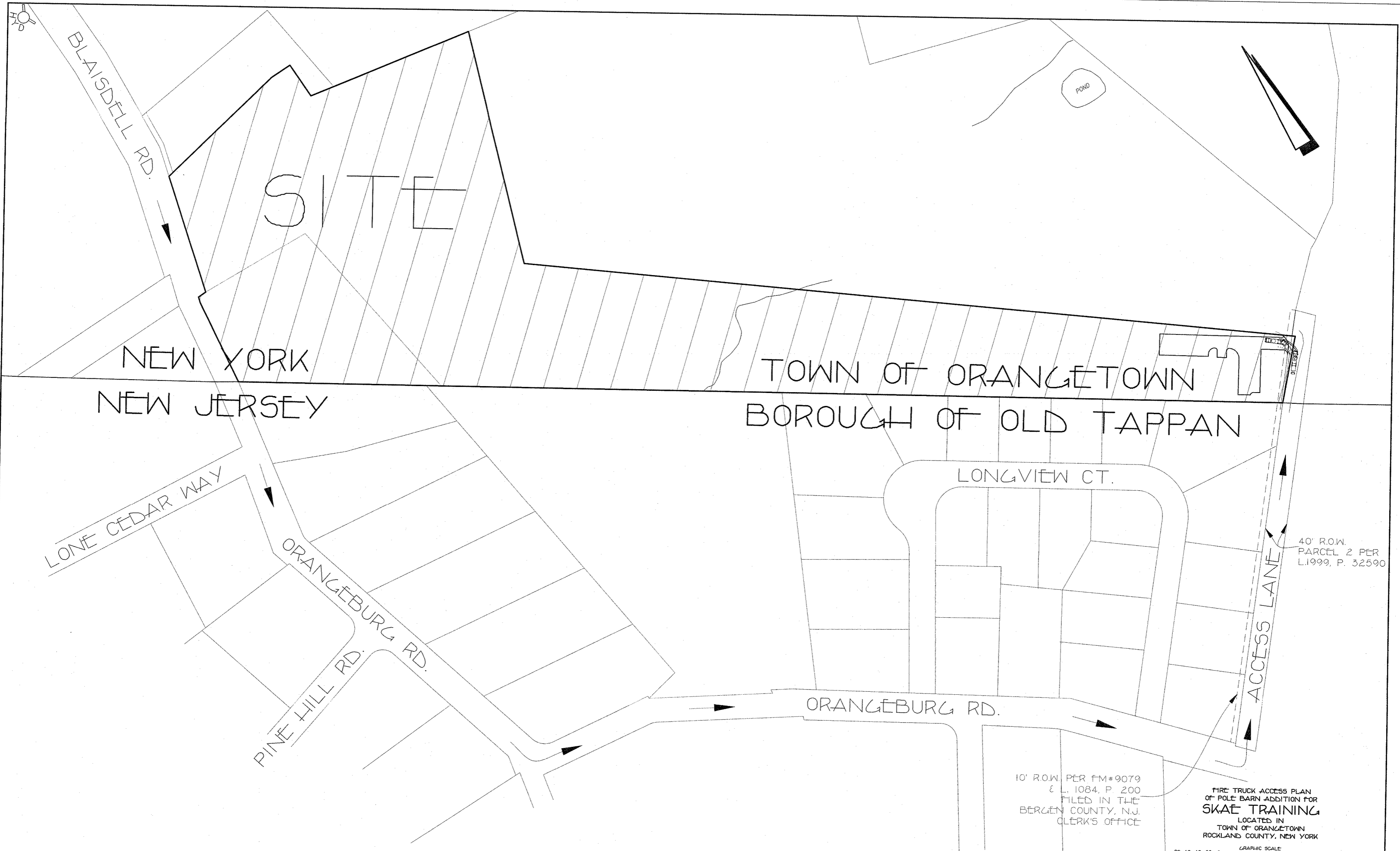
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ESP@SPY3.SPARACOSTEVE@SELSNY.COM WYLS1@GMAIL.COM

7066
MAR. 27, 2019
AS NOTED
5 OF 6

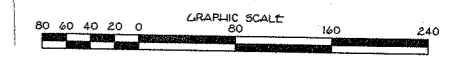
ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND UTILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.





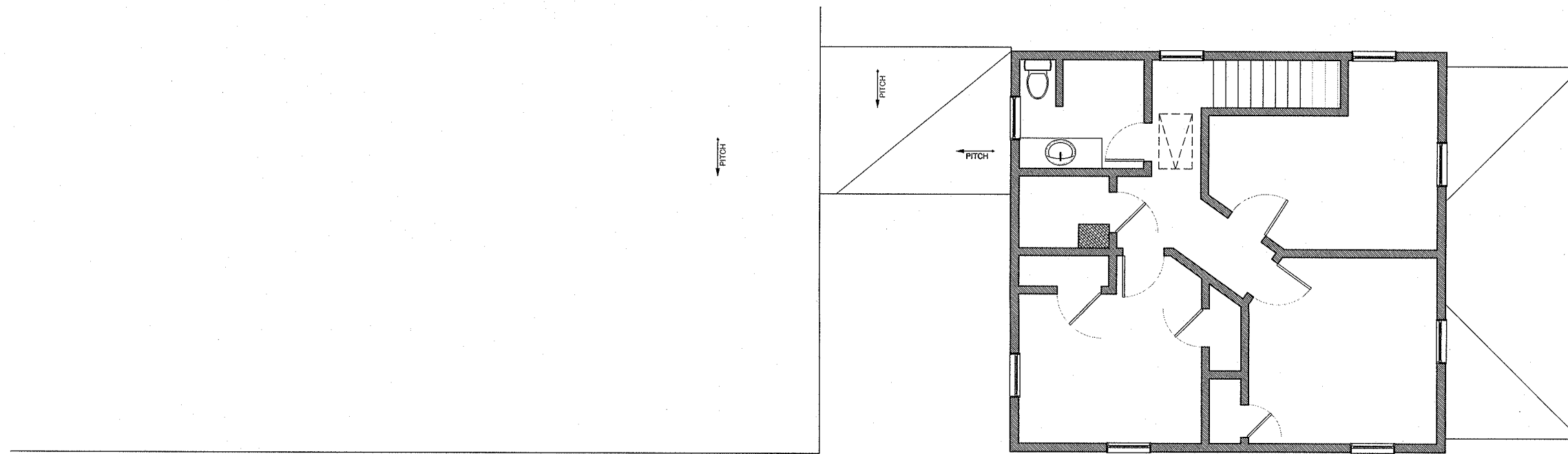
10' R.O.W. PER FM#9079
& L. 1084, P. 200
FILED IN THE
BERGEN COUNTY, N.J.
CLERK'S OFFICE

FIRE TRUCK ACCESS PLAN
OF POLE BARN ADDITION FOR
SKAE TRAINING
LOCATED IN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

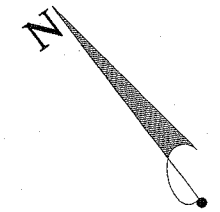


SPARACO & YOUNGBLOOD, PLLC		7066
CIVIL ENGINEERING • LAND SURVEYING		FILE #
SITE PLANNING		DATE
18 NORTH MAIN STREET		APRIL 24, 2019
P.O. BOX 618		SCALE
HARRIMAN, N.Y. 10926		1"=80'
TEL: (845) 782-8645		SHEET #
FAX: (845) 782-5901		6 OF 6
SPARACO.STEVE@SLSHY.COM		
WD15100@GMAIL.COM		

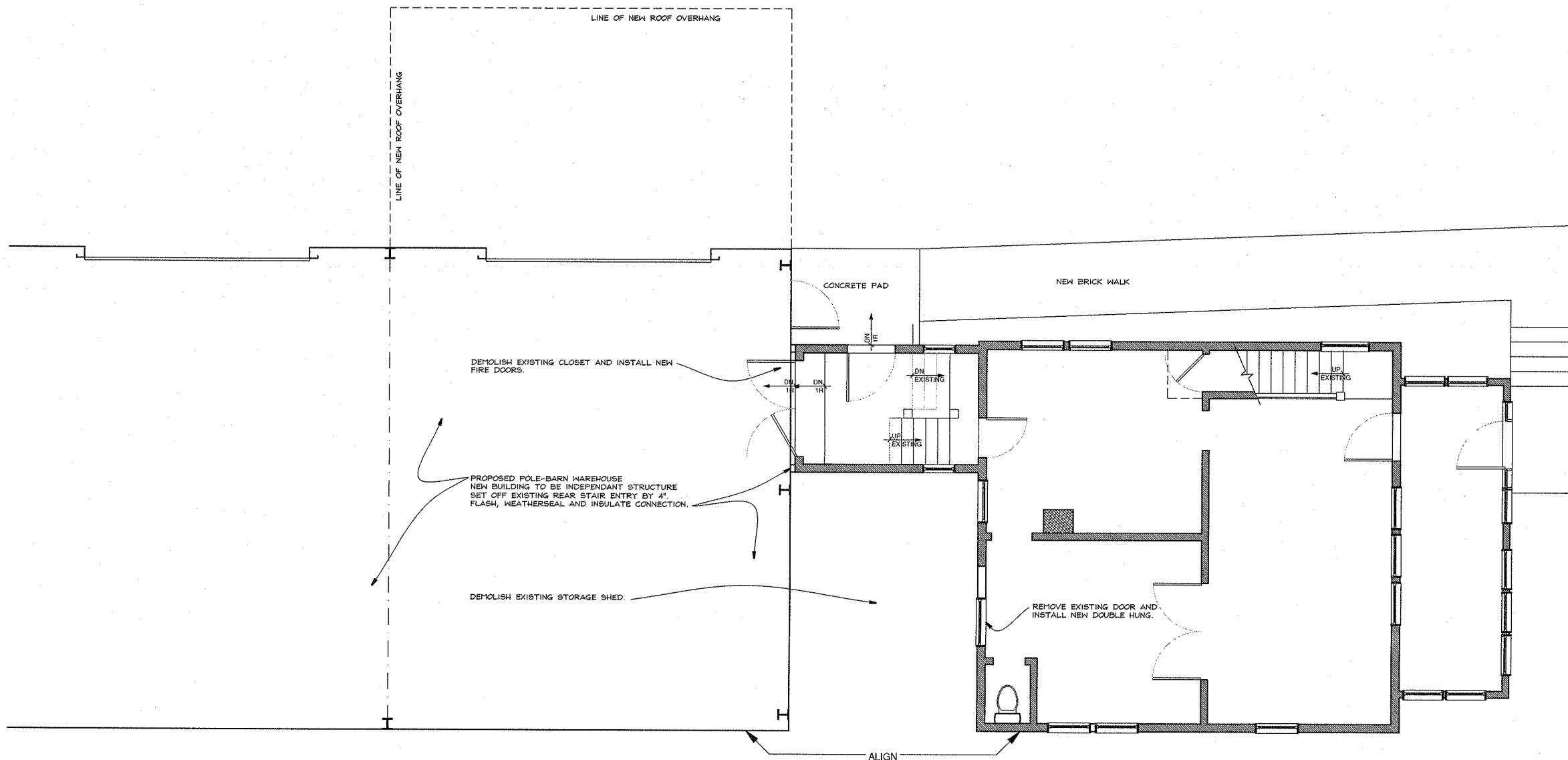
1. REV. AS PER CLIENTS ATTORNEY AND TOWN COMMENTS 8-12-19
2. REV. AS PER TOWN COMMENTS 9-16-19
3. REV. AS PER OWNER COMMENTS 10-08-19



2 SECOND FLOOR PLAN
 A2 1/4" = 1 FOOT



PROGRESS PRINT
 DEC. 18, 2018



1 FIRST FLOOR PLAN
 A2 1/4" = 1 FOOT

CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	EXISTING STUD WALL TO REMAIN
	SHEET NOTES CALL: SEE NOTES THIS SHEET
	HARDWIRED CARBON MONOXIDE DET.
	HARDWIRED SMOKE DETECTOR

SKAE WAREHOUSE
 337 BLAISDALE RD
 TAPPAN, N.Y. 10983

NY LICENSE # 15938
 KIER B. LEVESQUE, R.A.
 ARCHITECT
 49 THIRD AVENUE
 NYACK, NEW YORK 10960
 845-358-2359

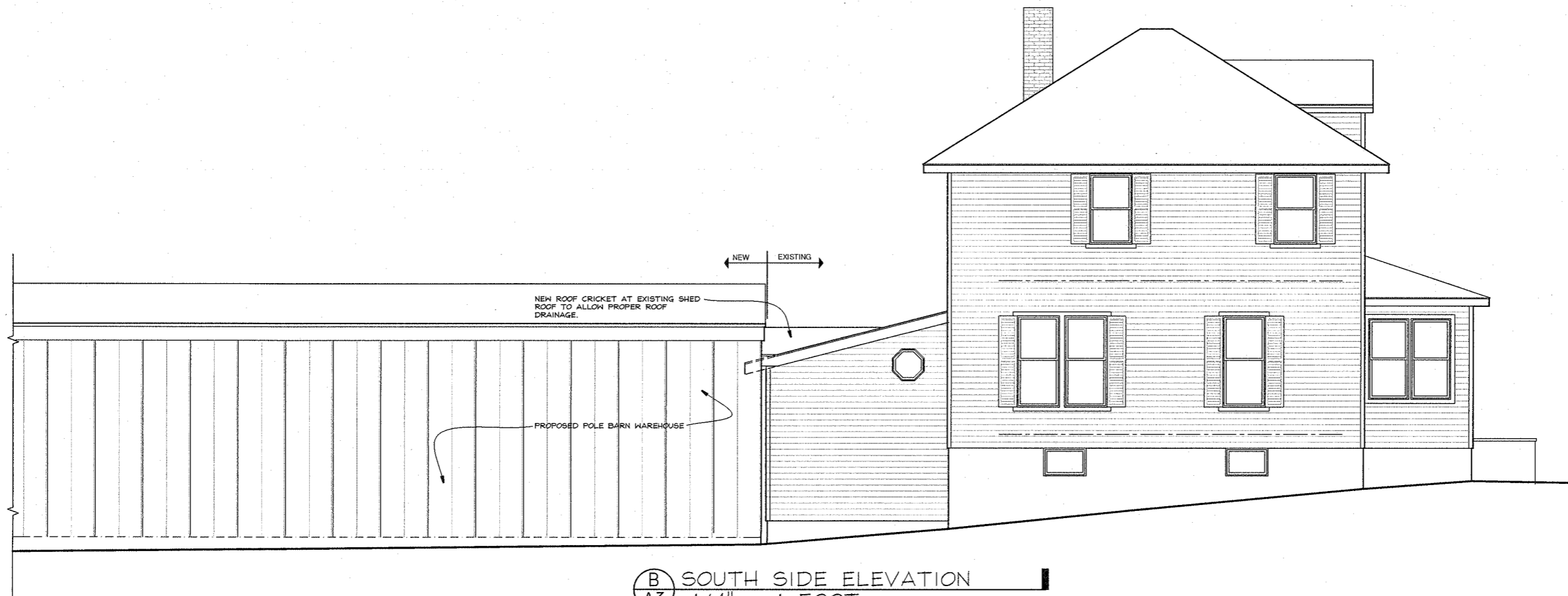
FIRST & SECOND FLOOR
 PLAN

SCALE AS SHOWN
 DATE ...
 JOB NO. 1655
 REVISIONS: SHEET NO.

A-2



(A) FRONT ELEVATION
 A3 1/4" = 1 FOOT



(B) SOUTH SIDE ELEVATION
 A3 1/4" = 1 FOOT

PROGRESS PRINT
 DEC. 18, 2018

SKAE WAREHOUSE
 337 BLAISDALE RD
 TAPPAN, N.Y. 10983

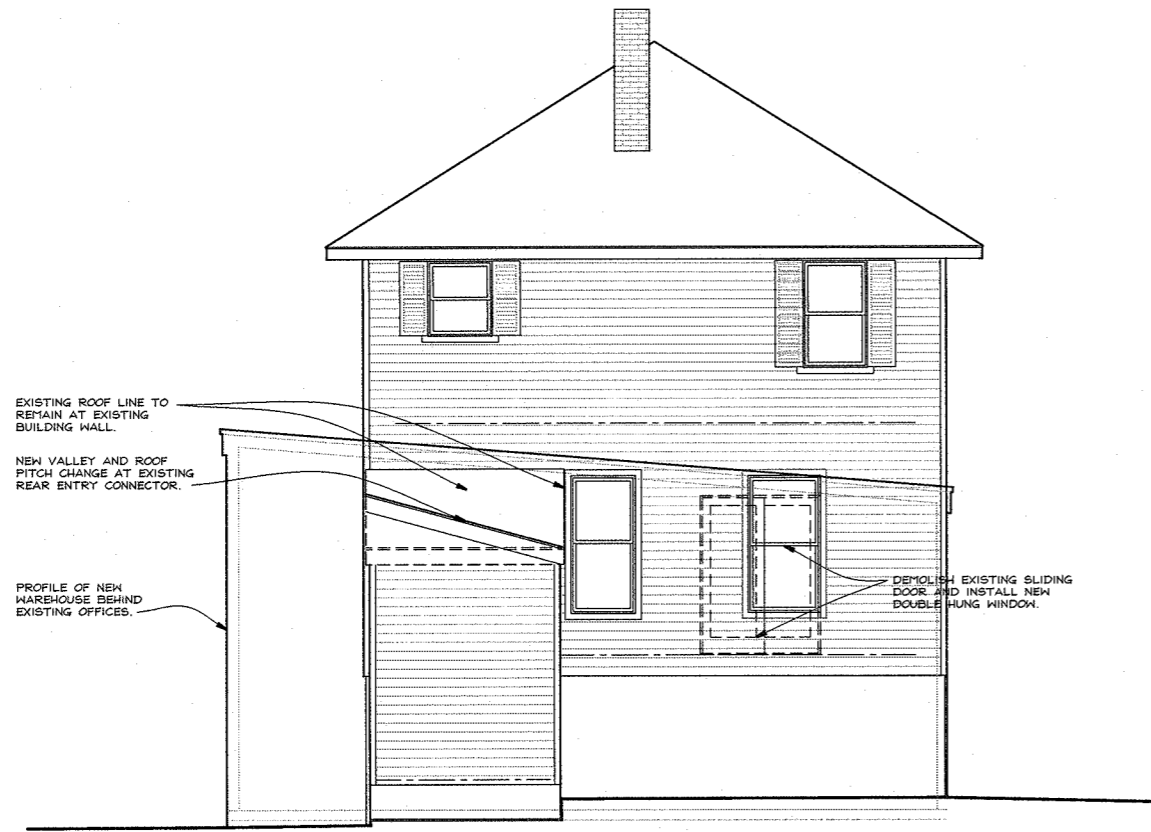
KIER B. LEVESQUE, R.A.
 ARCHITECT
 49 THIRD AVENUE
 NYACK, NEW YORK 10960
 845-358-2359

ELEVATIONS

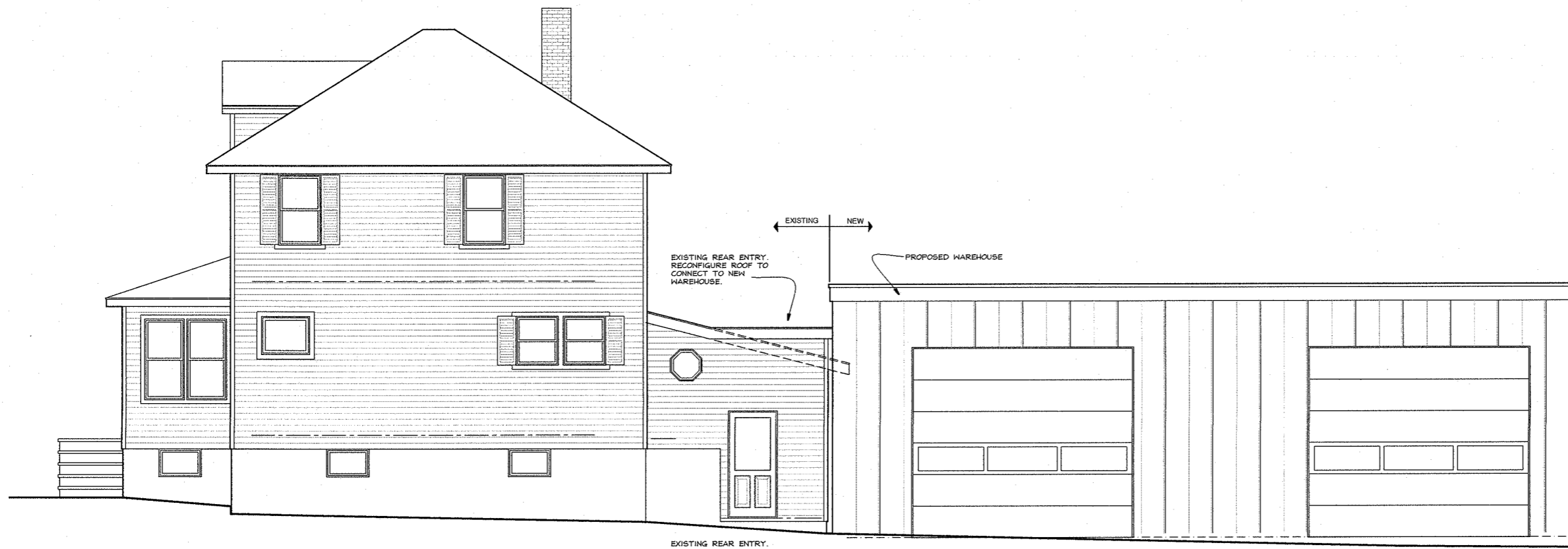
SCALE AS SHOWN
 DATE ...
 JOB NO. 1655
 REVISIONS: SHEET NO.

A-3

NY LICENSE # 15938



(C) REAR (WEST) ELEVATION
 A4 1/4" = 1 FOOT



(D) NORTH SIDE ELEVATION
 A4 1/4" = 1 FOOT

PROGRESS PRINT
 DEC. 18, 2018

SKAE WAREHOUSE
 337 BLAISDALE RD
 TAPPAN, N.Y. 10983

NY LICENSE # 15938
 KIER B. LEVESQUE, R.A.
 ARCHITECT
 49 THIRD AVENUE
 NYACK, NEW YORK 10960
 845-358-2359

ELEVATIONS

SCALE AS SHOWN
 DATE ...
 JOB NO. 1655
 REVISIONS: SHEET NO.

A-4

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE ORDER DOCUMENTATION AND THE APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS.
THE LOADS ARE APPLIED TO THE STRUCTURE IN ACCORDANCE WITH THE FOLLOWING AS INDICATED.

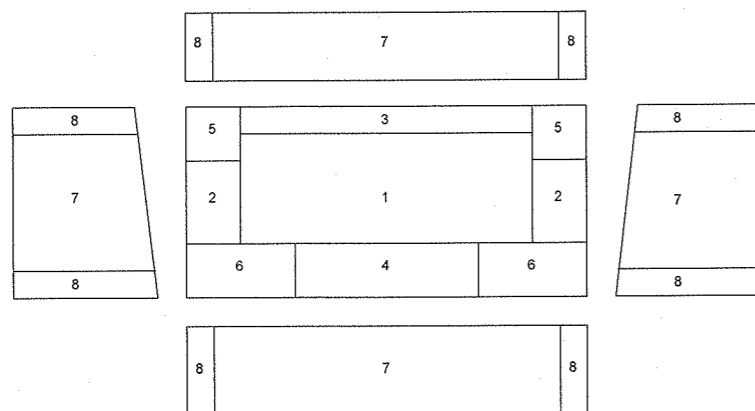
CODE
BUILDING CODE: NYBC 16
PRIMARY FRAMING: AISC10
SECONDARY FRAMING: NAUS12

LOADS
LL: 20 psf, with tributary reduction allowed
COLLATERAL LOAD: 3 psf
SNOW LOAD: Pg=30.0 psf Pf=21.0 psf Is=1.00 Ce=1.0000 Ct=1.00
WIND LOAD: 115 mph Iw: 1.00 Exposure C
Internal Pressure Coefficient: +/-0.18 Design Wind Pressure=24.46 psf

DEFLECTIONS
RIGID FRAME: H/60
RIGID FRAME: L/180
PURLINS: L/150
GIRTS: L/90
BRACING: H/60

SEISMIC DESIGN DATA: Sds=0.288 Sd1=0.115 Site Class=D Use Group: II
Ss=0.273 S1=0.072 Seismic Design Category=B
Seismic-force-resisting System
Transverse Load - Steel Systems Not Specifically Detailed For Seismic Resistance
V= 2.24 kips R=3.00 Cs=0.096
(Equivalent Lateral Force Procedure)

DRAWING INDEX			
Cover	MB.0.10		
Anchor Bolt Layout	MB.1.10	Wall Liner	MB.5.50
Anchor Bolt Details	MB.1.20		
Anchor Bolt Reactions	MB.1.30		
		Frame Cross Section	MB.7.10
Roof Framing & Roof Sheeting	MB.2.10		
		Detail Sheet	MB.9.10
		Detail Sheet	MB.9.11
Front Sidewall	MB.4.10	Detail Sheet	MB.9.12
Back Sidewall	MB.4.20	Detail Sheet	MB.9.13
Left Endwall & Right Endwall	MB.4.30		



Zone	Width (ft)	Length (ft)	Components & Cladding (Factored)			
			Pressure(psf) Member	Panel	Suction(psf) Member	Panel
1		6.00	7.20	7.20	-18.79	-18.79
2		6.00	7.20	7.20	-24.61	-26.11
3	3.00	7.20	7.20	7.20	-20.29	-21.60
4	6.00	7.20	7.20	7.20	-24.61	-26.11
5	6.00	6.00	7.20	7.20	-20.29	-28.93
6	6.00	12.00	7.20	7.20	-26.11	-40.77
7		6.00	12.84	15.84	-14.16	-17.16
8	3.00	6.00	12.84	15.84	-15.15	-21.11

ROOF PANEL	26Ga. USA PBR PANEL W/ WIDE MASTIC COLOR: GLUM	FASTENERS #12 SDS MEMBER & LAPTEK STITCH (LONGLIFE)					
WALL PANEL	26Ga. USA PBR PANEL COLOR: TBD (UNICOTE 2000)	FASTENERS #12 SDS MEMBER & LAPTEK STITCH (LONGLIFE)					
ROOF & WALL TRIM	NORTHERN GUTTER TBD (UNICOTE 2000)	DOWNSPOUT TBD (UNICOTE 2000)	HIGH EAVE TBD (UNICOTE 3000)	RAKE TBD (UNICOTE 3000)	CORNER TBD (UNICOTE 2000)	JAMB & HEAD W/COVER TBD (UNICOTE 2000)	MF01 BASE TRIM TBD (UNICOTE 2000)

GENERAL NOTES

- Fabrication shall be in accordance with U.S.A.'s standard practices in compliance with the applicable sections, relating to design requirements and allowable stresses of the latest edition of the "AWS Structural Welding Code D1.1". U.S.A.'s manufacturing procedures have been certified by:

Reference	Certification numbers
I.A.S. - AC472 HOUSTON FACILITY	MB-149
I.A.S. - AC472 PORTLAND FACILITY	MB-150
Houston	U.S.A. # 135
Texas Engineering Firm	# 143
MIAMI-DADE COUNTY	# 16-0803.09
MEMBER MBMA	
- PRIMER**
Shop primer point is a rust inhibitive primer which meets the end performance of Federal Specification TT-P-664 and is U.S.A.'s standard color shown on contract. This point is not intended for long term exposure to the elements. U.S.A. is not responsible for any deterioration of the shop primer point as a result of improper handling and/or storage. U.S.A. shall not be responsible for any field applied paint and/or coatings. (Section 6.5 AISC Code of Standard Practice, 13th Edition)
- GALVANIZED OR SPECIAL COATINGS:**
Reference Contract Documents.
- ALL BOLTS ARE 1/2" x 0'-1" A307 EXCEPT:**
a) Eave strut connection - 1/2" x 0'-1 1/4" A307
b) Main frame connections - SEE CROSS SECTION
NOTE: Washers are not supplied unless noted otherwise on drawing
- MATERIALS**

ASTM DESIGNATION	MINIMUM YIELD (U. S. N.)
Wide Flange Shapes	FY = 50 KSI
Other Rolled Mill Shapes	FY = 36 KSI or 50 KSI
Structural Steel Plate (Webs/Connections)	FY = 55 KSI
Structural Steel Plate (Flanges)	FY = 55 KSI
Cold Formed Light Gage Shapes	FY = 55 KSI
Cable Bracing	Extra High Strength
Rod Bracing	FY = 36 KSI
Roof and Wall Sheeting	FY = 50, 80 KSI
Machine Bolts	FY = 36 KSI
High Strength Bolts (1/2" to 1")	FU = 120 KSI
High Strength Bolts (1 1/8" to 1 1/2")	FU = 105 KSI
Anchor Bolts (if supplied)	FY = 36 KSI
Pipe	FY = 35 KSI
H.S.S. TUBE	FY = 46 KSI
- HIGH-STRENGTH BOLT TIGHTENING REQUIREMENTS**
High Strength Bolts are ASTM A325-N, unless otherwise noted.
All high strength bolts shall be snug-tight unless otherwise specifically noted for particular connection details.
Moment Frames and Moment Connections shall be fully-pretensioned where noted on drawings. Tension-Control Bolts and/or Load Indicating Washers shall be supplied by PCMB where shown on drawings.
Turn-of-the-nut and calibrated wrench method are also acceptable means.
NOTE: The Pre-installation verification procedure requires the use of a "tension calibrator", which is a hydraulic tension indicating device, such as a Skidmore Testing Device.
All ASTM A325 bolts are provided with lubricated nuts. The erector should employ proper job site handling and storage procedures to protect fastener assemblies against excessive weathering and exposure to dust, dirt, moisture, heat, ect. Depending on job site handling and the severity of job site conditions, it may be necessary to re-lubricate the nuts. The necessity for reapplying lubricant may be determined by pre-installation verification as reference above. For additional information on job site storage and handling, see AISC 13th Ed., Chapter 16.2, Section 2.2.
- CLOSURE STRIPS ARE FURNISHED FOR APPLICATION:**
INSIDE - Under roof panels and eave
OUTSIDE - Between endwall panels and rake trim
- Under continuous ridge vent skirts
- Between sidewall panels and eave trim
- ERECTION & TEMPORARY SUPPORTS:**
The erector is responsible to determine, furnish and install all required temporary supports and bracing. These temporary supports and bracing shall be sufficient to secure the building and / or bare structural steel against loads likely to be encountered during erection including those due to wind load and erection operations. (Section 7.10.3 AISC Code of Standard Practice)
- ERECTION AND UNLOADING NOT BY U.S.A.**
- SHORTAGES**
Any claims or shortages by buyer must be made to U.S.A. within five (5) working days after delivery, or such claims will be considered to have been waived by the customer and disallowed.
- CORRECTIONS OF ERRORS AND REPAIRS (MBMA 6.10)**
Claims for correction of alleged misfits will be disallowed unless U.S.A. shall have received prior notice thereof and allowed reasonable inspection of such misfits. The correction of minor misfits by the use of drift pins to draw the components into line, moderate amounts of reaming, chipping and cutting, and the replacement of minor shortages of material are a normal part of erection and are not subject to claim. No part of the Building may be returned for alleged misfits without the prior approval of U.S.A.
- ERECTOR NOTE**
Erect steel with piece marks corresponding to location of piece marks on erection drawings. Erect and plumb bays progressively to insure overall width and length is maintained.
- ACCESSORIES**
Accessories are not wind rated.
- ROOF SYSTEMS**
The performance of roof systems supplied by USA is dependent on correct and proper erection and roof system installation by qualified roofing installers. USA is not responsible for non-performance due to improper or defective installation. USA does not certify erectors or roofing installers.

BUYER/END USE CUSTOMER RESPONSIBILITIES

- It is the responsibility of the BUYER/END USE CUSTOMER to obtain appropriate approvals and secure necessary permits from City, County, State, or Federal Agencies as required, and to advise/release U.S.A. to fabricate upon receiving such.
- United Structures of America's (hereafter referred to as U.S.A.) standard specifications apply unless stipulated otherwise in the Contract Documents. U.S.A.'s design, fabrication, quality criteria, standards, practice, methods and tolerances shall govern the work with any other interpretations to the contrary notwithstanding. It is understood by both Parties that the BUYER/END USE CUSTOMER is responsible for clarification of inclusions or exclusions from the architectural plans and/or specifications.
- In case of discrepancies between U.S.A.'s structural steel plans and plans for other trades, U.S.A.'s plans shall govern. (Section 3 AISC Code of Standard Practices)
- Approval of U.S.A. drawings and calculations indicates that U.S.A. has correctly interpreted and applied the Contract Documents. This approval constitutes the contractor/owner's acceptance of the U.S.A.'s design concepts, assumptions, and loading. (Section 4 AISC Code and MBMA 3.3.3)
- Once the BUYER/END USE CUSTOMER has signed U.S.A.'s Approval Package and the project is released for fabrication, changes shall be billed to the BUYER/END USE CUSTOMER including material, engineering and other costs. An additional fee may be charged if the project must be moved from the fabrication and shipping schedule.
- The BUYER/END USE CUSTOMER is responsible for overall project coordination. All interface, compatibility, and design considerations concerning any materials not furnished by U.S.A. and U.S.A.'s steel system are to be considered and coordinated by the BUYER/END USE CUSTOMER. Specific design criteria concerning this interface between materials must be furnished before release for fabrication or U.S.A.'s assumptions will govern (Section 4 and Commentary, AISC Code of Standard Practice)
- It is the responsibility of the BUYER/END USE CUSTOMER to insure that U.S.A.'s plans comply with the applicable requirements of any governing building authorities. The supplying of sealed engineering data and drawings for the metal building system does not imply or constitute an agreement that U.S.A. or its design engineers are acting as the engineer of record or design professional for a construction project. These drawings are sealed only to certify the design of the structural components furnished by U.S.A.
- The BUYER/END USE CUSTOMER is responsible for setting of anchor bolts and erection of steel in accordance with U.S.A.'s "For Construction" drawings only. Temporary supports such as gys, braces, falsework, cribbing or other elements required for the erection operation shall be determined and furnished and installed by the erector. No items should be purchased from a preliminary set of drawings, including anchor bolts. Use only final "FOR CONSTRUCTION DRAWINGS" for this use. (Section 7 AISC Code of Standard Practice.)
- United Structures of America is responsible for the design of anchor bolts to permit the transfer of forces between the base plate and the anchor bolt in shear, bearing and tension, but is not responsible for the transfer of anchor bolt forces to the concrete or the adequacy of the anchor bolt in relation to the concrete. Unless otherwise provided in the Order Documents, United Structures of America does not design and is not responsible for the design, material and construction of the foundation or foundation embedment's. The END USE CUSTOMER should assure himself that adequate provisions are made in the foundation design for loads imposed by column reactions of the building, other imposed loads, and bearing capacity of the soil and other conditions of the building site.
It is recommended that the anchorage and foundation of the building be designed by a Registered Professional Engineer experienced in the design of such structures. (Section IV MBMA Low Rise Building Systems Manual)
- Normal erection operations include the corrections of minor misfits by moderate amounts of reaming, chipping, welding or cutting, and the drawing of elements into line through the use of drift pins. Errors which cannot be corrected by the foregoing means or which require major changes in member configuration are to be reported immediately to U.S.A. by the BUYER/END USE CUSTOMER, to enable whoever is responsible either to correct the error or to approve the most efficient and economic method of correction to be used by others. (Section 7 AISC Code of Standard Practice, 9th Edition)
- FIELD MODIFICATIONS - WARNING:** Neither the fabricator nor the BUYER/END USE CUSTOMER will cut, drill or otherwise alter his work, or the work of other trades, to accommodate other trades, unless such work is clearly specified in the contract documents. Whenever such work is specified, the BUYER/END USE CUSTOMER is responsible for furnishing complete information as to materials, size, location and number of alterations prior to preparation of shop drawings. (Section 7 AISC Code of Standard Practice, 9th Edition)

The strength, stability, and safety of this building may be affected by cutting, drilling or removing any components of the building. No such modifications may be made without the written approval of United Structures of America, Inc.

Collateral loads or other components provided by others may be supported on this building in the designated locations if specifically included in the design loads. Unless the connections for such components have been designed and detailed by U.S.A. the customer is responsible to ensure appropriate connection details are utilized.
- WARNING:** In no case should Aluminized Zinc steel panels be used in conjunction with lead or copper. Both lead and copper have harmful corrosive effects on the Aluminized Zinc alloy coating when they are in contact with Aluminized Zinc steel panels. Even run-off from copper flashing, wiring, or tubing onto Aluminized Zinc should be avoided.
- SAFETY COMMITMENT:** UNITED STRUCTURES OF AMERICA has a commitment to manufacture quality building components that can be safely erected. However, the safety commitment and job site practices of the erector are beyond the control of U.S.A.
It is strongly recommended that safe working conditions and accident prevention practices be the top priority of any job site. Local, State, and Federal safety and health standards should always be followed to help ensure worker safety. Make certain all employees know the safest and most productive way of erecting a building. Emergency procedures should be known to all employees.
Daily meetings highlighting safety procedures are also recommended. The use of hard hats, rubber sole shoes for roof work, proper equipment for handling material, and safety nets where applicable, are recommended. Contractors/Erectors should be aware of OSHA regulations for Steel Erection. The following OSHA Regulations (Standards 29 CFR) are applicable to Steel Erection: OSHA Steel Erection Regulations, Part Number 1926, Subpart "R"
- Manufacturer is not responsible for bodily injuries or material damages during unloading, handling, storage, or erection.



CORPORATE OFFICE
1912 BUSCHONG
HOUSTON, TX 77039
281-442-8247

PORTLAND FACILITY
214 FOUNTAINHEAD ROAD
PORTLAND, TN 37148
615-325-7351

BY	DATE	DESCRIPTION	ISSUE
JM	5/10/18	PERMIT	PI

CUSTOMER: LOUNSBURY BUILDERS
2824 RT 17K
BULLVILLE, NY 10915
845 361 5524

PROJECT: PETER SKYE
ORANBURG, NY 10965



JOB #: 50734
DRAWN BY: JLM
DATE: 5/9/18
CHKD BY:
DATE:
SCALE: N.T.S.
DESIGN CRITERIA & GENERAL NOTES
DWG # MB.0.10

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PORTLAND FACILITY
214 FOUNTAINHEAD ROAD
PORTLAND, TN 37148
615-325-7351

BY	DATE	DESCRIPTION	ISSUE
JLM	5/10/18	CONSTRUCTION	0

CUSTOMER: LOUNSBURY BUILDERS
2824 RT 17K
BULLVILLE, NY 10915
845.361.5524

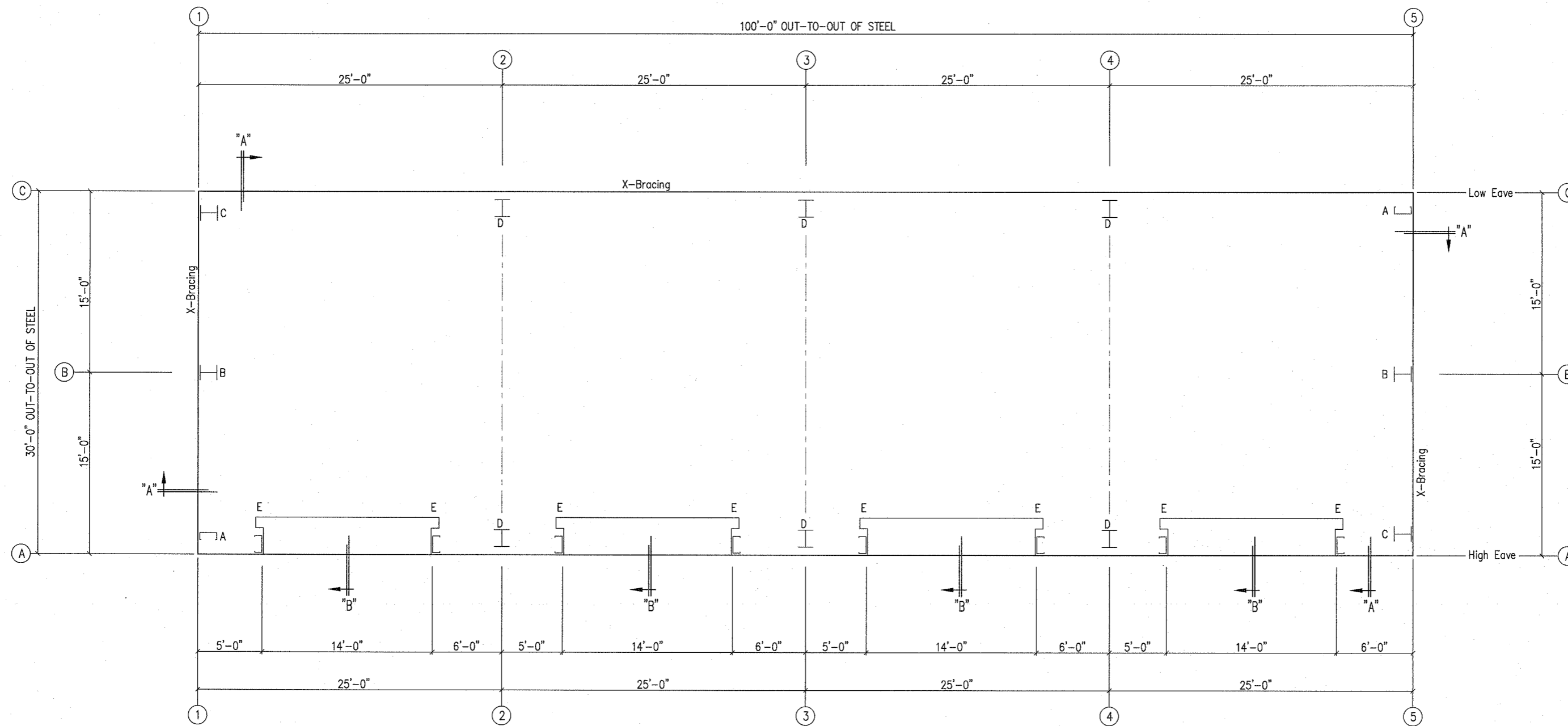
PROJECT: PETER SKYE
ORANBURG, NY 10965



JOB #: 50734
DRAWN BY: JLM
DATE: 5/9/18
CHKD BY: JM
DATE: 5/10/18
SCALE: N.T.S.

COLUMN LOCATION PLAN

DWG # MB.1.10



COLUMN LOCATION PLAN

NOTE: All Base Plates @ 100'-0" (U.N.)
NOTE: Finished Floor Elevation is @ 100'-0" (U.N.)

NOTE! FIELD LOCATE (2) 3070 WALKDOORS.
(REF. DETAIL "F" SHEET MB.1.20
ONLY IF 3'-8" GIRTS EXISTS)

GENERAL NOTES:

- The Anchor Bolt Details shown on this drawing locate the Anchor Bolts in reference to the Building Steel Line.
- United Structures of America is responsible for the design of the anchor bolt to permit the transfer of forces between the base plate and the anchor bolt in shear, bearing, and tension, but it is not responsible for the transfer of anchor bolt forces to the concrete or the adequacy of the anchor bolt in relation to the concrete. Unless otherwise provided in the Order Documents, United Structures of America does not design and is not responsible for the design, material, and construction of the foundation embedments. The End Use Customer should assure himself that adequate provisions are made in the foundation design for loads imposed by column reactions of the building, other imposed loads, and bearing capacity of the soil and other conditions of the building site. It is recommended that the anchorage and foundation of the building be designed by a Registered Professional Engineer experienced in the design of such structures.
- Bottom of all Base Plates are at the same elevation. (UNLESS NOTED)
- NOTE: SHEAR ANGLES AND/OR ANCHOR TIES ARE NOT FURNISHED BY U.S.A.

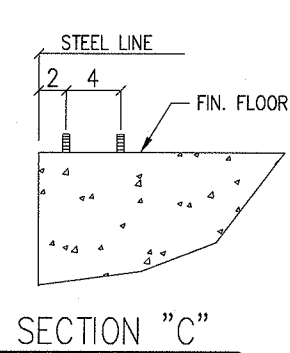
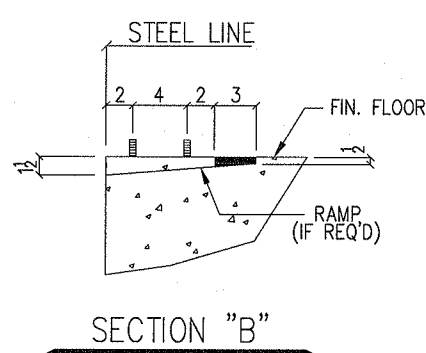
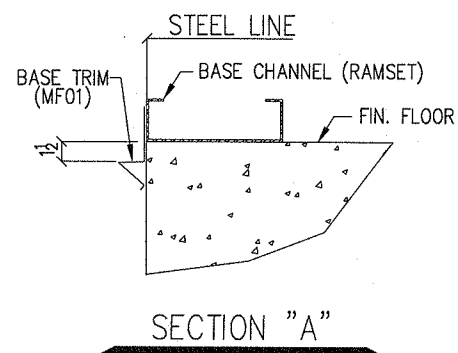
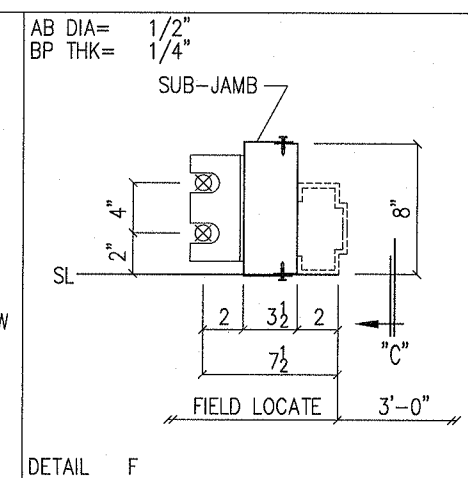
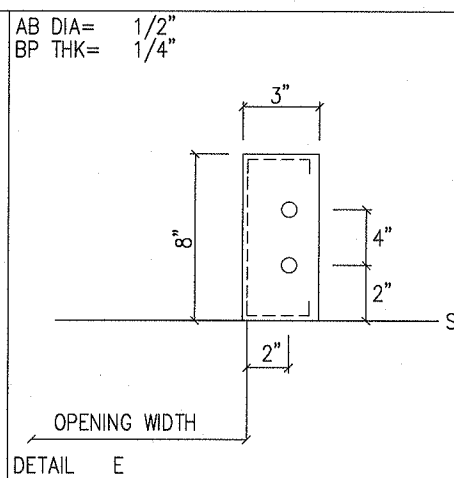
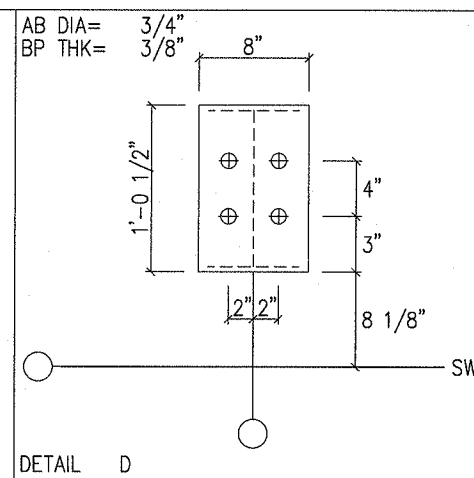
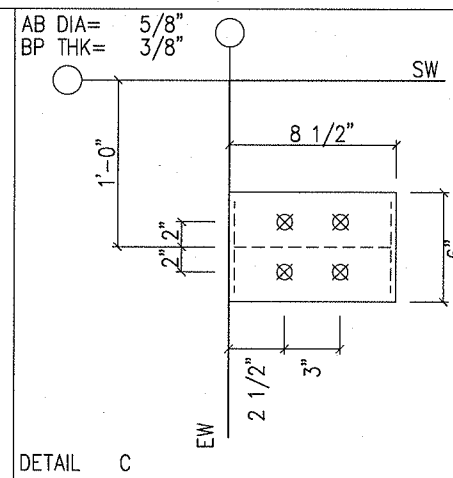
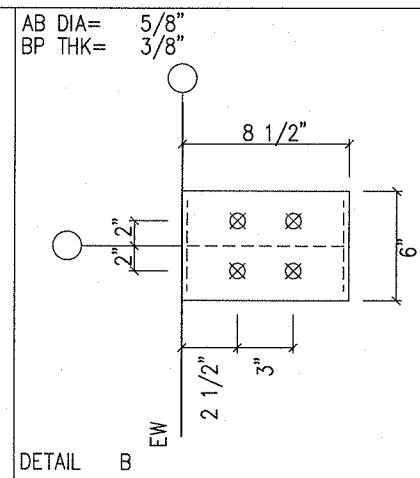
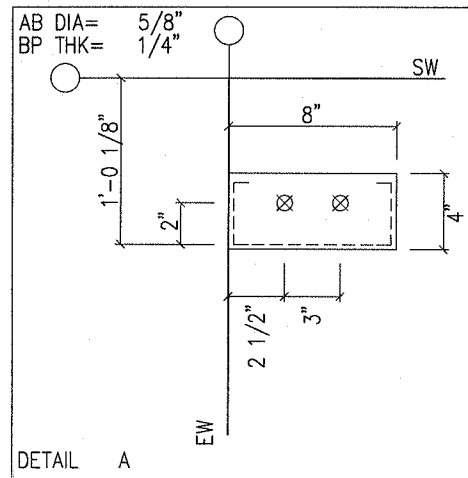
NOTE:

ANCHOR BOLT PROJECTION IS FROM THE TOP OF CONCRETE.

Anchor bolt length is to be determined by the customer. Embedment length of bolts will vary based on the foundation design. It is the responsibility of the customer to determine the proper anchor bolt embedment length. Ref. General Note #2 of this drawings.

(If Anchor Bolts are supplied by U.S.A., customer must specify required length to USA.)

ANCHOR BOLT DETAIL	DIA.	QTY	LENGTH	T	PROJ
	1/2"	24	(NOT BY U.S.A.)	1 1/4"	1"
	5/8"	20	(NOT BY U.S.A.)	2"	2"
	3/4"	24	(NOT BY U.S.A.)	3"	3"
	7/8"		(NOT BY U.S.A.)	3"	3"
	1"		(NOT BY U.S.A.)	3"	3"
	1 1/4"		(NOT BY U.S.A.)	4"	4"
ANCHOR BOLTS (NOT BY U.S.A.)	1 1/2"		(NOT BY U.S.A.)	4"	4"



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PORTLAND FACILITY
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ISSUE	DESCRIPTION	DATE	BY
0	CONSTRUCTION	5/10/18	JM

CUSTOMER: LOUNSBURY BUILDERS
2824 RT 17K
BULLVILLE, NY 10915
845 361 5524

PROJECT: PETER SKYE
ORANGEBURG, NY 10965



JOB #: 50734

DRAWN BY: JLM

DATE: 5/9/18

CHKD BY: JM

DATE: 5/10/18

SCALE: N.T.S.

ANCHOR BOLT DETAILS

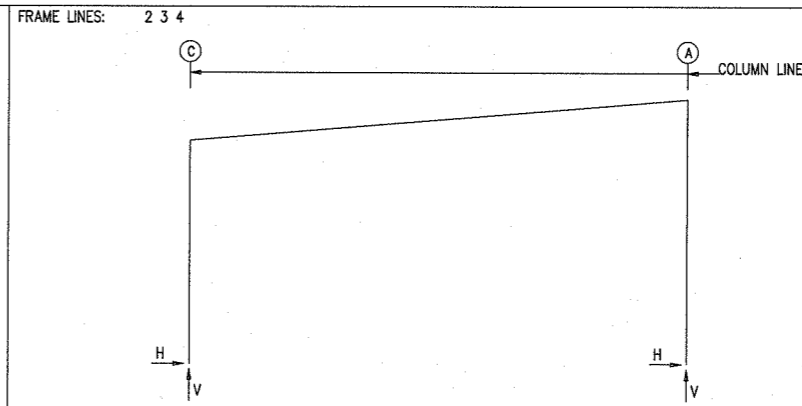
DWG # MB.1.20

NOTES FOR REACTIONS

- ALL LOADING CONDITIONS ARE EXAMINED AND ONLY MAXIMUM/MINIMUM H OR V AND THE CORRESPONDING H OR V ARE REPORTED.
- POSITIVE REACTIONS ARE AS SHOWN IN THE SKETCH. FOUNDATION LOADS ARE IN OPPOSITE DIRECTIONS.
- BRACING REACTIONS ARE IN THE PLANE OF THE BRACE WITH THE H POINTING AWAY FROM THE BRACED BAY. THE VERTICAL REACTION IS DOWNWARD.
- BRACING REACTIONS ARE NOT INCLUDED WITH THE MAIN FRAME OR ENDWALL BASIC COLUMN REACTIONS DISPLAYED ON THIS DRAWING.
- FOR PURPOSES OF FOUNDATION DESIGN AND ANCHOR BOLT / ANCHOR ROD EMBEDMENT, THE BRACING REACTIONS HAVE BEEN INCLUDED WITH THE MAXIMUM REACTIONS DISPLAYED ON THIS DRAWING.
- MAIN FRAME LONGITUDINAL WIND AND SEISMIC LOAD CASES ARE LISTED AS "LnWIND1", "LnWIND2" AND "SeisLn" RESPECTIVELY.
- THE METAL BUILDING DESIGN AND ANCHOR ROD SIZING HAVE CONSIDERED BRACING REACTIONS IN COMBINATION WITH OTHER APPLICABLE LOAD CASES.
- BUILDING REACTIONS ARE BASED ON THE FOLLOWING BUILDING DATA:
 WIDTH (ft): 30
 LENGTH (ft): 100
 EAVE HEIGHT (ft): 13.5 / 16
 ROOF SLOPE (rise/12): 1.0:12 /
 DEAD LOAD: METAL BUILDING STRUCTURE ONLY
 COLLATERAL LOAD: 3 psf
 ROOF LIVE LOAD: 20.00 psf
 FRAME LIVE LOAD: 12 psf
 ROOF SNOW LOAD: 21 psf
 WIND SPEED: 115 mph
 WIND CODE: NYBC 16
 EXPOSURE: C
 ENCLOSURE: FULLY ENCLOSED
 IMPORTANCE WIND: 1.00
 IMPORTANCE SEISMIC: 1.00
 SEISMIC DESIGN CATEGORY: B
 SEISMIC COEFF (F_oS_s): 0.432

9. LOADING CONDITIONS ARE:
- Dead+Collateral+Snow+Slide_Snow
 - Dead+Collateral+0.75Snow+0.45Wind_Left1+0.75Slide_Snow
 - Dead+Collateral+0.75Snow+0.45Wind_Right1+0.75Slide_Snow
 - 0.6Dead+0.6Wind_Left2
 - 0.6Dead+0.6Wind_Right2
 - 0.6Dead+0.6Wind_Long1L
 - 0.6Dead+0.6Wind_Long2R
 - 0.6Dead+0.6Wind_Long1R
 - 0.6Dead+0.6Wind_Pressure+0.6Wind_Long1L
 - Dead+Collateral+0.75Snow+0.45Wind_Right2+0.45Wind_Suction+0.75Slide_Snow
 - 0.6Dead+0.6Wind_Right1+0.6Wind_Suction
 - 0.6Dead+0.6Wind_Suction+0.6Wind_Long1L
 - Dead+Collateral+Snow/2+E1PAT_SL_2
 - Dead+Collateral+Snow/2+E2PAT_SL_1
 - Dead+Collateral+Snow/2+E2PAT_SL_2

10. REACTION LOADING CONDITION ABBREVIATIONS ARE:
- DL = DEAD
 - CL = COLLATERAL
 - LL = LIVE
 - SL = SNOW
 - Drift = SNOW DRIFT
 - Slide = SLIDING SNOW
 - WL1 = WIND 1 LEFT (WITH POSITIVE INTERNAL PRESSURE, +GCp)
 - WR1 = WIND 1 RIGHT (WITH POSITIVE INTERNAL PRESSURE, +GCp)
 - WL2 = WIND 2 LEFT (WITH NEGATIVE INTERNAL PRESSURE, -GCp)
 - WR2 = WIND 2 RIGHT (WITH NEGATIVE INTERNAL PRESSURE, -GCp)
 - LnWIND1 = LONGITUDINAL WIND, CASE 1
 - LnWIND2 = LONGITUDINAL WIND, CASE 2
 - WP = WIND PRESSURE
 - WS = WIND SUCTION
 - SeismlL = SEISMIC LEFT
 - SeismicR = SEISMIC RIGHT
 - LnSeismic = LONGITUDINAL SEISMIC
 - LnWIND1_L2E = LONGITUDINAL WIND, CASE 1, WIND LEFT EDGE ZONE 2E
 - LnWIND1_R2E = LONGITUDINAL WIND, CASE 1, WIND RIGHT EDGE ZONE 2E
 - LnWIND2_L3E = LONGITUDINAL WIND, CASE 2, WIND LEFT EDGE ZONE 3E
 - LnWIND2_R3E = LONGITUDINAL WIND, CASE 2, WIND RIGHT EDGE ZONE 3E
- E#PAT_LL* = ENDWALL PATTERN LIVE
 E#PAT_SL* = ENDWALL PATTERN SNOW
 E# = ENDWALL NUMBER
 1 - LEFT ENDWALL
 2 - RIGHT ENDWALL
 * - AUXILIARY LOAD ID
- F#PAT_LL* = RIGID FRAME PATTERN LIVE
 F#PAT_SL* = RIGID FRAME PATTERN SNOW
 F# = RIGID FRAME ID
 * - AUXILIARY LOAD ID
- E#UNB_SL_L = ENDWALL UNBALANCED SNOW LEFT
 E#UNB_SL_R = ENDWALL UNBALANCED SNOW RIGHT
 F#UNB_SL_L = RIGID FRAME UNBALANCED SNOW LEFT
 F#UNB_SL_R = RIGID FRAME UNBALANCED SNOW RIGHT
- F#CRANE* = CRANE LOADING, SINGLE CRANE
 F# = FRAME NUMBER
 A* = CRANE LOAD CASE



RIGID FRAME: MAXIMUM REACTIONS

Frm Line	Col Line	Column_Reactions(k)					
		Load Id	Hmax H	V Vmax	Load Id	Hmin H	V Vmin
2*	C	3	3.2	6.7	4	-3.0	-2.9
2*	A	5	2.6	-1.5	2	-2.6	5.3
2*	Frame lines: 2 3 4	1	-2.4	10.3	7	0.3	-4.9

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	---Dead---		---Collateral---		---Live---		---Snow---		---Wind_Left1---		---Wind_Right1---	
		Line	Vert	Horz	Vert	Line	Vert	Line	Vert	Line	Vert	Line	Vert
2*	A	0.2	1.1	0.3	1.1	1.1	4.5	1.9	7.8	-4.4	-0.3	2.9	-3.0
2*	C	-0.2	1.2	-0.3	1.1	-1.1	4.5	-1.9	7.9	-1.5	-6.7	4.0	-7.1

ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

Frm Line	Col Line	Dead Vert	Collat Vert	Live Vert	Snow Vert	Wind Left1 Vert	Wind Right1 Vert	Wind Left2 Vert	Wind Right2 Vert	Wind Press Horz	Wind Suct Horz	Wind Long1 Vert	Wind Long2 Vert
1	B	0.8	0.7	4.6	4.8	-6.0	-3.5	-3.9	-1.5	-2.0	2.2	-5.8	-3.5
1	A	0.3	0.2	1.6	1.6	-1.8	-1.3	-1.2	-0.7	-1.2	1.4	-2.0	-1.2

Frm Line	Col Line	Seis Left Vert	Seis Right Vert	---MIN_SNOW---		E1PAT_SL_1-		E1PAT_SL_2-	
				Horz	Vert	Horz	Vert	Horz	Vert
1	C	0.0	0.0	0.0	1.5	0.0	0.9	0.0	-0.1
1	B	0.0	0.0	0.0	4.5	0.0	1.2	0.0	1.2
1	A	0.0	0.0	0.0	1.6	0.0	-0.1	0.0	0.9

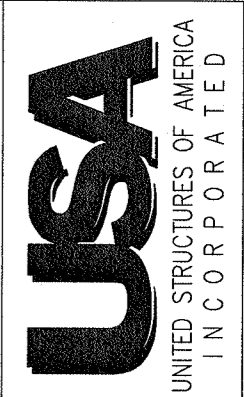
Frm Line	Col Line	Dead Vert	Collat Vert	Live Vert	Snow Vert	Wind Left1 Vert	Wind Right1 Vert	Wind Left2 Vert	Wind Right2 Vert	Wind Press Horz	Wind Suct Horz	Wind Long1 Vert	Wind Long2 Vert
5	B	0.8	0.7	4.6	4.8	-3.2	-5.8	-1.2	-3.8	-2.0	2.2	-5.7	-3.4
5	C	0.3	0.2	1.5	1.6	-1.3	-1.8	-0.5	-1.1	-1.0	1.1	-1.9	-1.2

ENDWALL COLUMN: MAXIMUM REACTIONS

Frm Line	Col Line	Column_Reactions(k)					
		Load Id	Hmax H	V Vmax	Load Id	Hmin H	V Vmin
1	C	8	0.7	-2.5	9	-0.6	-0.5
1	B	11	1.3	-3.5	9	-1.2	-3.5
1	A	12	0.8	-1.0	9	-0.7	-1.0
5	A	8	0.8	-2.6	9	-0.7	-1.5
5	B	11	1.3	-4.7	9	-1.2	-2.5
5	C	12	0.7	-1.0	9	-0.6	-1.0
		15	0.0	2.2	12	0.7	-1.0

BUILDING BRACING REACTIONS

Loc	Wall Line	Col Line	± Reactions(k)				Panel_Shear (lb/ft)
			Wind Horz	Wind Vert	Seismic Horz	Seismic Vert	
L_EW	1	C,B	3.3	3.1	0.3	0.3	
F_SW	A	Torsional	3.3	3.3	0.3	0.3	
R_EW	5	A,B	3.3	3.3	0.3	0.3	
B_SW	C	3,2	4.1	1.9	2.1	1.0	



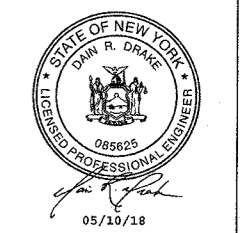
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 1912 BUSCHONG
 HOUSTON, TX 77039
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PORTLAND FACILITY
 214 FOUNTAINHEAD ROAD
 PORTLAND, TN 37148
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BY	DATE	DESCRIPTION	ISSUE
JM	5/10/18	CONSTRUCTION	0

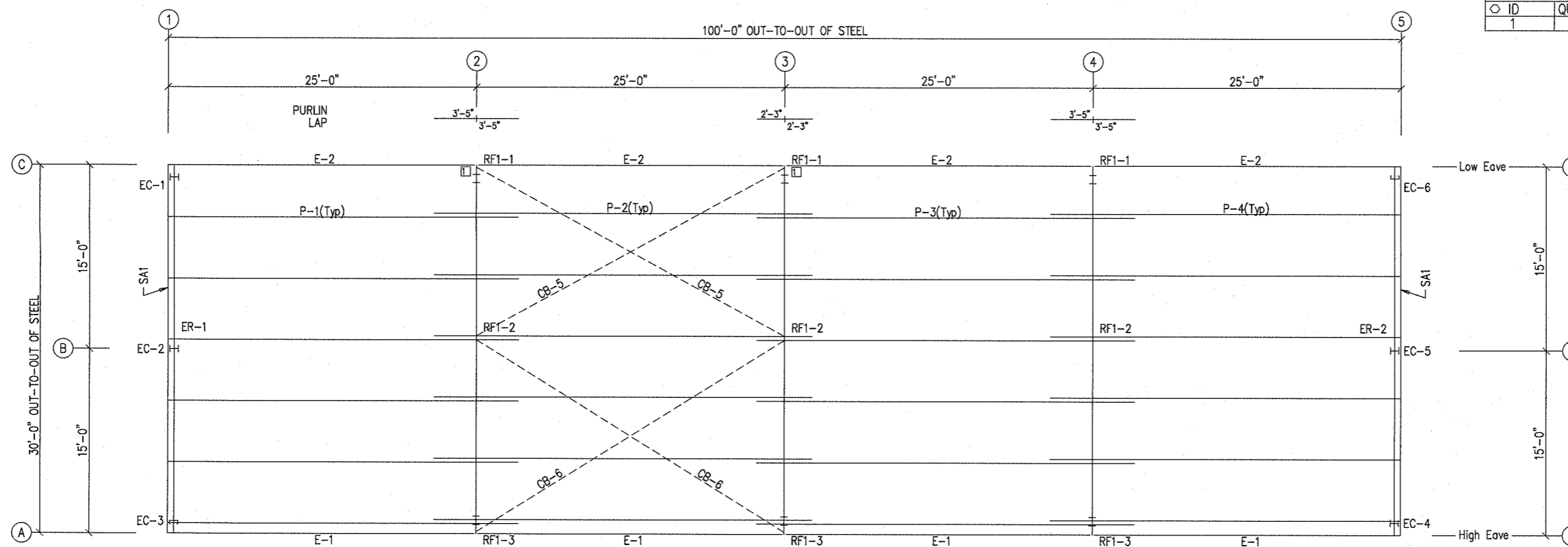
CUSTOMER: LOUNSBURY BUILDERS
 2824 RT 17K
 BULLVILLE, NY 10915
 845 361 5524

PROJECT: PETER SKYE
 ORANGEBURG, NY 10965

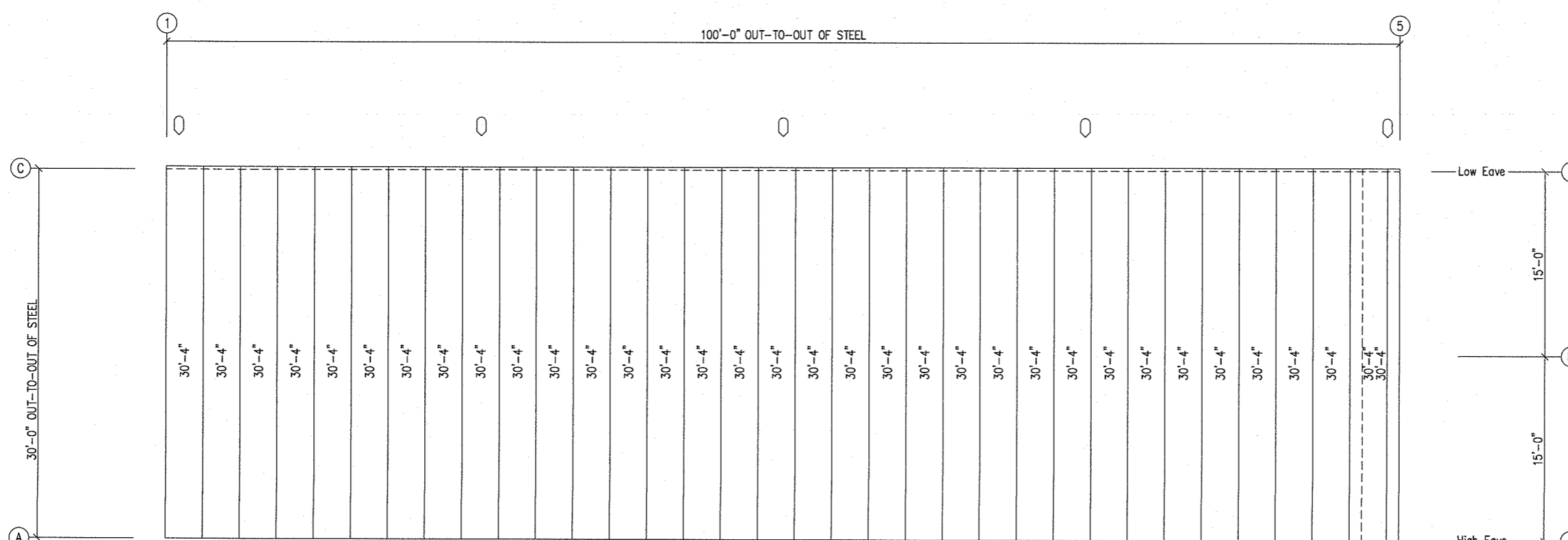


JOB #: 50734
 DRAWN BY: JLM
 DATE: 5/9/18
 CHKD BY: JM
 DATE: 5/10/18
 SCALE: N.T.S.
 ANCHOR BOLT REACTIONS
 DWG # MB.1.30

○ DOWNSPOUT LOCATIONS



ROOF FRAMING PLAN



ROOF SHEETING PLAN
PANELS: 26 Ga. PBR - GALVALUME

SPECIAL BOLTS
ROOF PLAN

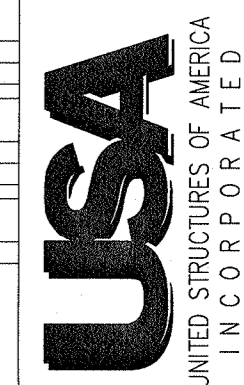
○ ID	QUAN	TYPE	DIA	LENGTH	WASH
1	3	A307	1/2"	1 1/4"	0

CONNECTION PLATES
ROOF PLAN

□ ID	MARK/PART
1	CL23A

MEMBER TABLE
ROOF PLAN

MARK	PART
P-1	10Z14P
P-2	10Z16P
P-3	10Z16P
P-4	10Z14P
E-1	10ES16
E-2	10ES16
CB-5	4_CBL
CB-6	4_CBL



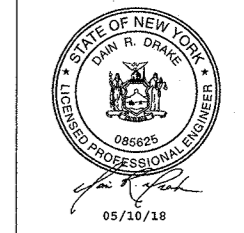
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PORTLAND, TN 37148
615-325-7351

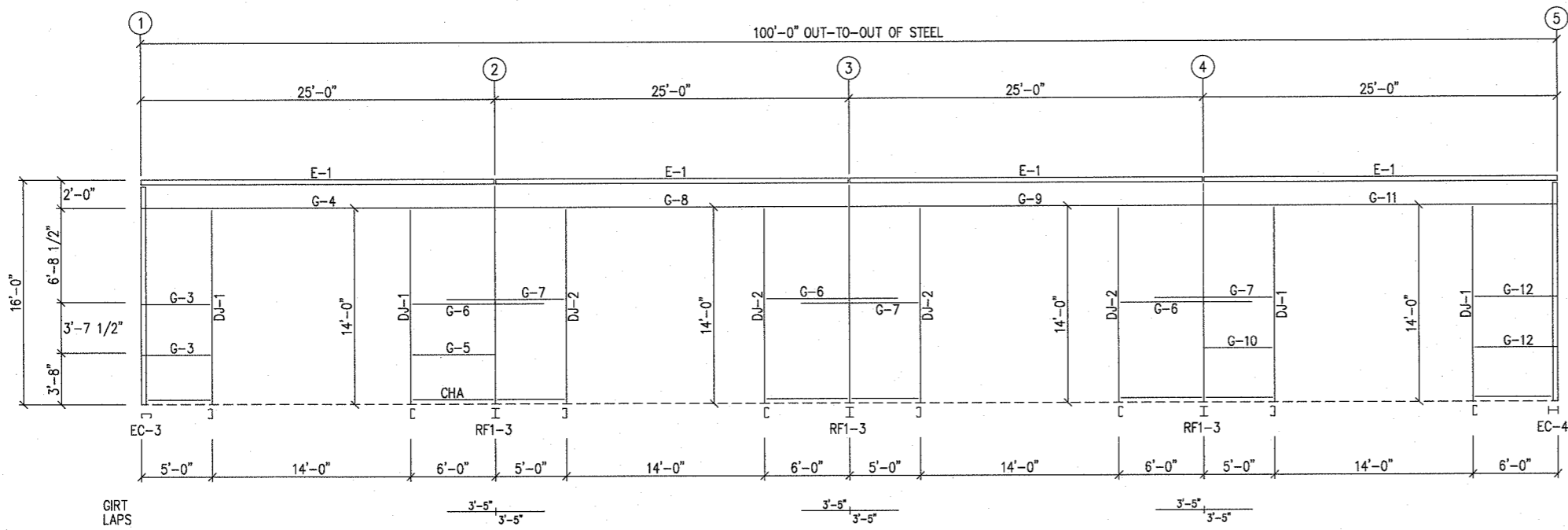
ISSUE	DESCRIPTION	DATE	BY
P1	P E R M I T	5/10/18	JLM

CUSTOMER: LOUNSBURY BUILDERS
2824 RT 17K
BULLVILLE, NY 10915
845 361 5524

PROJECT: PETER SKYE
ORANGEBURG, NY 10965

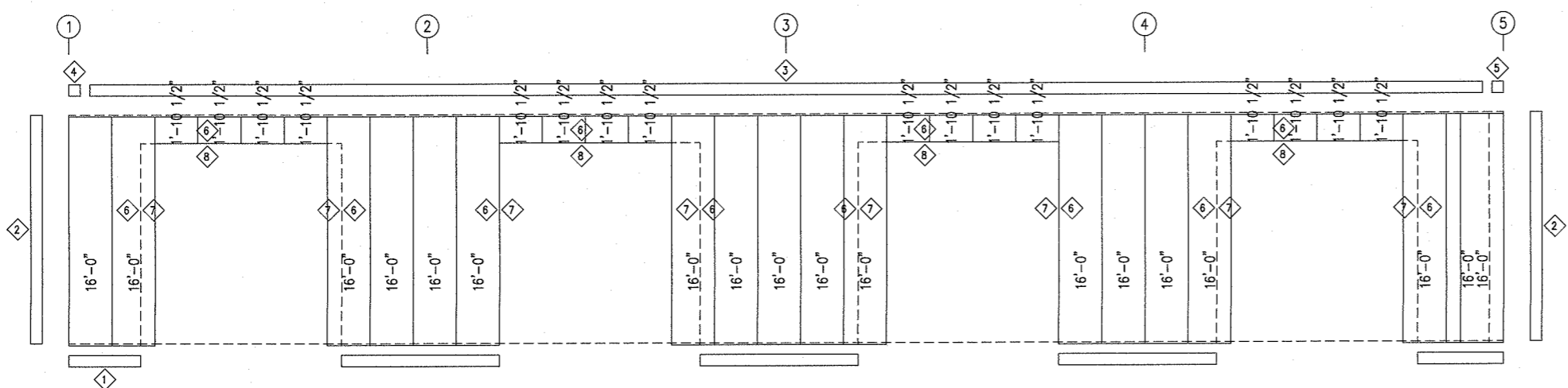


JOB #: 50734
DRAWN BY: JLM
DATE: 5/9/18
CHKD BY:
DATE:
SCALE: N.T.S.
ROOF FRAMING & ROOF SHEETING
DWG # MB.2.10



SIDEWALL ELEVATION: FRAME LINE A

NOTE! DO NOT CUT GIRTS FOR 6030 WINDOWS



SIDEWALL SHEETING & TRIM: FRAME LINE A
PANELS: 26 Ga. PBR - COLOR: TBD - UNICOTE 2000

TRIM TABLE FRAME LINE A		
ID	MARK	DETAIL
1	MF01	TRIM_307
2	CT01	TRIM_26
3	HT20	TRIM_82
4	HT20L	
5	HT20R	
6	JH01	TRIM_36
7	DJ01	TRIM_37
8	DH01	

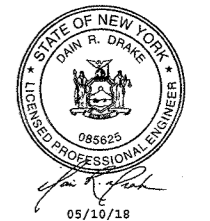
MEMBER TABLE FRAME LINE A	
MARK	PART
DJ-1	8X25C16
DJ-2	8X25C16
E-1	10ES16
G-3	8Z16
G-4	8X25C13
G-5	8Z16
G-6	8Z16
G-7	8Z16
G-8	8X25C15
G-9	8X25C16
G-10	8Z16
G-11	8X25C12
G-12	8Z16



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ISSUE	DESCRIPTION	DATE	BY
P1	PERMIT	5/10/18	JLM

CUSTOMER: LOUNSBURY BUILDERS
2824 RT 17K
BULLVILLE, NY 10915
845.361.5524
PROJECT: PETER SKYE
ORANBURG, NY 10965



JOB #:	50734
DRAWN BY:	JLM
DATE:	5/9/18
CHKD BY:	
SCALE:	N.T.S.
SIDEWALL ELEVATION	
DWG #	MB.4.10

○ DOWNSPOUT LOCATIONS

SPECIAL BOLTS					
○ ID	QUAN	TYPE	DIA	LENGTH	WASH
2	3	A307	1/2"	1 1/4"	0

TRIM TABLE FRAME LINE C		
◇ ID	MARK	DETAIL
1	MF01	TRIM_307
2	CT01	TRIM_26
3	EG20N	TRIM_48
4	ET02	
5	EC20NL	TRIM_52
6	CG20NL	TRIM_4
7	EG20NR	TRIM_49
8	CG20NR	

CONNECTION PLATES FRAME LINE C		
□ ID	MARK/PART	
1	CL23A	

MEMBER TABLE FRAME LINE C		
MARK	PART	
E-2	10ES16	
G-13	8Z15	
G-14	8Z16	
G-15	8Z16	
G-16	8Z15	
G-17	8Z16	
CB-4	5_CBL	



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PORTLAND, TN 37148
615-325-7351

BY	DATE	DESCRIPTION	ISSUE
JLM	5/10/18	PERMIT	P1

CUSTOMER: LOUNSBURY BUILDERS
2824 RT 17K
BULLVILLE, NY 10915
845 361 5524

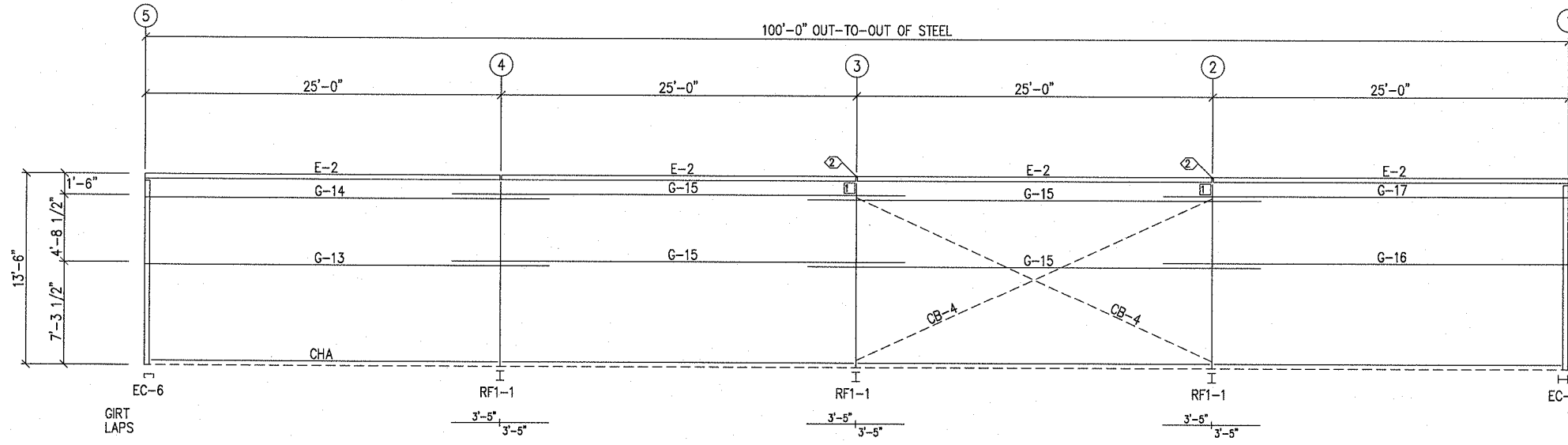
PROJECT: PETER SKYE
ORANBURG, NY 10985



JOB #: 50734
DRAWN BY: JLM
DATE: 5/9/18
CHKD BY:
DATE:
SCALE: N.T.S.

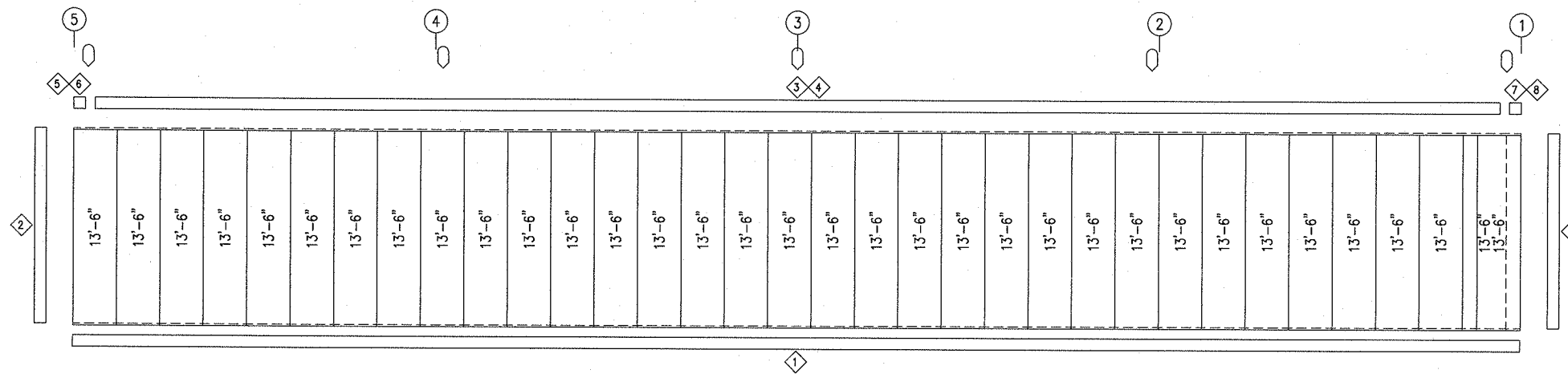
SIDEWALL ELEVATION

DWG # MB.4.20



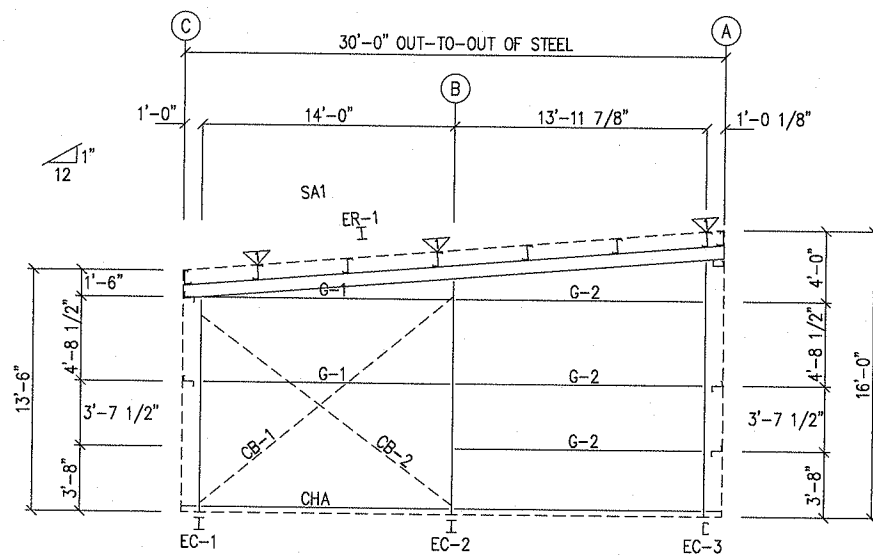
SIDEWALL ELEVATION: FRAME LINE C

NOTE! DO NOT CUT GIRTS
FOR 6030 WINDOWS

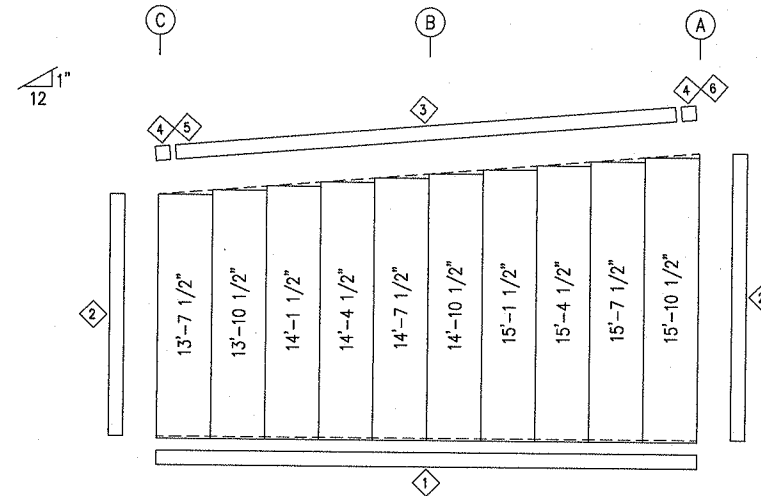


SIDEWALL SHEETING & TRIM: FRAME LINE C

PANELS: 26 Ga. PBR - COLOR: TBD - UNICOTE 2000



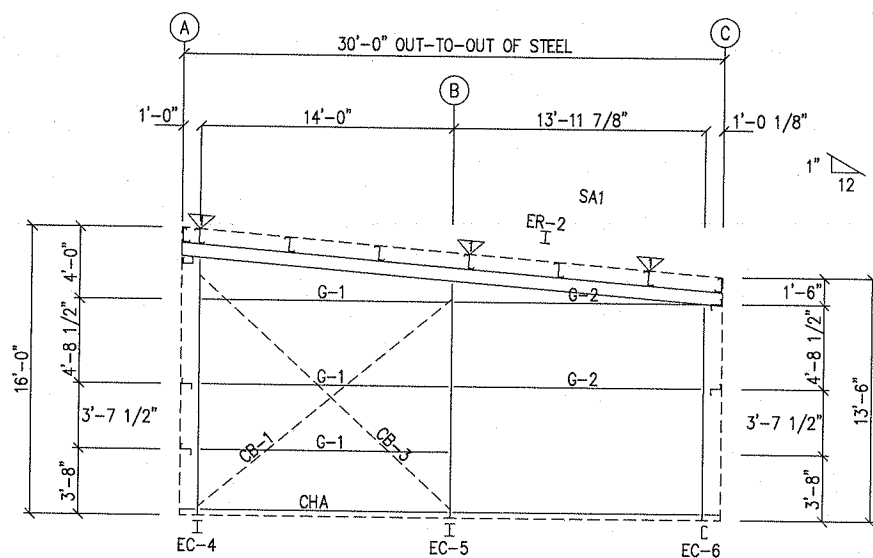
ENDWALL ELEVATION: FRAME LINE 1



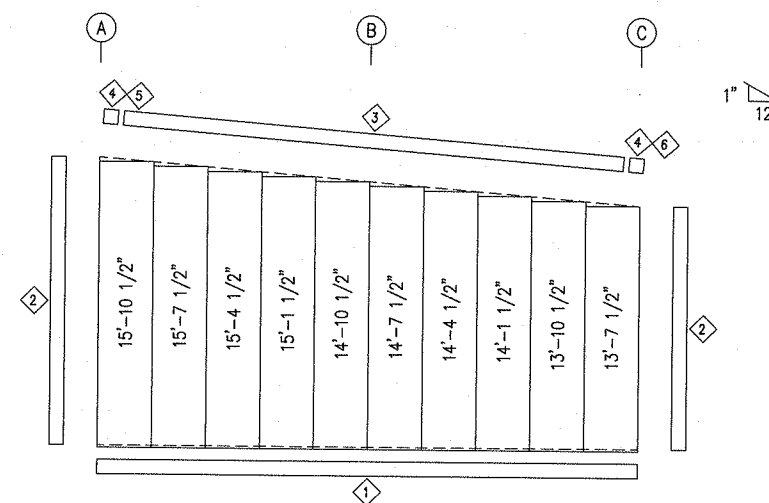
ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Ga. PBR - COLOR: TBD - UNICOTE 2000

NOTE! DO NOT CUT GIRTS FOR 6030 WINDOWS



ENDWALL ELEVATION: FRAME LINE 5



ENDWALL SHEETING & TRIM: FRAME LINE 5

PANELS: 26 Ga. PBR - COLOR: TBD - UNICOTE 2000

NOTE
FLUSH GIRTS WILL REQUIRE FIELD
SLOTING FOR "X" BRACING.
DO NOT CUT FLANGE OF GIRT

BOLT TABLE AT COL LINE 1
BOLTS TO BE PRETENSIONED U.N.

BOLT LOCATION	QTY	TYPE	DIA	LENGTH	WASHER QTY
Columns/Raf	4	A325	1/2"	1 1/4"	

ENDWALL FLANGE BRACE TABLE
COL LINE 1

▽ ID	# SIDES	MARK	MEMBER SIZE	OFFSET
1	1	FB2A	L2X2X12	2'-2"

TRIM TABLE
FRAME LINE 1

◇ ID	MARK	DETAIL
1	MF01	TRIM_307
2	CT01	TRIM_26
3	RT20	TRIM_12
4	RC01N	
5	RT20L	
6	RT20R	TRIM_50

MEMBER TABLE
FRAME LINE 1

MARK	PART
EC-1	W8X10
EC-2	W8X10
EC-3	8X4C16
ER-1	W8X10
G-1	8Z16
G-2	8Z16
CB-1	4_CBL
CB-2	4_CBL

BOLT TABLE AT COL LINE 5
BOLTS TO BE PRETENSIONED U.N.

BOLT LOCATION	QTY	TYPE	DIA	LENGTH	WASHER QTY
Columns/Raf	4	A325	1/2"	1 1/4"	

ENDWALL FLANGE BRACE TABLE
COL LINE 5

▽ ID	# SIDES	MARK	MEMBER SIZE	OFFSET
1	1	FB2A	L2X2X12	2'-2"

TRIM TABLE
FRAME LINE 5

◇ ID	MARK	DETAIL
1	MF01	TRIM_307
2	CT01	TRIM_26
3	RT20	TRIM_12
4	RC01N	
5	RT20L	
6	RT20R	TRIM_50

MEMBER TABLE
FRAME LINE 5

MARK	PART
EC-4	W8X10
EC-5	W8X10
EC-6	8X4C16
ER-2	W8X10
G-1	8Z16
G-2	8Z16
CB-1	4_CBL
CB-3	4_CBL



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HOUSTON, TX 77039
281-442-8247

PORTLAND FACILITY
214 FOUNTAINHEAD ROAD
PORTLAND, TN 37148
615-325-7351

BY	DATE	DESCRIPTION	ISSUE
JM	5/10/18	PERMIT	PI

CUSTOMER: LOUNSBURY BUILDERS
2824 RT 17K
BULLVILLE, NY 10915
845 361 9524

PROJECT: PETER SKYE
ORANGEBURG, NY 10965



JOB #: 50734
DRAWN BY: JLM
DATE: 5/9/18
CHKD BY:
SCALE: N.T.S.
ENDWALL ELEVATIONS
DWG # MB.4.30

TRIM TABLE	
FRAME LINE 1 A 5 C	
ID	MARK
1	CT03A
2	LT01
3	DJ01



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ISSUE	DESCRIPTION	DATE	BY
PI	P E R M I T	5/10/18	JLM

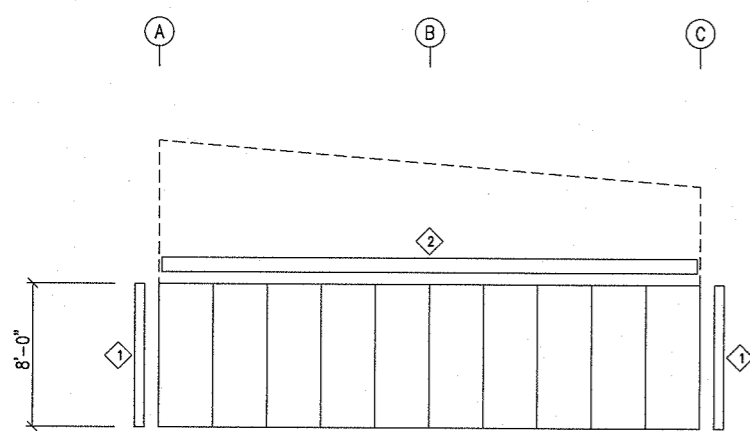
CUSTOMER: LOUNSBURY BUILDERS
2824 RT 17K
BULLVILLE, NY 10915
845 361 5524

PROJECT: PETER SKYE
ORANGETOWN, NY 10965

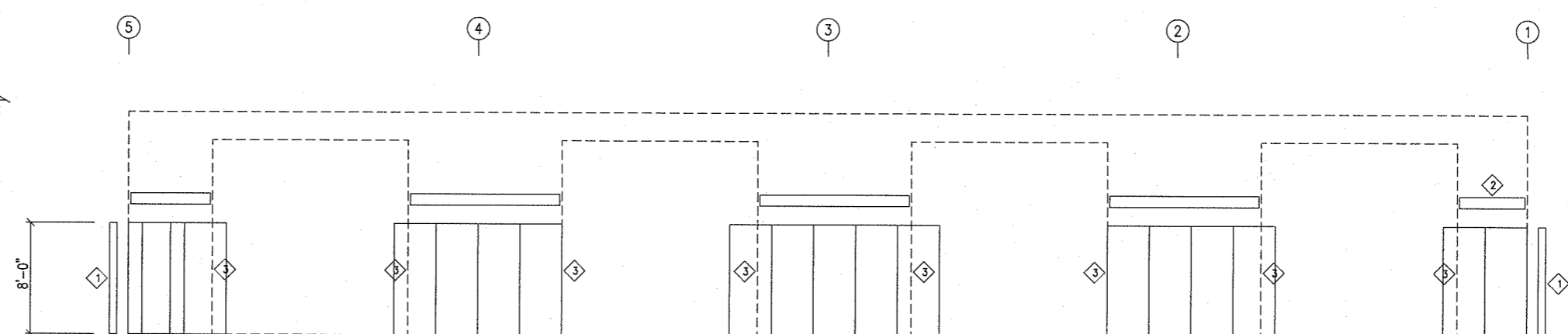


JOB #: 50734
DRAWN BY: JLM
DATE: 5/9/18
CHKD BY:
DATE:
SCALE: N.T.S.

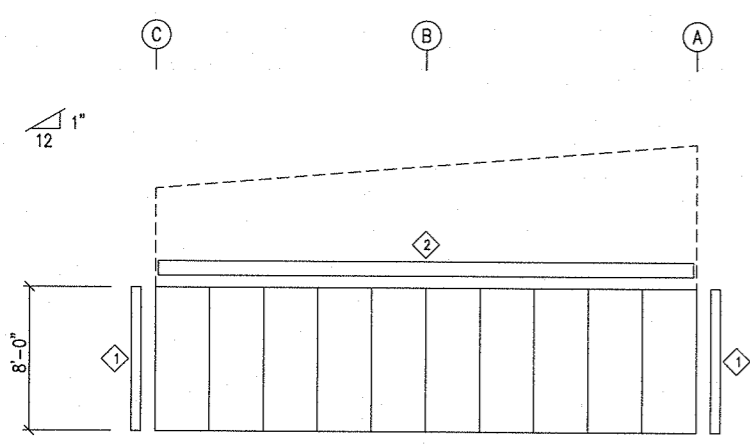
WALL LINER PANEL
DWG # MB.5.50



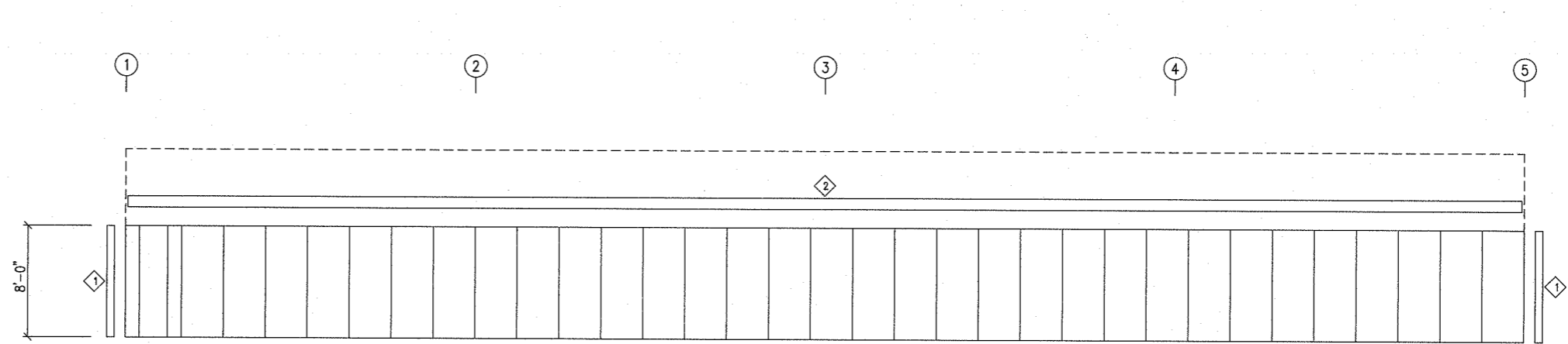
ENDWALL LINER SHEETING & TRIM: FRAME LINE 1
PANELS: 26 Ga. PBR - COLOR:TBD - UNICOTE 2000



SIDEWALL LINER SHEETING & TRIM: FRAME LINE A
PANELS: 26 Ga. PBR - COLOR:TBD - UNICOTE 2000



ENDWALL LINER SHEETING & TRIM: FRAME LINE 5
PANELS: 26 Ga. PBR - COLOR:TBD - UNICOTE 2000



SIDEWALL LINER SHEETING & TRIM: FRAME LINE C
PANELS: 26 Ga. PBR - COLOR:TBD - UNICOTE 2000

BOLTS AND SPLICE PLATE TABLE										
BOLTS TO BE PRETENSIONED U.N.										
SPLICE MARK	QTY	TOP/BOT/INT	TYPE	DIA	LENGTH	WASHER QTY	WIDTH	THICK	LENGTH	
SP-1	4	4	0	A325	3/4"	2 1/2"		6"	1/2"	1'-6 3/4"

FLANGE BRACE TABLE				
FRAME LINE 2 3 4				
∇ ID	# SIDES	MARK	MEMBER SIZE	OFFSET (REF G2 & H2)
1	1	FB1A	L2X2X12	2'-2"
2	1	FB3A	L2X2X12	2'-2"

STIFFENER TABLE				
Mark	Stiff Mark	Width	Plate Size	Length
RF1-1	St-1	3"	1/4"	11 7/16"
RF1-3	St-1	3"	1/4"	11 7/16"

BASE PLATE TABLE			
Col Mark	Width	Plate Size	Length
BP-1	8"	3/8"	1'-0 1/2"

MEMBER SIZE TABLE			
MARK	MEMBER	LENGTH	WEIGHT
RF1-1	W12X14	12'-8 1/2"	224
RF1-2	W12X14	26'-7 15/16"	422
RF1-3	W12X16	15'-1 3/16"	291



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BY	DATE	DESCRIPTION	ISSUE
JM	5/10/18	PERMIT	PI

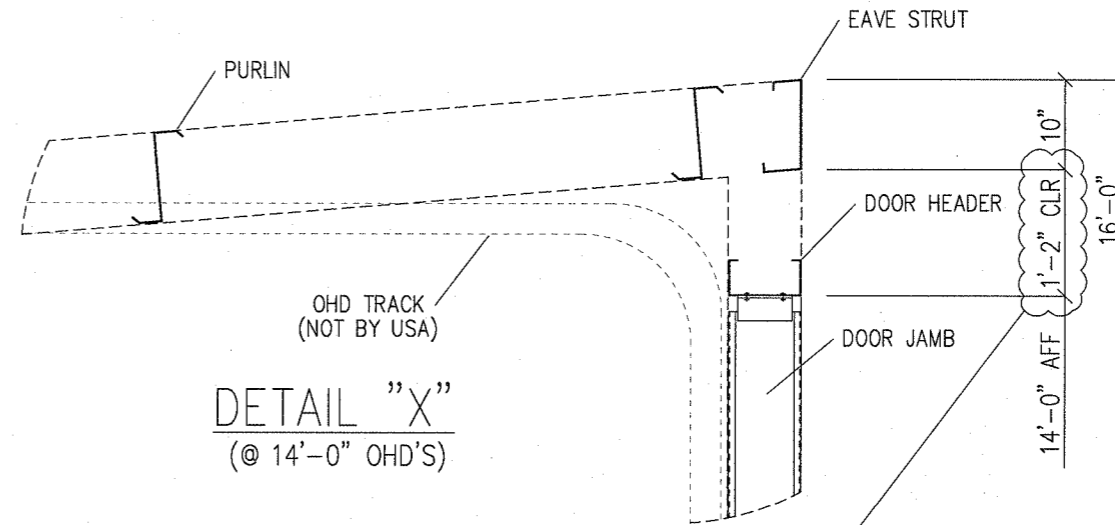
CUSTOMER: LOUNSBURY BUILDERS
2824 RT 17K
BULLVILLE, NY 10915
845 361 5524

PROJECT: PETER SKYE
ORANGEBURG, NY 10965



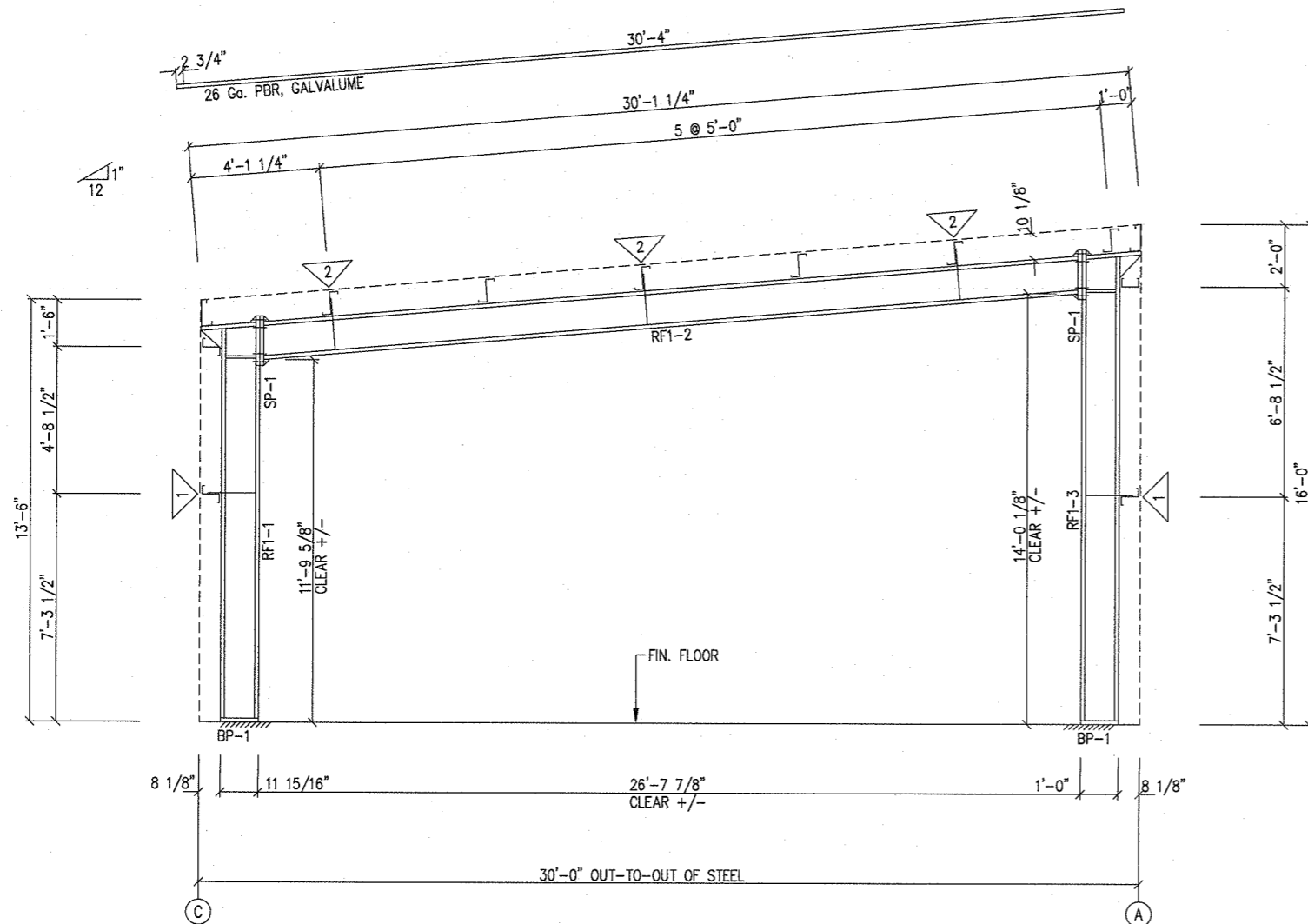
JOB #: 50734
DRAWN BY: JLM
DATE: 5/9/18
CHKD BY:
DATE:
SCALE: N.T.S.

CROSS SECTION
DWG # MB.7.10



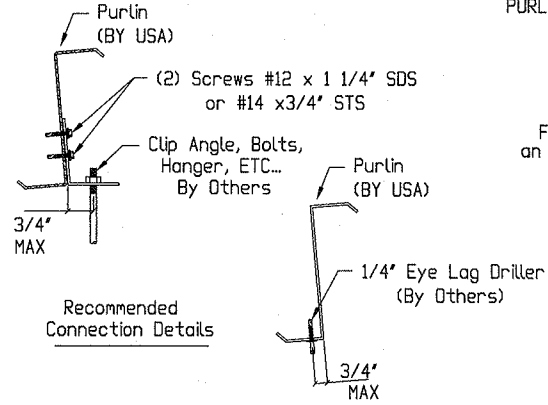
DETAIL "X"
(@ 14'-0" OHD'S)

CUSTOMER NOTE!

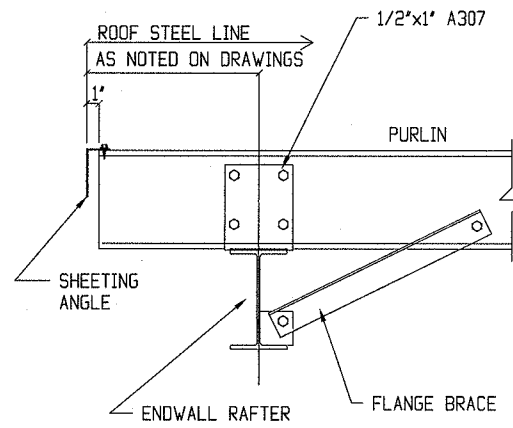
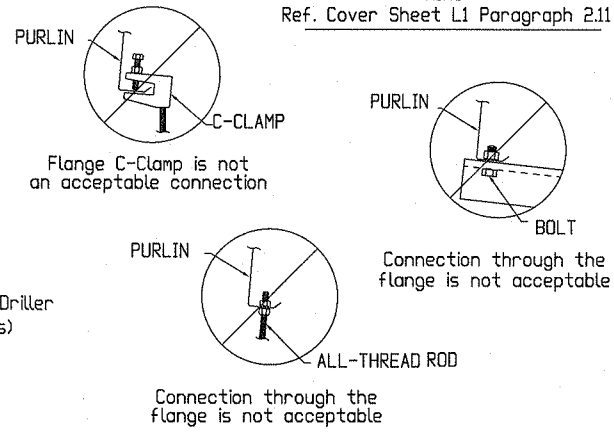


BUILDING CROSS SECTION: FRAME LINES 2 3 4

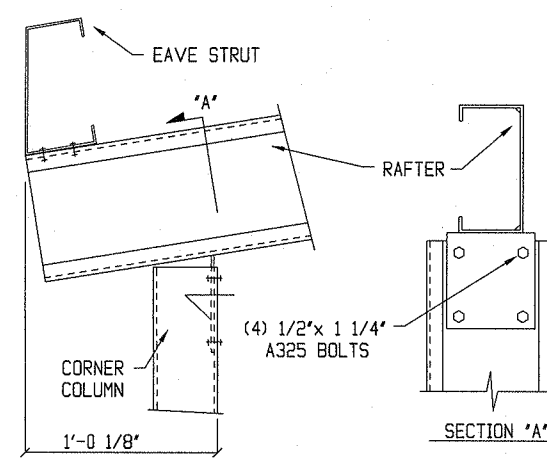
USA Only Provides the Roof Purlin.
All Other Material and Hardware is By Others



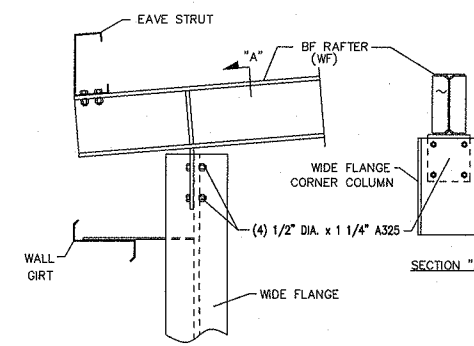
Field Modifications
- WARNING -
Ref. Cover Sheet L1 Paragraph 2.11



A7 SECTION THROUGH ENDWALL RAFTER
HOT ROLLED RAFTER

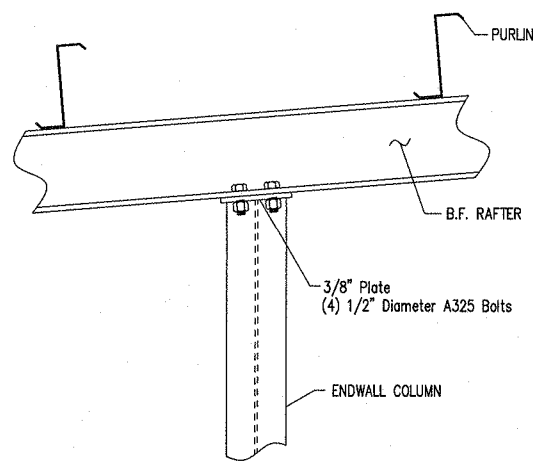


B4 COLD FORM RAFTER TO COLD FORM CORNER

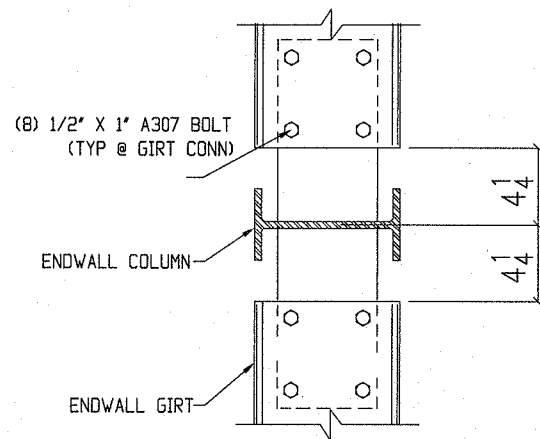


B6 ENDWALL RAFTER TO CORNER COLUMN

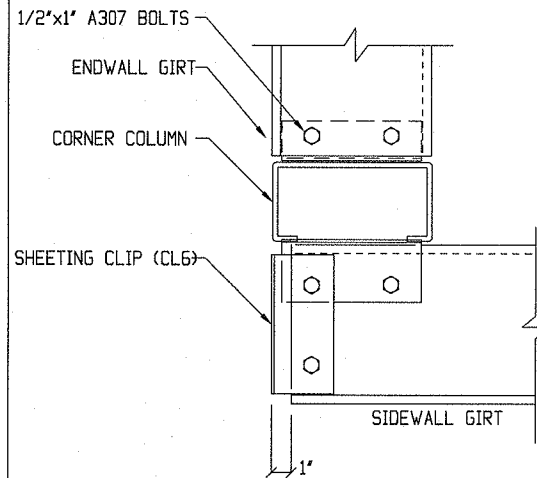
Drilling holes in flanges of purlins is structurally detrimental to the member. Any collateral loads which are included in the purlin design to be attached by connection to web or to flange as shown using 1/4\"/>



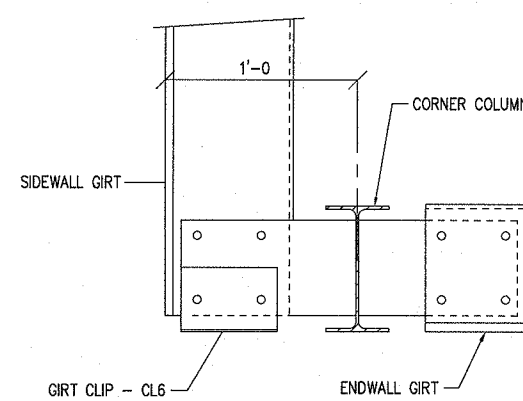
INTERIOR COLUMN TO ENDWALL RAFTER



C6 HOT ROLLED ENDWALL COLUMN

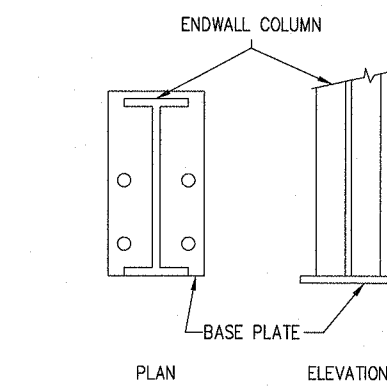


D4 CORNER COLUMN TO WALL GIRT

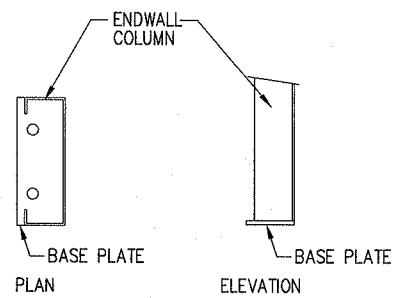


D6 'WF' CORNER COLUMN TO WALL GIRT

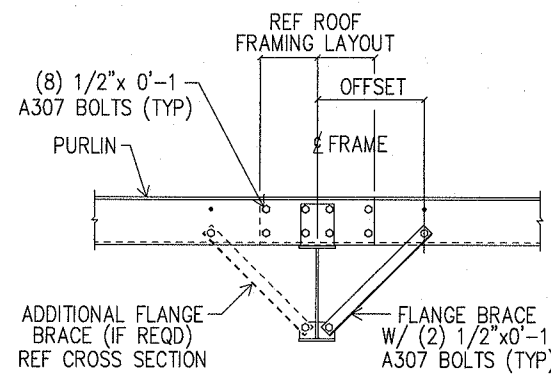
(ALL BOLTS ARE 1/2" DIA. x 1" A307'S)



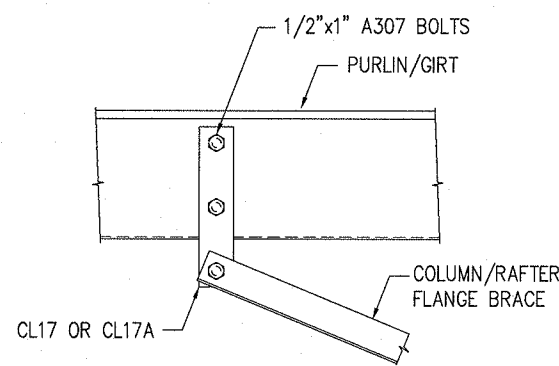
E3 BASE PLATE FOR ENDWALL COLUMN



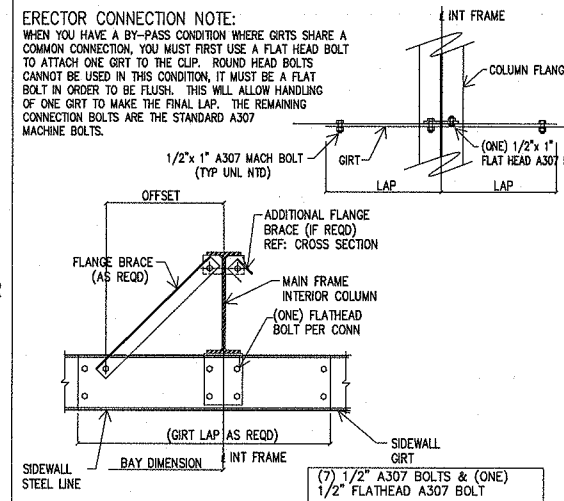
E5 BASE PLATE TO ENDWALL COLUMN OR DOOR JAMB



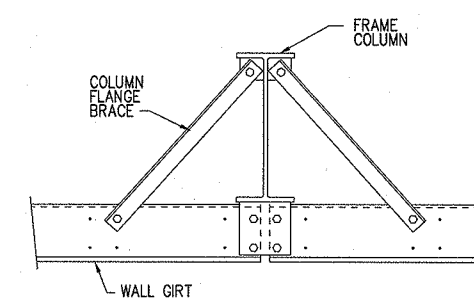
G2 ROOF PURLIN TO INTERIOR FRAME RAFTER



G25 FLANGE BRACE TO PURLIN/GIRT CLIP
(@ INTERIOR LINER PANEL)



H2 GIRT TO MAIN FRAME COLUMN



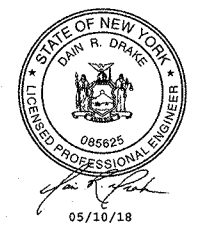
H4 WALL GIRT TO FRAME COLUMN
(ALL BOLTS SHOWN ARE 1/2" DIA. x 1" A307'S)



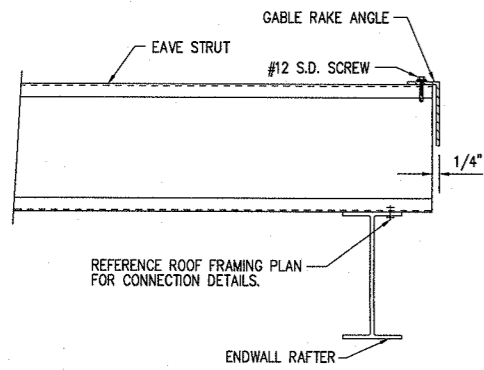
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1912 BUSCHONG
HOUSTON, TX 77039
281-442-8247
PORTLAND FACILITY
214 FOUNTAINHEAD ROAD
PORTLAND, TN 37148
615-325-7351

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PT	PERMIT	5/10/18 JM	

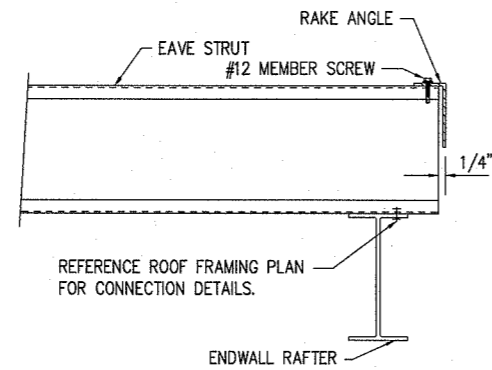
CUSTOMER: LOUNSBURY BUILDERS
2824 RT 17K
BULLVILLE, NY 10915
845 361 5524
PROJECT: PETER SKYE
ORANGETOWN, NY 10966



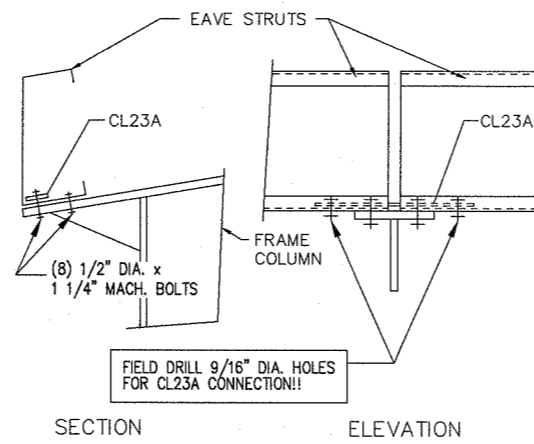
JOB #: 50734
DRAWN BY: JLM
DATE: 5/9/18
CHKD BY:
DATE:
SCALE: N.T.S.
DETAIL DRAWINGS
DWG # MB.9.10



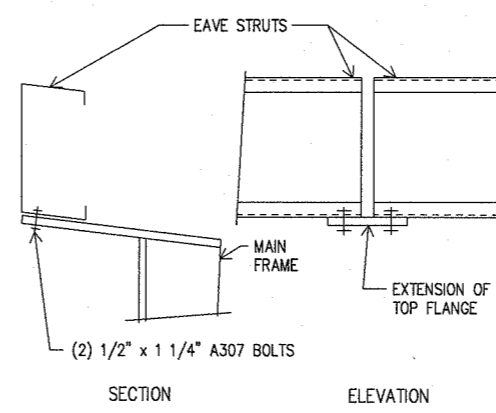
18 EAVE STRUT TO ENDWALL RAFTER



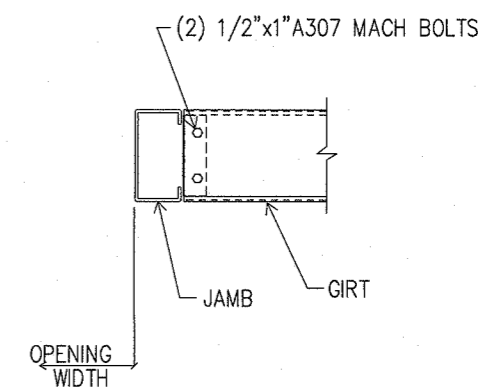
117 EAVE STRUT TO ENDWALL RAFTER



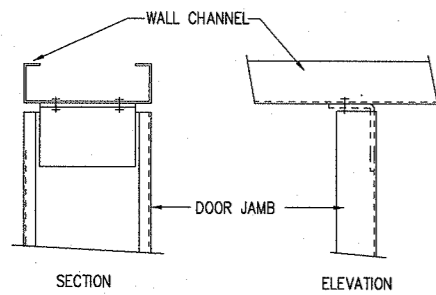
J4 EAVE STRUT TO BY-PASS RIGID FRAME (W/ CL23A)



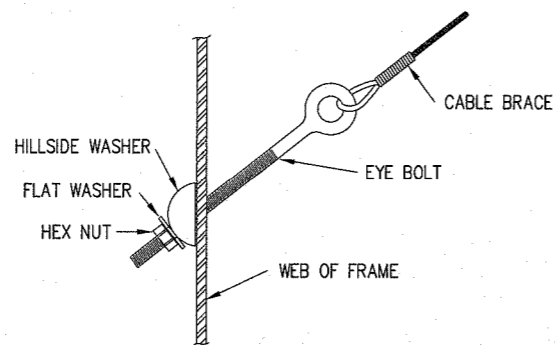
J8 EAVE STRUT TO BY-PASS RIGID FRAME



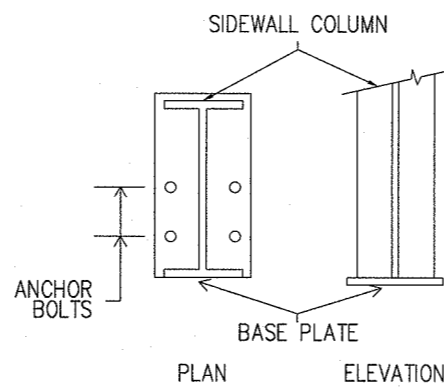
K3 WALL GIRTS TO DOOR JAMB



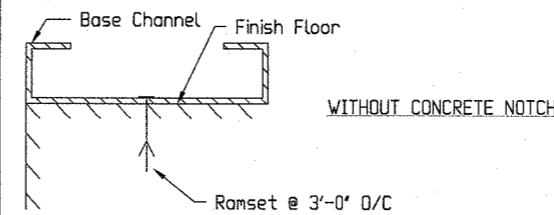
L8 DOOR JAMB TO WALL CHANNEL



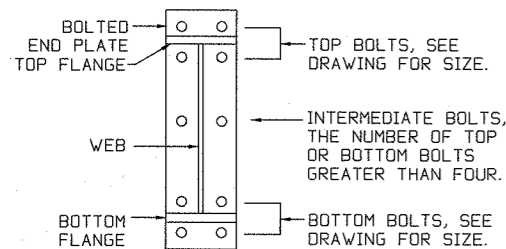
Q2 CABLE BRACE TO FRAME DETAIL



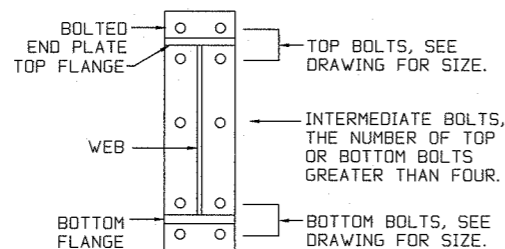
R2 ANCHOR BOLTS AT SIDEWALL COLUMN



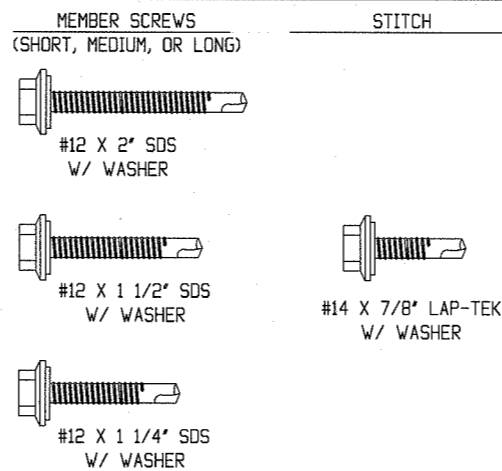
T4 BASE DETAIL BASE CHANNEL



U3 BOLTS FOR RAFTER TO COLUMN CONNECTION



U3 BOLTS FOR RAFTER TO COLUMN CONNECTION



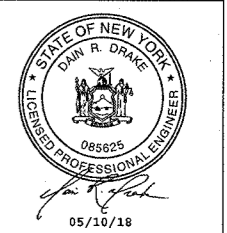
SCREW 4 FASTENERS SELF DRILLING



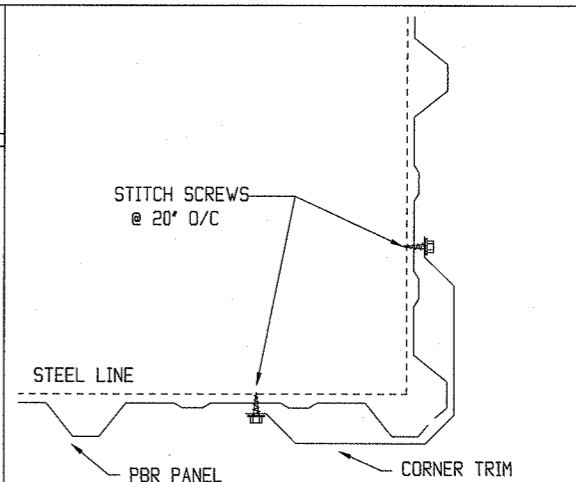
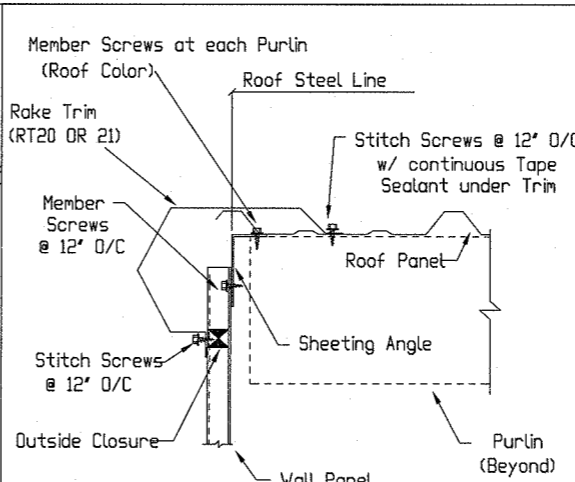
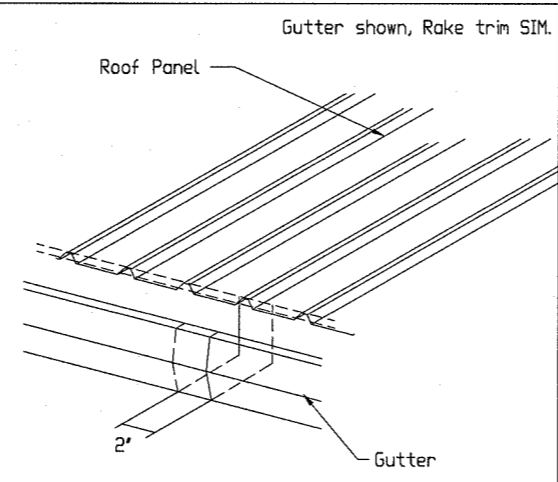
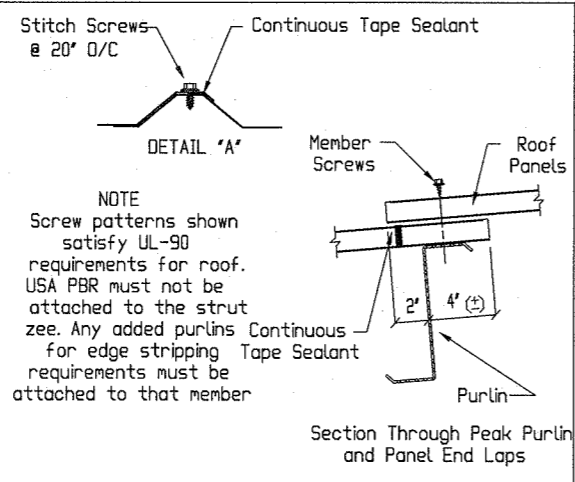
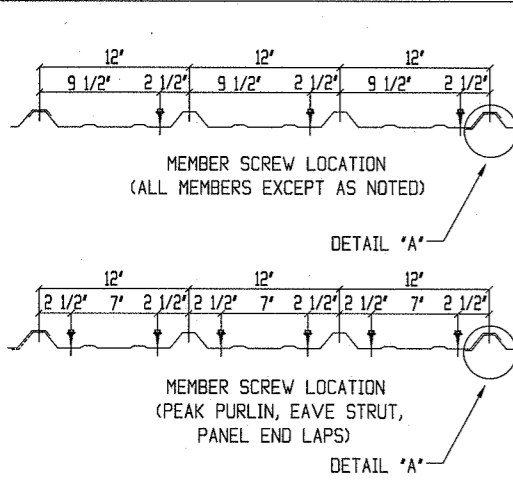
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1912 BUSCHONG
HOUSTON, TX 77039
281-442-8247
PORTLAND FACILITY
214 FOUNTAINHEAD ROAD
PORTLAND, TN 37148
615-325-7351

ISSUE	DESCRIPTION	DATE	BY
P1	PERMIT	5/10/18	JM

CUSTOMER: LOUNSBURY BUILDERS
2824 RT 17K
BULLVILLE, NY 10915
845 361 5524
PROJECT: PETER SKYE
ORANGEBURG, NY 10965



JOB #: 50734
DRAWN BY: JLM
DATE: 5/9/18
CHKD BY:
DATE:
SCALE: N.T.S.
DETAIL DRAWINGS
DWG # MB.9.11



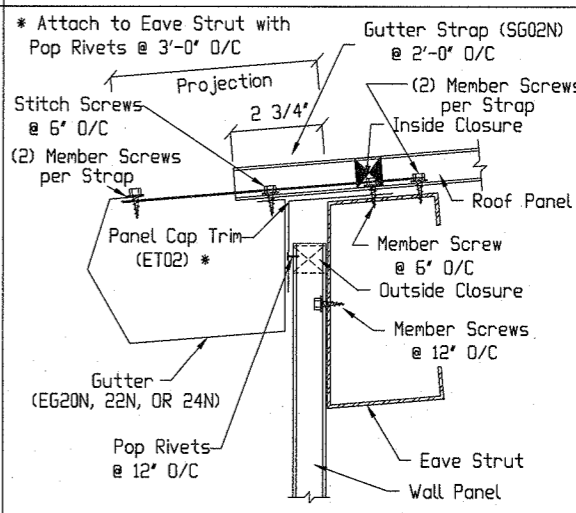
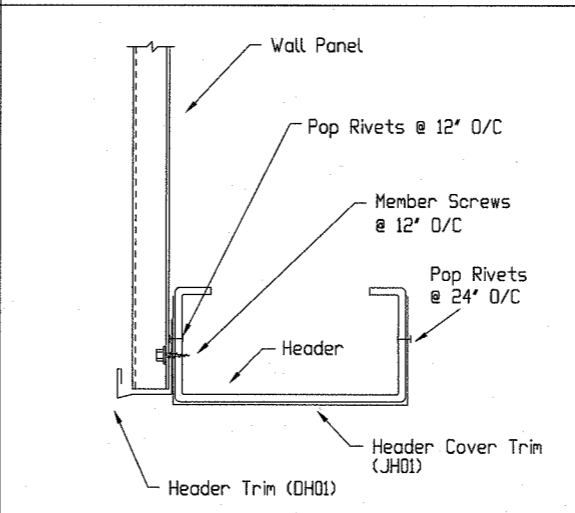
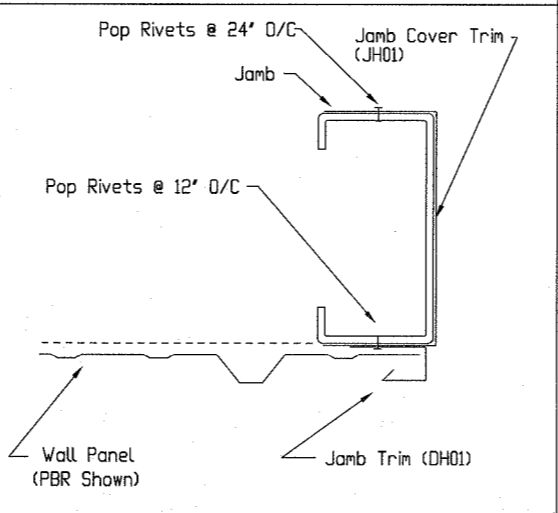
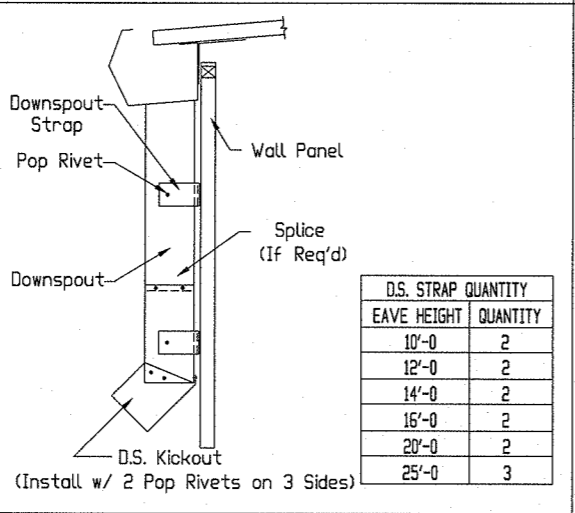
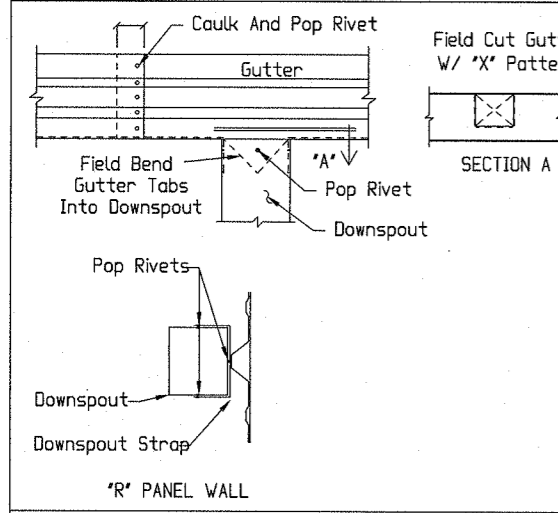
SCREW 1 FASTENER LOCATION PBR ROOF

SCREW 2 FASTENER LOCATION PBR ROOF

TRIM 4 TRIM LAPS

TRIM 12 RAKE TRIM DETAIL SHEETED WALL

TRIM 26 OUTSIDE CORNER DETAIL PBR WALL PANEL



TRIM 29 DOWNSPOUT TO GUTTER DOWNSPOUT STRAP ATTACHMENT

TRIM 30 DOWNSPOUT DETAIL SHEETED WALL

TRIM 36 JAMB TRIM DETAIL WITH COVER TRIM

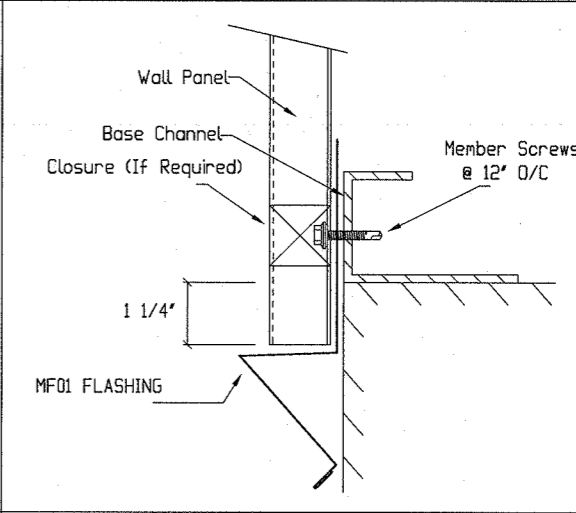
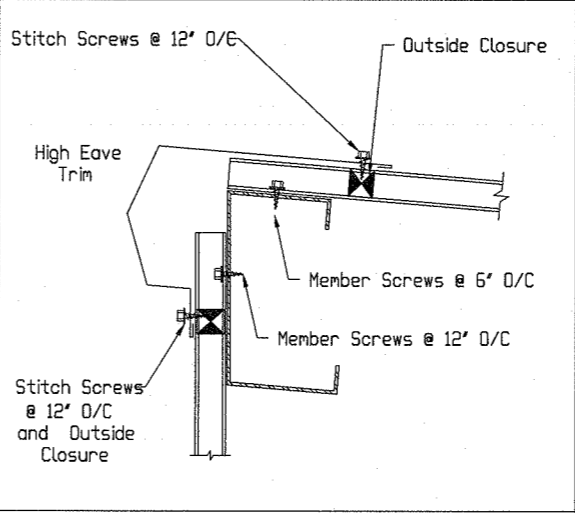
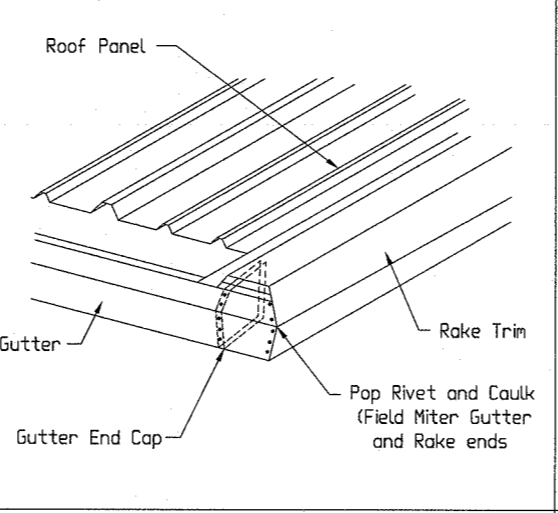
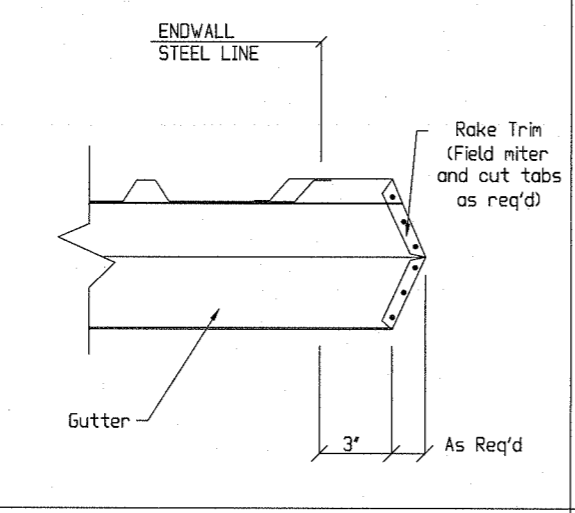
TRIM 37 HEADER TRIM DETAIL WITH COVER TRIM

TRIM 48 LOW EAVE DETAIL NORTHERN GUTTER TRIM WITH SHEETED WALL

Northern Gutter Strap Projection

SLOPE	SMALL GUTTER	LARGE GUTTER
1:12	8 3/4'	8 3/4'
2:12	9 1/8'	9 3/8'
3:12	9 1/2'	9 3/4'
4:12	9 3/4'	10 1/4'

Small Gutter = EG20N, EG22N, EG24N
Large Gutter = EG21N, EG23N, EG25N



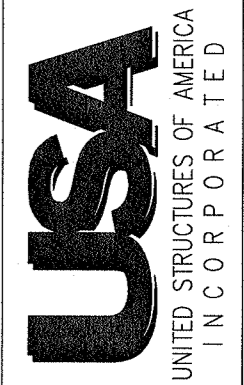
TRIM 49 NORTHERN GUTTER STRAP PROJECTION

TRIM 50 EAVE TO RAKE TRANSITION NORTHERN GUTTER SYSTEM

TRIM 52 EAVE TO RAKE TRANSITION TYPICAL NORTHERN GUTTER

TRIM 82 HIGH EAVE DETAIL

TRIM 307 BASE DETAIL SHEETED WALL WITH BASE ANGLE



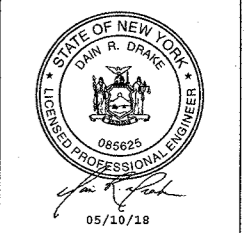
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HOUSTON, TX 77039
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PORTLAND FACILITY
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PORTLAND, TN 37148
615-325-7351

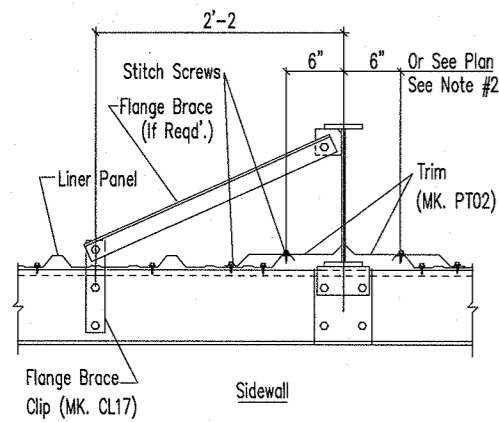
BY	DATE	DESCRIPTION	ISSUE
JM	5/10/18	PERMIT	P1

CUSTOMER: LOUNSBURY BUILDERS
2824 RT 17K
BULLVILLE, NY 10915
845 361 5524

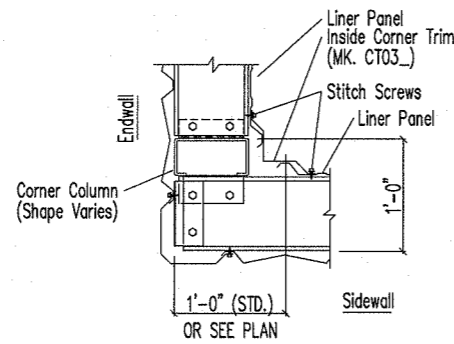
PROJECT: PETER SKYE
ORANGEBURG, NY 10965



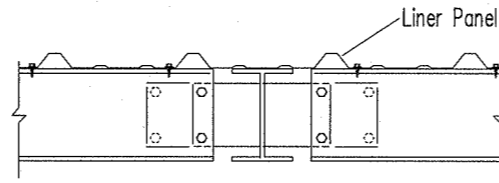
JOB #: 50734
DRAWN BY: JLM
DATE: 5/9/18
CHKD BY:
DATE:
SCALE: N.T.S.
DETAIL DRAWINGS
DWG # MB.9.12



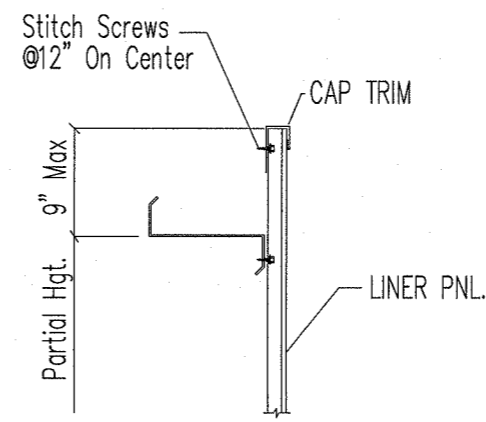
LINER DETAIL
"BC" OR "RF" INTERIOR MAIN FRAME



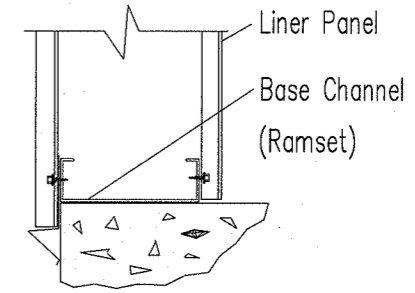
LINER DETAIL
BEARING FRAME CORNER



LINER DETAIL
INTERIOR ENDWALL COLUMN
8" STRAIGHT COLUMN

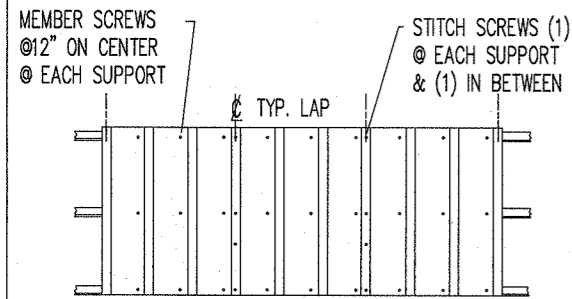


LINER DETAIL
SECTION THRU LINER CAP

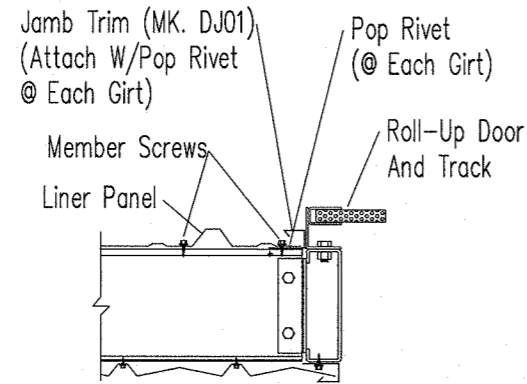


LINER DETAIL
SECTION THRU BASE

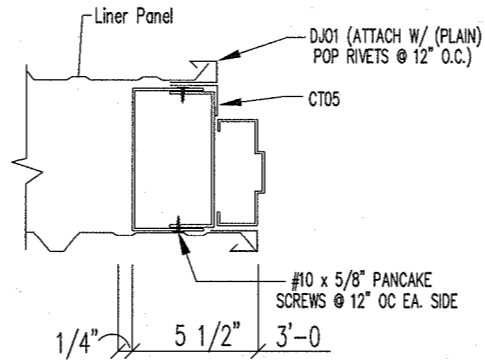
FIELD NOTE!!
ALL VERTICAL TRIM STITCH SCREWS
ARE TO MATCH SCREW LINES IN PANELS.



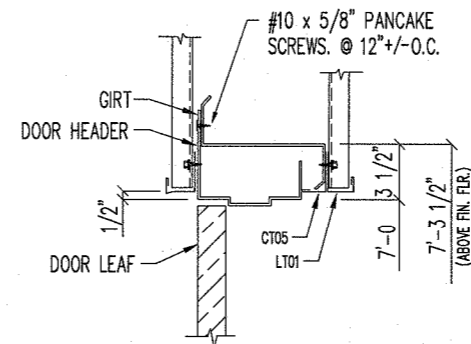
SCREW LAYOUT FOR LINER PANELS



LINER DETAIL
O.H. DOOR JAMB



LINER DETAIL
WALK DOOR JAMB
(FIELD LOCATE)



LINER DETAIL
WALK DOOR HEAD
(FIELD LOCATE)



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CUSTOMER: LOUNSBURY BUILDERS
2824 RT 17K
BULLVILLE, NY 10915
845.361.5524
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ORANGEBURG, NY 10965



JOB #: 50734
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SCALE: N.T.S.
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