

Zoning Board of Appeals

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962
(845) 359-8410, ex 4331, www.orangetown.com

2020 APPLICATION CHECKLIST:

THE FOLLOWING ITEMS ARE REQUIRED IN ORDER TO ACCEPT AN APPLICATION:

Date: 11/17/20 Section: 65.18 Block: 1 Lot: 4

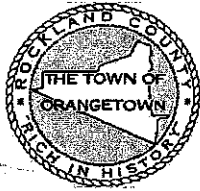
Project Name: UPS at Hudson Crossing

Project Address 700 Bradley Hill Road, Blauvelt, NY 10913

1. A signed and dated completed Part I and Part II of the Board Application.
2. A copy of the Building Permit Denial Application, signed by the Director of the Department. (*Zoning Board applications that are referred from the Planning Board or consultations do not require a Building Permit Denial.*)
3. Copy of Deed to present owner of property.
4. Agents must have written authorization from the owner to appear in front of the Board. Contract Purchaser may file a copy of the contract.
5. Complete Environmental Assessment form **if needed**.
6. List of Names/Addresses of all property owners within 200 feet of perimeter of site, obtained from the Land Use Board Office. *Application must include a map of tax lots noting 200 foot radius line as applicable, measuring from all points on property line, not from center of site, (excluding public roadways, right of ways, public utility or public entity). Names and addresses must be placed on stamped #10 envelopes, without return address. Do not use a postage meter.*
7. Two Copies of the **survey plan**, scale, (1 inch = 30 feet minimum) showing all zoning bulk, bulk chart and lot dimensions, size and use of all existing and proposed structures, north arrow and vicinity map. **Plans must be signed and sealed by a New York State Professional Engineer and/or Land Surveyor.**

Drawing Name Site Improvements, 700 & 800 Bradley Hill Road Date: October 30, 2020

Prepared by: Franz W. Laki, P.E., SESI Consulting Engineers



OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

Jane Slavin, RA
Director

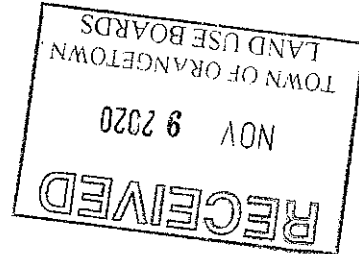
(845) 359-8410

Fax: (845) 359-8526

Date: November 9, 2020

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.



Subject: **700 Bradley Hill Road Site Improvement Plan**
Prepreliminary/ Preliminary/ Final Site Plan and
SEQRA Review
700 Bradley Hill Road, Blauvelt,
65.18/1/4; LI zoning district

PB#20-44

Submission Reviewed:

Memorandum as prepared by Onyx Management, dated August 31, 2020, Letter dated October 30, 2020 and Site Improvements drawing package as prepared by Sesi, Engineering, revised 10-30-2020.

- 1) The applicant is proposing new parking areas in the front yard and side yard. Per Chapter 43, Table 3.11, column 7, number 8; *"No parking is permitted in any required yard, unless permitted by any board or town agency having jurisdiction. This permission may be granted at the time of site review..."*
- 2) Part 1, number 3 (b) of the EAF, the applicant indicated that there is zero disturbed acres. This must be revised to indicate the actual amount of disturbance even when under an acre.
- 3) Does the peak demand of 210 employees include the existing tenant? Applicant must provide separate breakdown of employees for each tenant occupancy for each building.
- 4) Performance Standards review and approval is required from the ZBA.
- 5) Per Chapter 2, Article 2-4A; ACABOR review and approval is required for the proposed site changes and the proposed building facade changes.

8. Two copies of **architectural plans** showing dimensions and height of existing and proposed construction. **Plans must be signed and sealed by a New York State Licensed Architect or Professional Engineer.**

Drawing Name Exterior Improvements for Existing Warehouse Building Date: July 29, 2020

Prepared by: James E. DeBarbieri, DeBarbieri Architects LLC

9. **Three Checks** made payable to "Town of Orangetown":

1) **Variance, Special Permit, or Performance Standards Fee:**

Variance: Residential District \$250.00 Other \$400.00

Special Permit: Residential District \$250.00 Other \$400.00

Performance Standards: \$400.00

2) **Geographic Information System Database Fee:** \$65.00

3) ¹ **Legal Notice Advertisement Fee:** \$150.00

(For each time an advertisement or re-advertisement has to be published):
Effective February 4th, 2015 as per **Town Board Resolution No. 45, January 28, 2015**

10. Submit completed application and fees to the Board Clerk to be processed.

SUBMITTED BY: _____ **DATE RECEIVED BY BOARD CLERK:** _____

By signing below, the applicant/agent agrees that they have completed and supplied all items listed above.

Print Name: Nicole Vasquez Signature: 

Email Address: nvasquez@onyxequities.com

ONCE DEEMED COMPLETE BY BUILDING INSPECTOR
APPLICANT SHALL SUBMIT THE FOLLOWING:

1. **15 copies** of all Plans signed and sealed by the appropriate New York State Professional. (Same plans submitted and reviewed by the Building Inspector). List type of plans submitted.

2. **All drawings** shall be submitted in **PDF format** via email to DArbolino@orangetown.com

Once all items are received, project will then be assigned to the appropriate hearing date by the Board Clerk and the applicant will be notified.

Once scheduled for a meeting date, all applicants are required to erect signs containing information regarding the public hearing on every lot corner and once every 100 feet facing each public street on which the property abuts, see Chapters 21 and 21A of the Town of Orangetown Town Code. Such signs shall be obtained from the Zoning Board of Appeals Office. The Board Clerk will notify the applicant when signs are ready to be picked up from the ZBA office.

Zoning Board of Appeals

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962
(845) 359-8410, ex 4331, www.orangetown.com

2020 Information Sheet

NOTE THE FOLLOWING:

- PLEASE BE AWARE THAT THE APPLICATION PROCESS TAKES APPROXIMATELY 40 DAYS FROM THE TIME OF SUBMISSION TO YOUR BOARD MEETING.
- APPLY EARLY IN THE YEAR IF YOU WANT TO HAVE YOUR POOL OR DECK FOR THE SPRING AND SUMMER MONTHS.

Important Information

A building permit denial must be included with your application.
Please ask about the process to obtain abutting property owners.

2020 – ZONING BOARD OF APPEALS MEETING DATES

1ST & 3RD Wednesday of every month (unless otherwise noted), in the Greenbush Auditorium,
20 Greenbush Road, Orangeburg, New York. **All meetings start at 7:00 p.m.**

January 8 (2nd Wednesday)

January 22

February 5

February 19

March 4

March 18

April 1

April 15

May 6

May 20

June 3

June 17

July 1

July 15

No meetings in August

September 2

September 16

October 7

October 21

November 4

November 18

December 2

(Only 1 meeting in December)



OFFICE OF THE COUNTY EXECUTIVE

11 New Hempstead Road
New City, New York 10956
Phone: (845) 638-5122 Fax: (845) 638-5856
Email: CountyExec@co.rockland.ny.us

June 20, 2018

Edwin J. Day
Rockland County Executive

Honorable Chris Day
Town of Orangetown
26 Orangeburg Road
Orangeburg, New York 10962

Dear Supervisor Day:

The Rockland County Department of Health contends that coordination with local municipalities is an essential component to assuring the preservation of the environment and the public health of the residents. The Health Department respectfully submits that municipal expertise often plays a critical role in fully addressing building, land, water, sewage and nuisance concerns throughout the county.

The Health Department recognizes that county regulations may vary or even conflict with municipal codes and that jurisdictional issues exist, which evidence the need for a coordinated approach. Well intentioned applicants looking to comply with all rules and regulations need to know a simple inquiry to the Department of Health will ensure a complete understanding of those rules and procedures and quite possibly prevent unnecessary, and expensive, corrective action later.

The Department's Center for Environmental Health and the Rockland Codes Initiative (RCI) welcomes the inquiries of municipalities and applicants to lend assistance in the pursuit of compliance with all local, county, state and federal laws.

Please feel free to contact the Health Department to discuss any questions, concerns or possible referrals.

Environmental Health:
RCI – Housing:

Sam Rulli 845.364.3364
Kevin Mackey 845.364.2581

CONTACT PERSON INFORMATION SHEET:

Nicole Vasquez

NAME: _____

MAILING ADDRESS:

900 Route 9 North	Suite 400	
_____	_____	_____
Street number	(PO Box)	Street Name
Woodbridge	NJ	07095
_____	_____	_____
City	State	Zip Code

TELEPHONE #: 732-850-5689 _____

CELL PHONE #: _____

FAX #: _____

E-MAIL ADDRESS: nvasquez@onyxequities.com _____

Relation to project: Representative of Owner _____

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2020 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial <input type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (<i>specify</i>): _____	<input type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
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PERMIT#: _____
ASSIGNED
INSPECTOR: _____

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: UPS at Hudson Crossing

Street Address: 700 Bradley Hill Road, Blauvelt, NY 10913

Tax Map Designation:
Section: 65.18 Block: 1 Lot(s): 4
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the right side of Bradley Hill Road, approximately
0 feet north of the intersection of Corporate Drive, in the
Town of ORANGETOWN in the hamlet/village of Blauvelt.

Acreage of Parcel <u>5.55</u> School District _____ Ambulance District _____ Water District _____	Zoning District <u>LI</u> Postal District _____ Fire District _____ Sewer District _____
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Project Description: *(If additional space required, please attach a narrative summary.)*
The Applicant proposes to lease 700 Bradley Hill Road for warehouse/distribution use as a last-mile delivery facility.
UPS will also use a portion of the lot at 800 Bradley Hill Road for accessory parking.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 11/13/20 Applicant's Signature: _____

APPLICATION REVIEW FORM

Applicant: Onyx Management Group, LLC Phone # 732-850-5689

Address: 900 Route 9 North, Suite 400 Woodbridge NJ 07095
Street Name & Number (Post Office) City State Zip Code

Property Owner: AG-OE 700 Bradley Hill Road Owner, LLC Phone # 732-580-5689

Address: 245 Park Avenue, 24th floor New York NY 10167
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Franz W. Laki Phone # 973-808-9050 ext. 237

Address: 12A Maple Avenue Pine Brook NJ 07058
Street Name & Number (Post Office) City State Zip Code

Attorney: Seth M. Mandelbaum Phone # 914-949-6400

Address: 1311 Mamaroneck Ave, Suite 340 White Plains NY 10605
Street Name & Number (Post Office) City State Zip Code

Contact Person: Nicole Vasquez Phone # 732-850-5689

Address: 900 Route 9 North, Suite 400 Woodbridge NJ 07095
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|--|---|
| <input checked="" type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:
State Route 303

Referral Agencies:

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input type="checkbox"/> Other _____ | |

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 92,945 _____
- 2) Total square footage 92,945 _____
- 3) Number of dwelling units 0 _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? Yes _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

Planning Board, November 12, 2020

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

65.18-1-3, 65.18-1-5, 65.18-1-21

APPLICATION REVIEW FORM

Applicant's Signature and Certification

State of New York)
County of Rockland) SS.:
Town/Village of _____)

I, _____ hereby depose and say that all the
above statements contained in the papers submitted herewith are true.

Signature: _____

Mailing Address: 900 Route 9 North, Suite 400
Woodbridge, NJ 07095

SWORN to before this

13 day of November, 2020

[Signature]
Notary Public

JENNIFER LAMSICK
NOTARY PUBLIC OF NEW JERSEY
Comm. # 2433739
Commission Expires 5/8/2023

Owner/Applicant's Consent Form to Visit Property

I, _____, owner/applicant of the property described
in the application submitted to the town/village board, planning board, zoning board of appeals and/or
supporting staff, do hereby give permission to members of said boards and/or supporting staff to visit
the property in question at a reasonable time during the day.

Owner/Applicant Signature

SWORN to before this

13 day of November, 2020

[Signature]
Notary Public

JENNIFER LAMSICK
NOTARY PUBLIC OF NEW JERSEY
Comm. # 2433739
Commission Expires 5/8/2023

APPLICATION REVIEW FORM

Affidavit of Ownership/Owner's Consent

State of New Jersey)
County of Hudson) SS.:
Town/Village of _____)

I, Nicole Vasquez (Authorized Representative) being duly sworn, hereby depose and say that I reside in the county of Middlesex in the state of New Jersey.

I am the (* _____) owner in the fee simple of premises located at: 700 Bradley Hill Road

_____ described in a certain deed of said premises recorded in the Rockland County Clerk's Office in Liber _____ of conveyances, page _____.

Said premises have been in my/its possession since 5/19. Said premises are also known and designated on the Town of Orangetown. Tax Map as: section: 65.18 block: 1 lot(s): 4.

I hereby authorize the within application on my behalf and that the statement of fact contained in said application are true, and agree to be bound by the determination of the board.

Owner Signature: [Signature]

Mailing Address: 900 Route 9 North, Suite 400
Woodbridge, NJ 07095

SWORN to before this

13 day of November, 2020
[Signature]
Notary Public

JENNIFER LAMSICK
NOTARY PUBLIC OF NEW JERSEY
Comm. # 2433739
My Commission Expires 5/8/2023

*If owner is a corporation, fill in the office held by deponent and name of corporation, and provide a list of all directors, officers and stockholders owning more that 5% of any class of stock.

APPLICATION REVIEW FORM

Affidavit Pursuant to Section 809 of the General Municipal Law

State of ~~New York~~ ^{New Jersey})
County of ~~Rockland~~ ^{Hudson}) SS.:
Town/Village of _____)

I, Nicole Vasquez (Authorized Representative) being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

Certifies that he/she is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application and if not the owner that he/she has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief set forth:

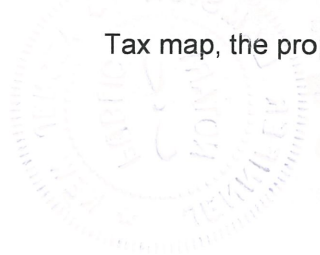
2. To the ZBA of the Town/Village of Orangetown, Rockland County, New York:

- Application, petition or request is hereby submitted for:
() Variance or modification from the requirement of Section _____;
() Special permit per the requirements of Section _____;
() Review and approval of proposed subdivision plat;
() Exemption from a plat or official map;
() An order to issue a certificate, permit or license;
() An amendment to the Zoning Ordinance of Official Map or change thereof;
(✓) Other (explain) Performance Standards Review and Approval;

To permit construction, maintenance and use of 700 Bradley Hill Road as a last-mile parcel distribution facility, with accessory parking at a portion of 800 Bradley Hill Road.

3. Premises affected are in a LI zone and from the Town of Orangetown

Tax map, the property is known as Section 65.18, Block, 1, Lot(s) 4.



APPLICATION REVIEW FORM

4. There is no state officer, Rockland County officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. To the extent that the same is known to your applicant, and to the owner of the subject premises there is disclosed herewith the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of ORANGETOWN in the petition, request or application or in the property or subject matter to which it relates:

(IF NONE, SO STATE)

- a. Name and address of officer or employee None
b. Nature of interest N/A
c. If stockholder, number of shares N/A
d. If officer or partner, nature of office and name of partnership N/A
e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. N/A
f. In the event of corporate or limited liability company ownership: A list of all directors, officers and stockholders of each corporation or members of each limited liability company owning more than five (5%) percent of any class of stock or more than five (5%) percent beneficial interest, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town of Orangetown.

6. I do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Signature: [Handwritten Signature]

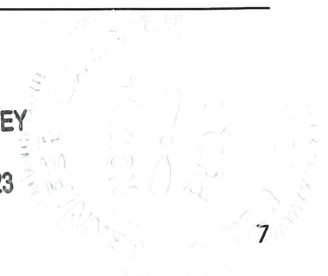
Mailing Address: 900 Route 9 North, Suite 400
Woodbridge, NJ 07095

SWORN to before this

13 day of November, 2020

[Handwritten Signature]
Notary Public

JENNIFER LAMSICK
NOTARY PUBLIC OF NEW JERSEY
Comm. # 2433739
My Commission Expires 5/8/2023




APPLICATION REVIEW FORM

Reimbursement for Professional Consulting Services

The Town/Village Board, Planning Board and Zoning Board of Appeals in the review of any application described above, may refer any such application presented to it to such engineering, planning, environmental or other technical consultant as such Board shall deem reasonably necessary to enable it to review such application as required by law. The charges made by such consultants shall be in accord with such charges usually made for such services in the metropolitan New York region or pursuant to an existing contractual agreement between the town/village for the cost of such consultant services upon receipt of the bill. Such reimbursement shall be made prior to final action on the application.

Permits will not be issued and site plan or subdivision will not be signed until bill is paid in full.

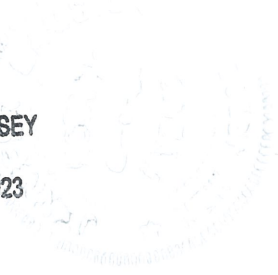
Applicant's Signature: 

SWORN to before this

13 day of November, 2020


Notary Public

JENNIFER LAMSICK
NOTARY PUBLIC OF NEW JERSEY
Comm. # 2433739
My Commission Expires 5/8/2023



APPLICATION REVIEW FORM

PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section _____
- Special permit per the requirements of Section _____
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*)

Performance Standards Review

To permit construction, maintenance or use of

700 and Bradley Hill Road as a last-mile parcel distribution facility by UPS, with accessory parking on a portion of
800 Bradley Hill Road.

If an area variance is required, please fill out below:

This application seeks a variance from the provisions of Article _____, Section(s)
_____. Specifically, the applicant seeks a _____

(*side yard, lot area, height, etc.*) of _____ (*feet, height, floor area ratio, etc.*)

McCULLOUGH, GOLDBERGER & STAUDT, LLP

ATTORNEYS AT LAW

1311 MAMARONECK AVENUE, SUITE 340

WHITE PLAINS, NEW YORK

10605

(914) 949-6400

FAX (914) 949-2510

WWW.MCCULLOUGHGOLDBERGER.COM

FRANK S. MCCULLOUGH (1905-1998)
EVANS V. BREWSTER (1920-2005)

FRANK S. MCCULLOUGH, JR.
JAMES STAUDT
LINDA B. WHITEHEAD
SETH M. MANDELBAUM

AMANDA L. BROSY
EDMUND C. GRAINGER, III
PATRICIA W. GURAHIAN
MEREDITH A. LEFF
MORGAN H. STANLEY
KEVIN E. STAUDT
STEVEN M. WRABEL

CHARLES A. GOLDBERGER
COUNSEL

November 17, 2020

Honorable Chairman Dan Sullivan
and Members of the Zoning Board of Appeals
Town of Orangetown
26 W. Orangeburg Rd.,
Orangeburg, NY 10962

Re: Application for Performance Standards Review
UPS Last-mile Facility
700 & 800 Bradley Hill Road

Dear Hon. Chairman Sullivan and Members of the Zoning Board of Appeals:

This firm represents Onyx Management Group, LLC¹ (the "Applicant"), the manager of the properties identified as Section 65.18, Block 1, Lot 4 ("700 BHR", owned by AG-OE 700 Bradley Hill Road Owner, L.L.C.) and Section 65.18, Block 1, Lot 3 ("800 BHR", owned by AG-OE 800 Bradley Hill Road Owner, L.L.C.) on the Town of Orangetown Tax Map and commonly known as 700 and 800 Bradley Hill Road (collectively, the "Property"). The Property is located within the LI Zoning District, with each lot improved by an existing warehouse/commercial building and accessory parking. *See* enclosed Site Plans.

The Applicant proposes to lease a portion of the Property to United Parcel Service ("UPS") for adaptive reuse of 92,945 sf of the existing building at 700 BHR as a last-mile distribution facility, a use permitted at the site by Performance Standards Review Approval. To provide sufficient parking for the proposed use at 700 BHR, a portion of the parking area at 800 BHR will also be leased to UPS for parking as a parking and access easement, subject to a restrictive covenant to be recorded with the Rockland County Clerk.² No change in use is proposed at the Property, as the space to be occupied by UPS is currently occupied in by Oak Beverages, a beer distributor operating a warehouse and distribution facility. The remaining portion of the 700 BHR

¹ Onyx Management Group, LLC has been authorized by the owners of the property, to manage the properties, including leasing the properties and applying for any necessary permits and land use approvals. Therefore, Onyx Management Group, LLC is the Applicant for this application

² Deputy Town Attorney Richard Pakola has reviewed and approved the proposed easement and restrictive covenant language to be filed.

will remain occupied by DeMan Motorsports. 800 BHR, which is also presently occupied by Oak Beverages, will be vacant at the time UPS takes possession of the Property.

To prepare the Property for use by UPS, minor site modifications are proposed for each lot. The parking area at 700 BHR will be reconfigured, repaved, and restriped to provide a total of 162 parking spaces for use by UPS, with 110 spaces at 700 BHR, and the remaining 52 spaces provided at 800 BHR pursuant to an access and parking easement benefitting 700 BHR. Proposed site changes also include removal of an above-ground fuel tank and electrical box at 800 BHR, reconfiguration of a rail spur crossing onto the Property, and removal of an access gate at the Property. The existing loading dock doors along the south side of 700 BHR will be enlarged with 9'x 9' loading dock doors. A concrete ramp and drive-in door, a pedestrian access door with stairs, and two loading dock doors along the north side of 700 BHR will be removed and infilled, and these sections of the exterior façade repainted to match the rest of the building. *See* enclosed Site Plans. These proposed modifications were reviewed by the Planning Board at the November 12, 2020 Planning Board meeting, at which time the Board issued a Negative Declaration pursuant to SEQRA, and granted preliminary Site Plan approval.

Given the current use of the Property, the last-mile facility is not anticipated to contribute any significant new impacts on the surrounding industrial properties. UPS proposes to operate the last-mile facility on a 24-hour, 7-day a week basis. The facility is intended to supplement distribution operations at the primary regional distribution center in Nanuet. Bulk parcel shipments will be delivered via semi-truck for sorting, with packages thereafter dispatched for final delivery via 60 UPS brown delivery trucks, which will be stored on site inside the 700 BHR building. Maser Consulting P.A. has performed a traffic impact study to assess the relative impacts of the facility, accounting for the traffic to be generated by the recently approved Amazon last-mile facility at 200 & 400 Oritani Drive. This study concluded that the proposed UPS facility will not result in significant impact on surrounding roadways.

Similarly, noise is not anticipated to be a significant impact of the proposed last-mile facility. Specifically, the Property is centrally located in the Hudson Crossing Industrial Park, with the nearest residential district approximately 433 feet from the closest lot line. Further, the loading docks to be used by UPS at 700 BHR are placed at the southeast corner of the property, offering greater distance from the nearest residential properties, with the building mass of 700 BHR offering additional screening. Operation of the last-mile facility will not generate any notable vibration on or around the Property.

Finally, the proposed facility will not generate any dangerous or objectionable emissions, such as fire hazards, air pollution, smoke, electrical disturbances, or radioactive emissions due to combustion or chemical waste. The Applicant and UPS do not propose to store chemicals or combustibles on site.

In support of this application for Performance Standards Review Approval, we are pleased to provide herewith copies of the following application materials, together with the checks for the required fees:

1. Signed, completed Part I and Part II of the Zoning Board of Appeals Application for 700 Bradley Hill Road;
2. Signed, completed Part I and Part II of the Zoning Board of Appeals Application for 800 Bradley Hill Road;
3. Building Permit Denial Applications for 700 & 800 BHR, signed by the Director of the Building Department, dated August 5, 2020;
4. Completed and signed Performance Standards Resume of Equipment for 700 BHR;
5. Completed and signed Performance Standards Resume of Equipment for 800 BHR;
6. Deeds to present owners of the Properties;
7. Organizational chart;
8. Four (4) copies of the Architectural Plans for the site, prepared by DeBarbieri Architects, dated July 29, 2020;
9. Four (4) copies of the Site Plans for the Property, prepared by SESI Consulting Engineers, dated October 30, 2020;
10. Four (4) copies of interior Plant Equipment Layout Plans for 700 BHR, prepared by United Parcel Service, dated April 22, 2020; and,
11. Four (4) copies of a Memorandum in Support of Application for Performance Standards Approval, together with a Traffic Impact Study prepared by Maser Consulting P.A., dated August 6, 2020, and an Air Quality Review letter prepared by Gallagher Bassett Services, Inc., dated November 16, 2020.

The requisite 15 additional sets of the Site Plan and Architectural Plan Packages will be submitted to the Zoning Board of Appeals upon review and referral of this application by Town Staff. We kindly request that this matter be placed on the next available Zoning Board agenda for review and consideration of granting Performance Standards Approval. If you have any questions, please do not hesitate to contact our office.

Very truly yours,



Seth M. Mandelbaum

MHS

Enc.

cc: Onyx Equities, LLC
United Parcel Service

Town of Orangetown Resume of Operations and Equipment

Application Instructions

This application is to define equipment and operations for a new or existing facility or process to determine applicability to Town of Orangetown Performance Standards. The information herein is required for the Town Zoning Board to make such determination regarding the Applicant's proposed use of the land.

Do not start work before obtaining necessary permits to avoid subjecting the Applicant and contractors engaged in The Project to enforcement action, which could include: 1) civil or criminal court action, or both; 2) fines; 3) an order to remove structures or materials or perform other remedial action; or 4) both a fine and an order.

If the facility has existing and applicable local, county, state or federal permits, licenses or certifications, copies of such are to be listed below and included in this application.

PROJECT NAME: UPS Last-Mile Distribution Facility at Hudson Crossing

Type of Permit <small>e.g., air, water, waste, etc.</small>	Agency <small>local, county, state, federal</small>	Submitted Paper Copy? Y or N	URL or Website Information
None			

The Applicant must provide information and background showing the derivation of anticipated air emissions, water discharges and waste disposal, appropriate to the Projects' applicability to Town Performance Standards.

This PDF document is based on Microsoft's Excel format converted to PDF. Data can be entered directly into the areas designated, or the application may be printed and filled in by hand. To fill in electronically, open this document in Adobe Acrobat, click on "Typewriter" under "Tools", and begin typing. Font size is restricted. Additional pages can be included in the application.

Town of Orangetown
Resume of Operations and Equipment

This Application is required for the Town to make a determination regarding the applicant's proposed use of the land and buildings. Attach Additional Sheets as Needed.

Certification and Identification Information

Type of Action/Application: Place an "X" to the left of the appropriate categories.

<input checked="" type="checkbox"/>	New	<input type="checkbox"/>	Significant Modification	Other:
<input type="checkbox"/>	Renewal	<input type="checkbox"/>	Administrative Amendment	
<input type="checkbox"/>	Minor Action	<input type="checkbox"/>	Major Action	

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

I certify under penalty of law that I have personally examined and am familiar with the information submitted herein in this application, and information in support of it, and that based on my inquiry of those individuals responsible for obtaining the information, I believe that the submitted information is true, accurate and complete.

Responsible Official: Print: <i>Nicole Vasquez</i>	Title: <i>Authorized Representative</i>
Signature: <i>[Handwritten Signature]</i>	Date: <i>11/13/2020</i>
Phone: <i>732-850-5689</i>	Email: <i>NVasquez@onyxequities.com</i>

Facility / Owner Information

Facility Name: 700 Bradley Hill Road	
Facility Address: 700 Bradley Hill Road, Blauvelt, NY 10913	
Owner Name: AG-OE 700 Bradley Hill Road Owner L.L.C.	Business EIN:
Street: 900 Route 9 North, Suite 400	ZIP: 07095
City/Town: Woodbridge	State/Province: NJ

Ownership:	<input type="checkbox"/>	Corporation	<input type="checkbox"/>	Individual
Place "X" to left of box	<input type="checkbox"/>	Partnership	<input checked="" type="checkbox"/>	Other: Limited Liability Company

Owner/Firm/Facility Contact

Name: Nicole Vasquez	Phone: 973-808-5689
Street Address: 900 Route 9 North, Suite 400	Fax:
City/Town: Woodbridge	ZIP: 07095
State/Province: NJ	Country: US
Affiliation: Representative of Owner	Title: Asset Manager
Email: nvasquez@onyxequities.com	

Town of Orangetown
Resume of Operations and Equipment

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

BUILDING & PROPERTY

Property Footprint, total sq. ft./acres	5.55
Footprint, Largest structure, sq. ft.	117,122
Highest 'Story' on Site	1
Total No. Structures	1

Parking sq. ft.	
No. Parking Spots	162*
Full Time Employees	210
Part Time Employees	

* 110 Spaces on-site, plus 52 Spaces from easement over 800 BHR

STATE ENVIRONMENTAL QUALITY REVIEW

This application requires completing and submitting to the Town only, the New York State Department of Environmental Conservation's Short Environmental Assessment Form, Appendix B to 6NYCRR 617.20. Some of this information may be duplicated herein. This form can be accessed at:

http://www.dec.ny.gov/docs/permits_ej_operations_pdf/seafpartone.pdf

The applicant must provide floor plans showing location of equipment, work stations, vents, exhausts, chimneys or stacks, and associated industrial processes.

OPERATIONS

Primary Line(s) of Business: 1. Last-mile parcel sorting and distribution 2. 3.	NAICS: 1. 2. 3.	SIC: 1. 2. 3.
Week Days Operating ⁷		
No. Shifts per Day		
Hours per Day Operating ²⁴		

Principal Products of Manufacture/Assembly/Business

1. Last-mile parcel sorting and distribution
2.
3.
4.
5.

Town of Orangetown
Resume of Operations and Equipment

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

NOISE

Based on descriptive decibel levels of Table A (following page), decibel corrections shown below as appropriate, and in accordance with the Town's Noise Performance Standard 4.181, evaluate the noise level for the processes you list below.

When appropriate, "*frequency band cycles*" as described in the Town's Noise Performance Standard will be evaluated by the facility in the event of non-compliance with levels proposed for this project. The Town may request this evaluation during the application process if more complex noise patterns are expected.

Type of Operation of Character of Noise	Decibel Correction
Daytime operation only	Plus 5
Noise source operates less than 20% of any one hour period	Plus 5
Noise source operates less than 5% of any one-hour period	Plus 10
Noise source operates less than 1% of any one-hour period	Plus 15
Noise of impulsive character (hammering, etc.)	Minus 5
Noise of periodic character (hum, screech, etc.)	Minus 5

Use dB categories in Table A <small>following page</small>	Noise Level/Range Anticipated Outdoor:			
'Loudest' Producers of Noise <small>Include construction and process operations.</small>	During Time of Busiest Activity	During Time of Slowest Activity	Frequency per day or Specific Time Ranges	Duration, denote hours or minutes
1. Semi-truck traffic			2x/day: 4:30-5:30 AM 5:30-6:30 PM	
2. Delivery van traffic				
3.				
4.				
5.				

VIBRATION

It is understood that the applicant is familiar with, and anticipates compliance with, the Town's Vibration Performance Standard, 4.171, during project construction and ultimate project operations. Any anticipated aberrations from this expectation should be detailed below.

Town of Orangetown
Resume of Operations and Equipment

TABLE A
Decibel Levels

0	healthy hearing threshold
10	a pin dropping
20	rustling leaves; quiet rural area, nighttime
30	whisper, faint; quiet suburban area, nighttime
40	babbling brook, bird calls; quiet urban area, nighttime; computer
50	light traffic; quiet urban area, daytime; refrigerator; residential air conditioner @ 50'
60	conversational speech @ 3'; air conditioner; heavy traffic @ 300'
70	shower; living room music; dishwasher
75	toilet flushing; vacuum cleaner; gas lawnmower @ 100', commercial area
80	alarm clock; garbage disposal; noisy urban area, daytime
85	passing diesel truck; snow blower
90	squeeze toy; lawn mower, food blender, motorcycle @ 25'; arc welder; diesel truck @ 50' @ 50 mph.
95	inside subway car; food processor; belt sander
100	motorcycle (riding); loud auto horn @ 10'; lawn mower @ 3'; handheld drill
105	sporting event; table saw

110	rock band; jackhammer, jet flyover @ 1000 ft.
115	emergency vehicle siren; riveter
120	thunderclap; oxygen torch
125	balloon popping
130	peak stadium crowd
135	air raid siren, near jet engine
140	jet engine at takeoff
145	firecracker
150	fighter jet launch
155	cap gun
160	shotgun
165	.357 magnum revolver
170	safety airbag
175	howitzer cannon
180	rocket launch

Most noise levels are given in dBA, which are decibels adjusted to reflect the ear's response to different frequencies of sound. Sudden, brief impulse sounds, like many of those shown at 120 dB or greater, are often given in dB (no adjustment).

194	sound waves become shock waves
-----	--------------------------------

30 faint

50 moderate

70 loud

90 very loud

120 deafening

130 threshold of pain

Town of Orangetown
Resume of Operations Equipment

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

Permits and Applicable Local, County, State & Federal Regulations

Does the new or modified facility, process(es) or equipment require ANY additional permits, licenses, certifications or other authorizations under local, county, state or federal jurisdiction, or adherence to the regulations below? If so, list the main applicable regulatory parts for each category.

For example, NYSDEC Air State Facility Permit: Part 201-5; industrial wastewater discharge, State Pollutant Discharge Elimination System (SPDES), Part 750; large gas burning engines, NSPS Subpart JJJJ.

Answers in the positive may cause the Town to only conditionally approve this project until these other requirements are met. Additional information and specificity of regulations may be required. It is the applicant's responsibility to provide proof of evidence of meeting all requirements.

AIR*

- EPA New Source Performance Standards
- NYSDEC:
 - Registration
 - Air State Facility Permit
 - Federal Title V Major Facility Permit

PRIMARY APPLICABLE REGULATIONS

WASTE**

- Pesticide Control
- Solid & Hazardous Waste
- Radiation
- Mineral Resources & Mined Land Reclamation
- Noise from Heavy Motor Vehicles

RESOURCE MANAGEMENT***

- Land Use
- Mineral Resources
- Invasive Species
- Real Property and Land Acquisitions
- Water Regulation

WATER****

- All other water applicable matters

--

GENERAL

- State Environmental Quality Review
- New York State Department of Health
- Uniform Procedures per 6NYCRR 621.1
- NYS Department of State
- Additional

6 NYCRR Section 617 et. seq.

* <http://www.dec.ny.gov/regs/2492.html>
 ** <http://www.dec.ny.gov/regs/2491.html>
 *** <http://www.dec.ny.gov/regs/2490.html>
 **** <http://www.dec.ny.gov/regs/2485.html>

Town of Orangetown
Resume of Operations and Equipment

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

Combustion Sources

Combustion Source (engine, turbine, boiler, etc.)	No. of Units	Equipment Rating List HP, KW, MMBtu/hr, CFM with units	Fuels (e.g., natural gas, fuel oil, distillate or residual oil, waste oil, wood)
None			

Processes

Will any process, including combustion, use or storage, disposal, discharge, emission, or release to the environment, be applicable and/or reportable to:	*
---	---

EPA Greenhouse Gas Reporting	
EPA Toxic Release Inventory	
National Emission Standards for Hazardous Air Pollutants	
High Toxicity Air Contaminants per NYSDEC Part 212-2.2 Table 2	
Emergency Planning and Community Right-to-Know Act (EPCRA)	
Tier II NYS Emergency Response Commission	
Solid Waste	
Hazardous Waste	
FHWA or NYSDOT	
SPDES or NPDES	

* Mark with an 'X' those that are applicable.

Chemical Characterization Codes

Table B

Use these codes to characterize chemicals and chemical products.

Does any operation involve the use of any of the following:

Y or N

- B explosive and blasting agents
- C poison: gas,g; liquid,l; solid,s
- D irritant
- E flammable liquid
- F flammable solid
- H flammable gas: specify propane and/or butane
- H-a flammables, NOS
- I oxidizer
- J organic peroxide
- K combustibile liquid
- L radioactive material
- M corrosive material
- N "dangerous when wet" material
- O etiological material
- P combustibile fibers

N
N
N
N
N
N
N
N
N
N
N
N
N
N
N
N

Does any operation consist of the following:

- Q produces dust subject to explosion or spontaneous combustion
- R product poisonous fumes or gases
- T spray operations
- U fuel dispensing
- V propane gas forklifts
- W any other operation which may present a fire, explosive, radiological or other hazard

N
N
N
N
N
N

If none of the above, identify substances as:

- A aerosol
- G gas
- L liquid
- S/P solid/powder
- S/L slurry

Chemical Bulk Inventory

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

SINGLE, NON-MIXTURE CHEMICALS Top 5 by Amounts Used/Stored	CAS Identification*	Table B Characterization Code List all that apply	Yearly Use/Stored (list gallons or pounds)
1. None			
2.			
3.			
4.			
5.			

Is there any mixing on-site of any combination of single, bulk substances and/or purchased mixtures? <small>Indicate YES or NO</small>		
--	--	--

Identify <u>any</u> on-site, single non-mixture chemical that is:		
Known Human Carcinogen - KHC Probable Human Carcinogen - PrHC Possible Human Carcinogen - PHC Other - Indicate	Carcinogen Characteristic[#]	Yearly Consumption (gallons or pounds)
1. None		
2.		
3.		

CAS Identification*

https://ofmpub.epa.gov/sor_internet/registry/substreg/searchandretrieve/substancesearch/search.do?search=&substanceName=ethyl%20ketone&substanceNameScope=contains&substanceType=-1&hasComponents=both

[#] As would be expected to be found in agreement among bodies such as the National Academy of Sciences, the U.S. Department of Health and Human Services' *Agency for Toxic Substance and Disease Registry*, the World Health Organization's *International Agency for Research on Cancer*.

Chemical Mixtures Inventory

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

PURCHASED CHEMICAL MIXTURES List Top Three By Amount Used or Stored, and % of top three components of each mixture, excluding water.	CAS Identification* & Percentage	Table B Characterization Code List all that apply	Yearly Used/Stored <small>(include units: gallons, g, or pounds, p)</small>
M1. None	---		
a.			---
b.			---
c.			---
M2.	---		
a.			---
b.			---
c.			---
M3.	---		
a.			---
b.			---
c.			---

Identify <u>any</u> on-site chemicals in any mixtures that are: Know Human Carcinogen - KHC Probable Human Carcinogen - PrHC Possible Human Carcinogen - PHC Other - Indicate	Carcinogen Characteristic	Yearly Used/Stored, <small>gallons or pounds</small>
1. None		
2.		
3.		

Chemical Discharges

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

List raw material, or products, that emit to the atmosphere or discharge to land or water.	Does this material - or products they form - emit or discharge to a pollution control device? If so, list device(s).
SINGLE, NON-MIXTURE CHEMICALS	
None 1.	
2.	
3.	
4.	
5.	
6.	
7.	

CHEMICAL MIXTURES	
1. None	
2.	
3.	
4.	
5.	
6.	
7.	

Primary Process Descriptions

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

Describe Primary Processes:

Provide a facility blueprint, drawing or schematic showing locations of the processes described below.

**Characterization Codes from
Table B**
List all that apply

PP1	Loading/Unloading package deliveries
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PP2	
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PP3	
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PP4	
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PP5	
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PP6	
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PP7	
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PP8	
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PP9	
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PP10	
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Control Systems

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

Describe control methods such as pollution and odor controls, fire alarm systems, automatic fire suppression devices such as sprinklers, portable fire extinguishers, and any other safety devices.

C1	Fire suppression as required by the Orangetown Fire Inspector
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C2	HVAC system
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C3	
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C4	
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C5	
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C6	
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C7	
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C8	
-----------	--

C9	
-----------	--

C10	
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DEFINITIONS

Responsible official. A president, vice president, secretary, treasurer, general partner, proprietor, principal executive officer, ranking elected official, or any other person who performs policy or decision making functions and is authorized to legally bind a corporation, partnership, sole proprietorship, or government entity which operates a facility that is subject to the provisions of this Application. Whenever the term responsible official is used in this document or in any other Town regulations, it shall be deemed to refer to the “designated representative” with regard to all matters under this application.

Major action/project - actions for which permit applications are to be sent to the NYSDEC under 6NYCRR621.1.

Refer to: [https://govt.westlaw.com/nycrr/Document/I4ec443aacd1711dda432a117e6e0f345?viewType=FullText&originationContext=documenttoc&transitionType=CategoryPageItem&contextData=\(sc.Default\)](https://govt.westlaw.com/nycrr/Document/I4ec443aacd1711dda432a117e6e0f345?viewType=FullText&originationContext=documenttoc&transitionType=CategoryPageItem&contextData=(sc.Default))

Minor Project - Projects as described under NYSDEC's Uniform Procedures, 6 CRR-NY 621.4

Refer to: [https://govt.westlaw.com/nycrr/Document/I4ec46aa7cd1711dda432a117e6e0f345?viewType=FullText&originationContext=documenttoc&transitionType=CategoryPageItem&contextData=\(sc.Default\)](https://govt.westlaw.com/nycrr/Document/I4ec46aa7cd1711dda432a117e6e0f345?viewType=FullText&originationContext=documenttoc&transitionType=CategoryPageItem&contextData=(sc.Default))

Modification means any change or amendment whatsoever to a permit that is currently in force, including permit transfer.

Research and Development activities. The primary purpose of such activities is to conduct research and development into processes and products, where such activities are conducted under the close supervision of technically trained personnel. Research and development activities do not include activities whose primary purpose is to produce commercial quantities of materials.

RESERVED

Additional Information or Explanations

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

SITE IMPROVEMENTS

700 & 800 BRADLEY HILL ROAD

SECTION 65.18, BLOCK 1, LOTS 3 & 4
TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.

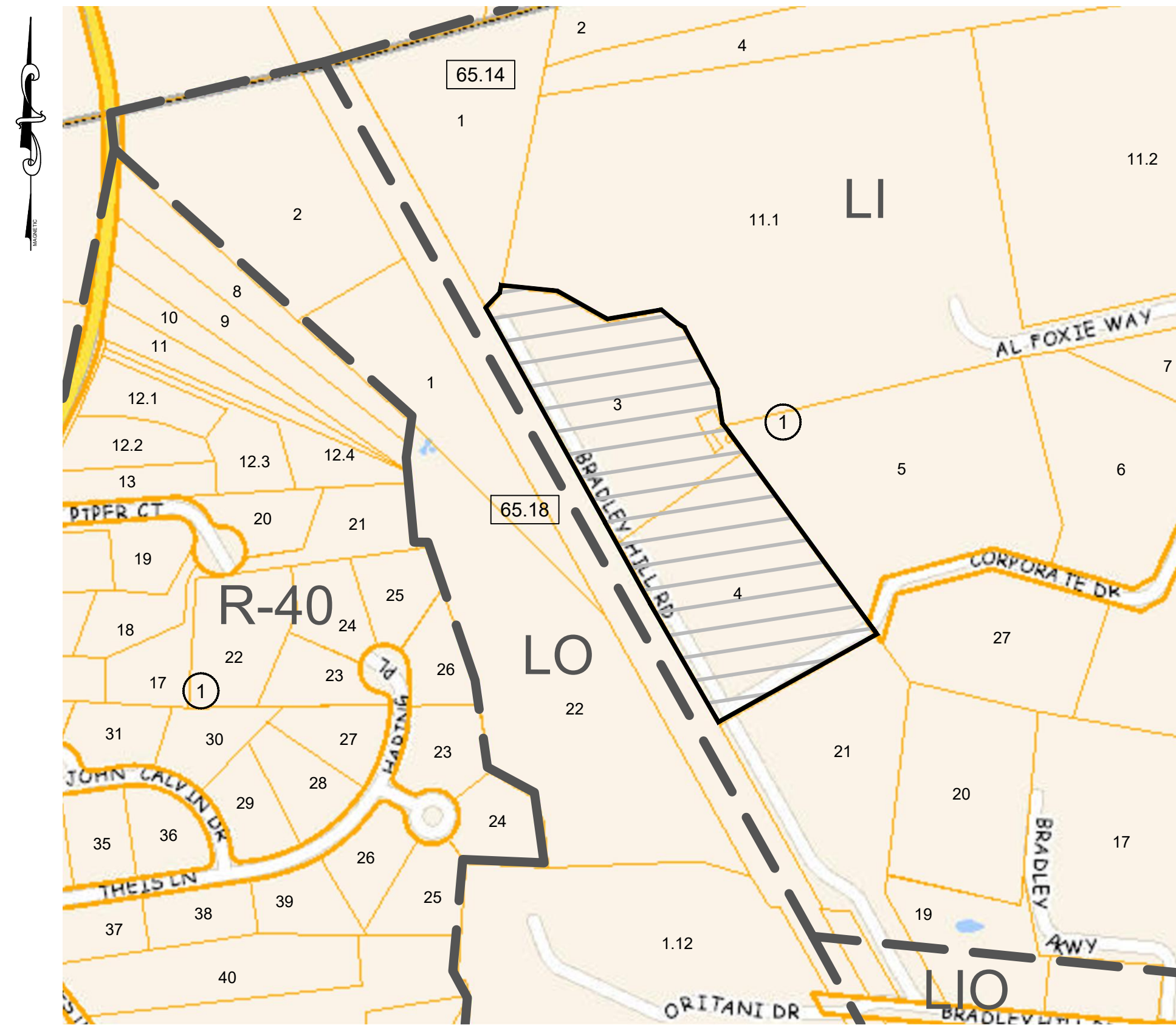


LOCATION MAP
SCALE: 1"=200'

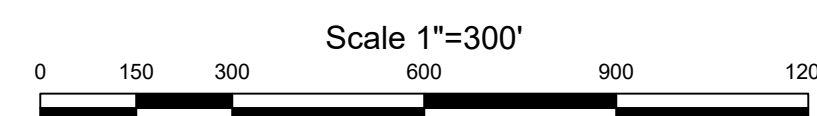
REFERENCE
MAPPING TAKEN FROM GOOGLE EARTH, DATED JULY 22, 2020.

INDEX OF DRAWINGS

TITLE	SHEET NAME	SHEET NO.
COVER SHEET	C-1	1 OF 11
EXISTING CONDITIONS PLAN	EC-1	2 OF 11
DEMOLITION PLAN	DE-1	3 OF 11
SITE PLAN	S-1	4 OF 11
GRADING & UTILITY PLAN	G-1	5 OF 11
SOIL EROSION AND SEDIMENT CONTROL PLAN	SE-1	6 OF 11
IMPERVIOUS COVERAGE PLAN	IC-1	7 OF 11
SITE EASEMENT PLAN	E-1	8 OF 11
DETAILS & NOTES	D-1	9 OF 11
DETAILS & NOTES	D-2	10 OF 11
LIGHTING PLAN	L-1	11 OF 11



ZONING LOCATION MAP
SCALE: 1"=300' ±



LEGEND

1	BLOCK NUMBER
65.18	SECTION NUMBER
3	LOT NUMBER
—	LOT LINE
	PROJECT AREA LIMITS
R-40	LOW DENSITY RESIDENTIAL DISTRICT
LI	LIGHT INDUSTRIAL DISTRICT
LO	LABORATORY-OFFICE DISTRICT
LIO	LIGHT INDUSTRIAL OFFICE DISTRICT

SITE PLAN OF:
700 & 800 BRADLEY HILL ROAD
TOWN OF ORANGETOWN, NEW YORK

OWNER/APPLICANT:
AG-OE 700 BRADLEY HILL ROAD OWNER, L.L.C.
C/O ONYX MANAGEMENT GROUP, LLC
900 ROUTE 9 NORTH, SUITE 400
WOODBIDGE, NJ 07095

AG-OE 800 BRADLEY HILL ROAD OWNER, L.L.C.
C/O ONYX MANAGEMENT GROUP, LLC
900 ROUTE 9 NORTH, SUITE 400
WOODBIDGE, NJ 07095

ATTORNEY:
MCCULLOUGH, GOLDBERGER & STAUDT, LLP
1311 MAMARONECK AVE., SUITE 340
WHITE PLAINS, NY 10605
CONTACT: SETH M. MANDELBAUM
PHONE: 914-949-6400
EMAIL: SMandelbaum@mgslawyers.com

CIVIL ENGINEER:
SESI CONSULTING ENGINEERS, DPC
12A MAPLE AVENUE
PINE BROOK, NJ 07058
CONTACT: FRANZ W. LAKI, PE
PHONE: 973-808-9050
EMAIL: FL@SESI.ORG

TOWN OF ORANGETOWN	
THIS SITE PLAN IS HEREBY APPROVED BY THE PLANNING BOARD OF THE TOWN OF ORANGETOWN, NEW YORK.	
DATE _____	SECRETARY _____
DATE _____	CHAIRMAN _____
THIS SITE PLAN HAS BEEN REVIEWED AND IS HEREBY APPROVED.	
DATE _____	TOWN ENGINEER _____



FRANZ W. LAKI, P.E.
PROFESSIONAL ENGINEER
N.Y. LIC. NO. 96772

SESI
CONSULTING ENGINEERS

CERT. OF AUTH. # 24GA27934700
SOILS / FOUNDATIONS
SITE DESIGN
ENVIRONMENTAL

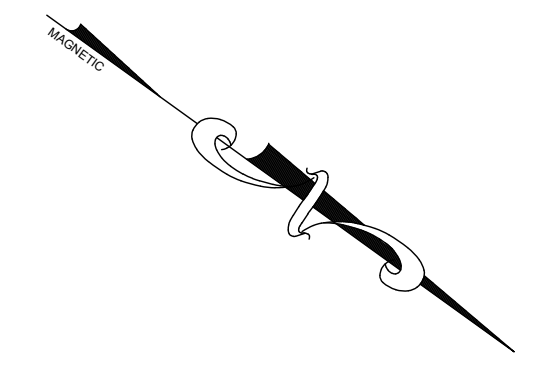
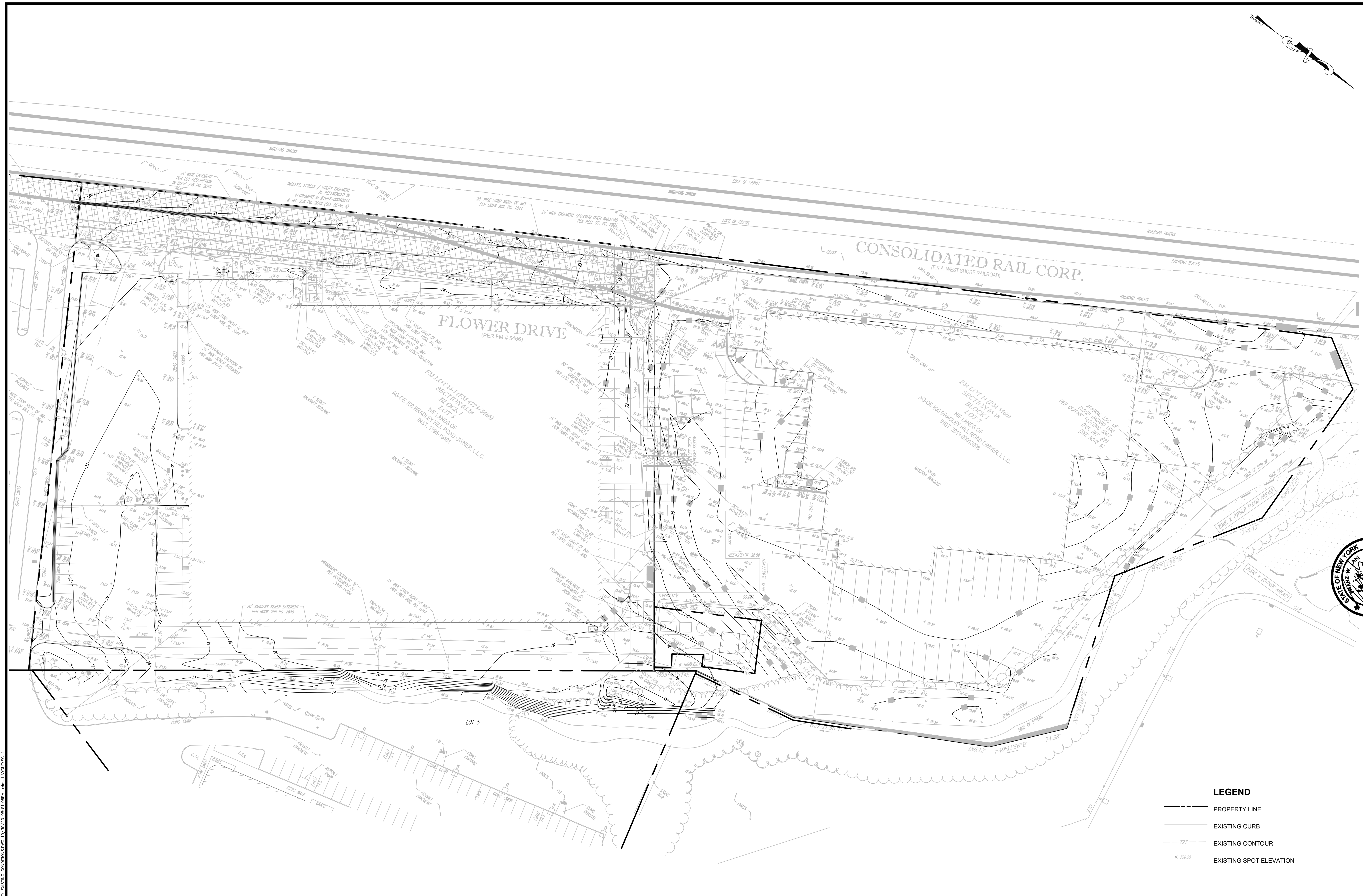
12A MAPLE AVE. PINE BROOK, N.J. 07058 PH: 973-808-9050

DATE: 8/31/2020 JOB NO. 10642 SHEET C-1

REV	DATE	DESCRIPTION	BY
1	10/30/2020	REV PER TOWNSHIP'S REVIEW LETTERS DATED 10/21/2020 AND 10/27/2020	RLM

N:\VADU\0642\0642_700 BRADLEY COVER.DWG, 10/29/20 05:55:54PM, rcm, LAYOUT COVER-1

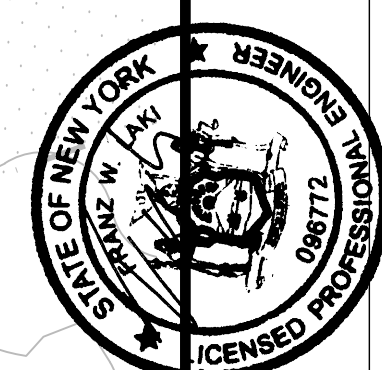
NYS Education Law
Unauthorized alterations or additions to this plan are a violation of section 7209 (2) of the New York State Education Law. Copies of this map not having the seal of the engineer shall not be valid.
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REV	DATE	DESCRIPTION
1	10/30/20	REV PER TOWNSHIP'S REVIEW LTRS DATED 10/12/20 AND 10/27/20

dwn by: WY
 ckt by: FL
 scale: AS NOTED
 date: 8/31/2020

SESI
 CONSULTING ENGINEERS
SOILS / FOUNDATIONS
SITE DESIGN
ENVIRONMENTAL
 125A MAPLE AVE. PINE BROOK, N.J. 07068 PH: 973-868-3030



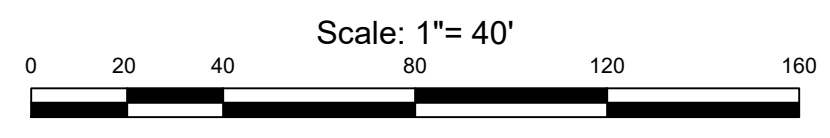
FRANZ W. LAKI, P.E.
 PROFESSIONAL ENGINEER
 N.Y. LIC. NO. 96772

700 & 800 BRADLEY HILL ROAD
 SECTION 65.18, BLOCK 1, LOTS 3 & 4
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.
EXISTING CONDITIONS

job no. 10642
 drawing no. **EC-1**
 2 of 11

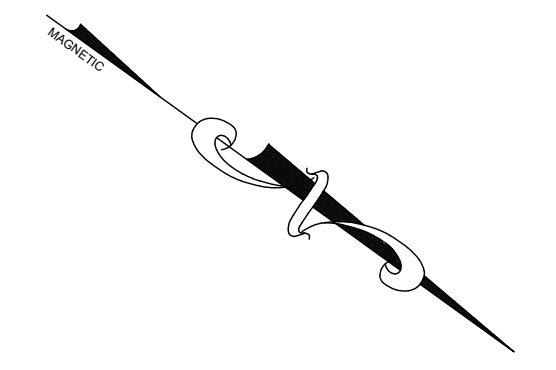
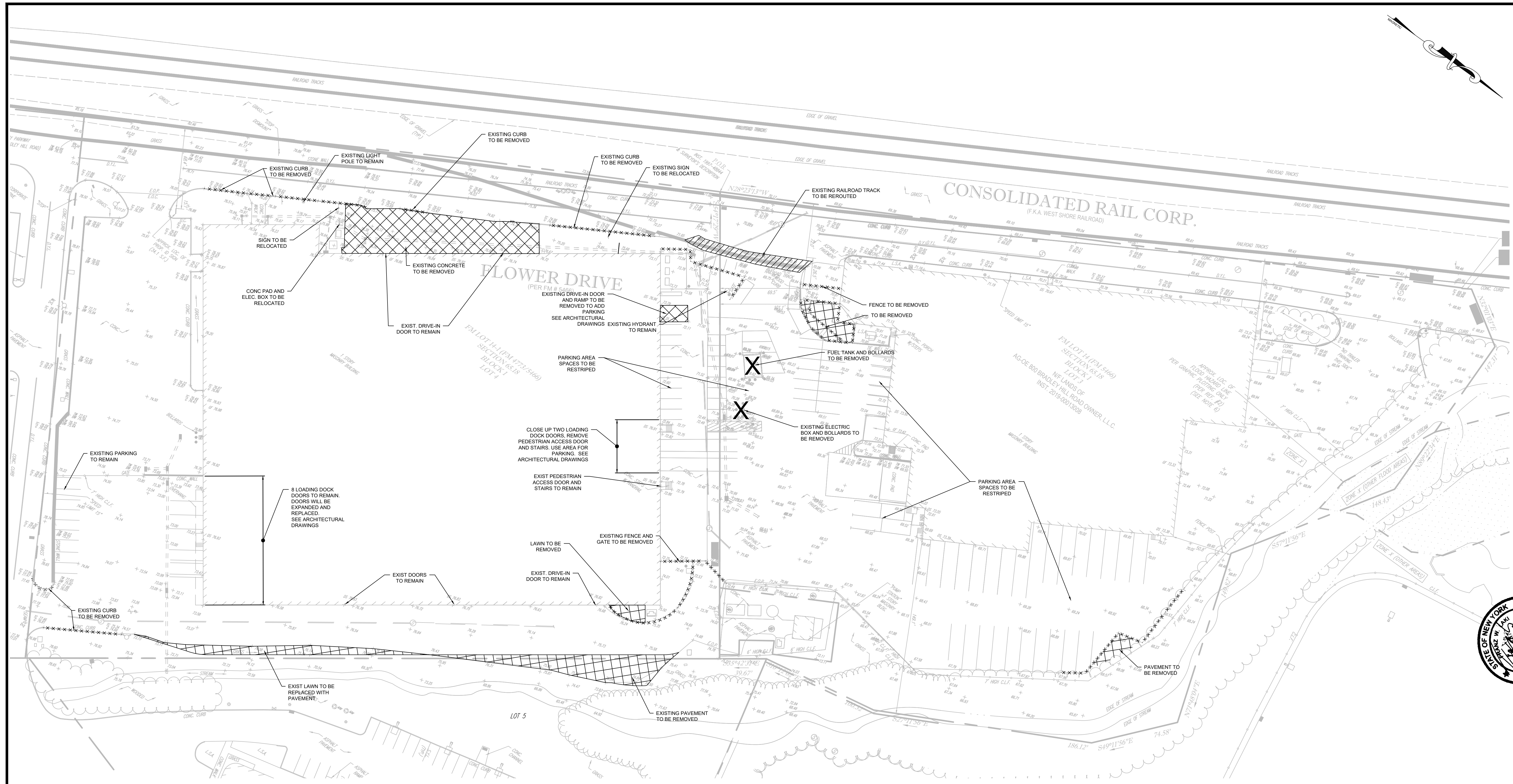
- REFERENCE:**
- EXIST CONDITIONS & BOUNDARY FOR 700 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - "BUILDING #3," PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020
 - EXIST CONDITIONS & BOUNDARY FOR 800 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 3, 800 BRADLEY HILL ROAD - "BUILDING #4," PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020

- LEGEND**
- PROPERTY LINE
 - EXISTING CURB
 - - - EXISTING CONTOUR
 - x 78.25 EXISTING SPOT ELEVATION



NYS Education Law
 Unauthorized alterations or additions to this plan are a violation of section 7209 (2) of the New York State Education Law. Copies of this map not having the seal of the engineer shall not be valid.
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15-VACAD-10642-10642-700 BRADLEY EXISTING CONDITIONS.DWG 10/30/20 05:51:09PM csm LAVOITTE.C



DEMOLITION NOTES:

1. THE REMOVAL OF ALL WASTE ITEMS, EXCESS FILL, ASPHALT, FENCING, CONCRETE, ETC. SHALL BE DISPOSED OF AT LICENSED LANDFILLS.
2. ALL ITEMS DISTURBED BY DEMOLITION, SAW CUTTING, EXCAVATION, ETC., THAT ARE TO REMAIN SHALL BE REPLACED, RESET, OR RECONSTRUCTED AS REQUIRED TO RESTORE STRUCTURAL INTEGRITY AND SUITABLE APPEARANCE AT NO EXTRA CHARGE.
3. A SMOOTH UNIFORM EDGE MUST BE PROVIDED ALONG THE LIMIT OF PAVEMENT REMOVAL. THE CONTRACTOR SHALL SAW CUT THE PAVEMENT ALONG THE LIMIT OF PAVEMENT REMOVAL.
4. REMOVE ALL OBSTRUCTIONS WITHIN THE LIMIT OF SITE CONSTRUCTION INCLUDING PAVEMENT, CURB & GUTTER SIDEWALKS, SIGNS, FENCES, TREES, CONCRETE SLABS, WALLS, DEBRIS, AND FOLIAGE.
5. INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY LAND DISTURBANCE. ADHERE TO ALL LOCAL SOIL DISTRICT STANDARDS.
6. REMOVE EXISTING TREES AND VEGETATION AS REQUIRED. DO NOT DISTURB OR REMOVE EXISTING TREES OUTSIDE LIMIT OF WORK OR DESIGNATED TO BE PROTECTED.
7. AFTER DEMOLITION OF EXISTING SIDEWALK AND ASPHALT, CONTRACTOR SHALL COMPACT THE SUBGRADE WITH A SUITABLE COMPACTOR.
8. THE VOIDS CREATED BY EXCAVATION OF STRUCTURES DURING SITE DEMOLITION SHALL BE BACKFILLED WITH DENSE GRADED AGGREGATE AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ALL THE VARIOUS UTILITY COMPANIES TO VERIFY THE EXISTANCE, LIMITS, AND/OR LOCATIONS OF ANY UTILITIES AND/OR FACILITIES THAT MAY BE ALONG OR WITHIN THE VICINITY OF THIS IMPROVEMENT.
10. THE DEMOLITION INFORMATION PROVIDED MAY NOT REPRESENT ALL DEMOLITION NECESSARY FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE FULL EXTENT OF THE PROJECT DEMOLITION AND CONSTRUCTION ABOVE GROUND AND BELOW.
11. ALL WORK SHOWN ON THE DRAWINGS SHALL BE FIELD MEASURED AND OTHERWISE VERIFIED THROUGH FIELD EXPLORATIONS MADE DURING THE DEMOLITION PHASE. IN THE EVENT OF CONFLICT PERTAINING TO PLAN OR ELEVATION DIMENSIONS, THE ENGINEER SHOULD BE IMMEDIATELY NOTIFIED SO THAT THE ENGINEER CAN RESOLVE ANY CONFLICT.
12. PRIOR TO COMMENCING WITH ANY DEMOLITION WORK, THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS.
13. IN AREAS WHERE UTILITY DEPTHS REQUIRE VERIFICATION, THE CONTRACTOR SHALL EXCAVATE TEST PITS AFTER THE UTILITY MARK-OUT.
14. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY COMPANY IMMEDIATELY AFTER RECEIVING A "NOTICE TO PROCEED" FROM THE OWNER.
15. SCHEDULE WITH THE OWNER ALL NOISE PRODUCING CONSTRUCTION ACTIVITIES SUCH AS JACK HAMMERING, SAW CUTTING, ETC...
16. CONTRACTOR IS RESPONSIBLE TO PHASE WORK SO THAT VEHICULAR AND PEDESTRIAN ACCESS IS PROVIDED TO THE BUILDING, TENANT SPACES, AND CROSSWALKS AT ALL TIMES.
17. CONTRACTOR SHALL PROVIDE ALL PROTECTION FOR PEDESTRIAN AND VEHICULAR TRAFFIC DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO BARRICADES, FLAGGERS, ETC...
18. PRIOR TO CONSTRUCTION, ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED BY GENERAL CONTRACTOR.
19. ALL EXISTING ON-SITE WELLS SHALL BE ABANDONED IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.
20. SEE SOIL EROSION CONTROL PLAN FOR APPROX. LIMITS OF DISTURBANCE AND SEDIMENT FILTER FENCE LOCATION.

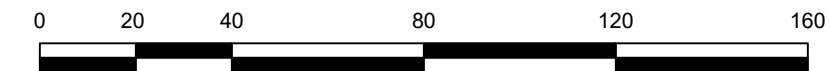
REFERENCE:

1. EXIST CONDITIONS & BOUNDARY FOR 700 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - 'BUILDING #3'; PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020
2. EXIST CONDITIONS & BOUNDARY FOR 800 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 3, 800 BRADLEY HILL ROAD - 'BUILDING #4'; PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020

LEGEND

- PROPERTY LINE
- - - EXISTING CURB
- - - 726.25 EXISTING CONTOUR
- x 726.25 EXISTING SPOT ELEVATION
- X TO BE REMOVED
- X X X CURB TO BE REMOVED
- + + MACADAM TO BE REMOVED
- TBR TO BE REMOVED
- (---) TREE PROTECTION FENCE

Scale: 1" = 40'

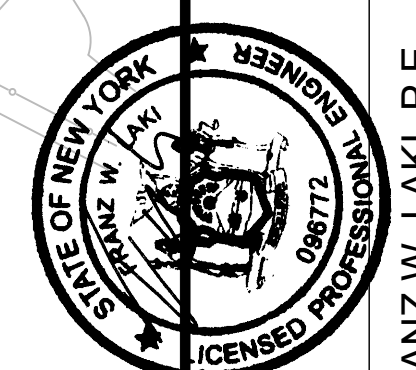


REV	DATE	DESCRIPTION
1	10/20/20	REV PER TOWNSHIP'S REVIEW LTRS DATED 10/21/20 AND 10/27/20

dwg by: WY
 chg by: FL
 scale: AS NOTED
 date: 8/3/2020

SESI
 CONSULTING ENGINEERS
SOILS / FOUNDATIONS
SITE DESIGN
ENVIRONMENTAL

125A MAPLE AVE. PINE BROOK, N.J. 07068 PH: 973-808-9000

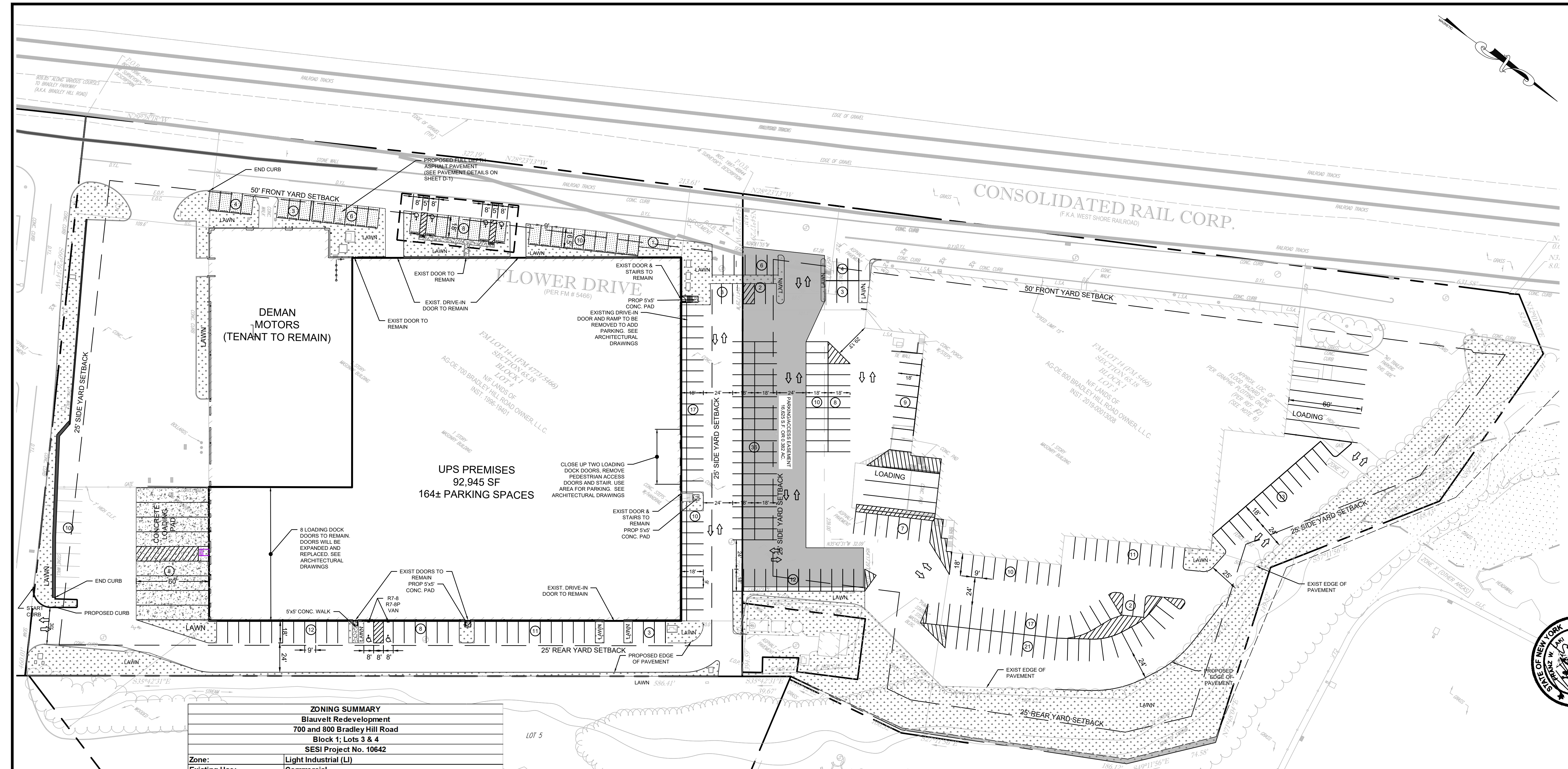


FRANZ W. LAKI, P.E.
 PROFESSIONAL ENGINEER
 N.Y. LIC. NO. 96772

DEMOLITION PLAN
 700 & 800 BRADLEY HILL ROAD
 SECTION 65.18, BLOCK 1, LOTS 3 & 4
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.

job no. 10642
 drawing no.

DE-1



ZONING SUMMARY
Blauvelt Redevelopment
700 and 800 Bradley Hill Road
Block 1; Lots 3 & 4
SESI Project No. 10642

ITEM	REQUIRED	EXISTING LOT 4 (700)	EXISTING LOT 3 (800)	PROPOSED LOT 4 (700)	PROPOSED LOT 3 (800)	NOTES
MIN. LOT WIDTH (FT)	150	540.8	640	540.8	640	No Change
MIN. LOT AREA (AC)	2	5.53	4.89	5.53	4.89	No Change
MIN. STREET FRONTAGE (FT)	150	540.8	640	540.8	640	No Change
MIN. FRONT YARD (FT)	50	58.3	42.6	58.3	42.6	No Change
MIN. SIDE YARD (FT)	25	50.0	50.8	50	50.8	No Change
TOTAL SIDE YARD (FT)	100	159.6	151.9	159.6	151.9	No Change
MIN. REAR YARD (FT)	25	44.97	149.1	44.97	149.1	No Change
MAX. LOT COVERAGE (%)	80%	89.1%	80.6%	89.1%	80.6%	No Change
MAX. FLOOR AREA RATIO**	0.5	0.496	0.277	0.496	0.277	No Change
MAX. HEIGHT (FT)	25	26	34	26	34	No Change
MIN. OFF-STREET PARKING***	105	27	47	162	115	Complies

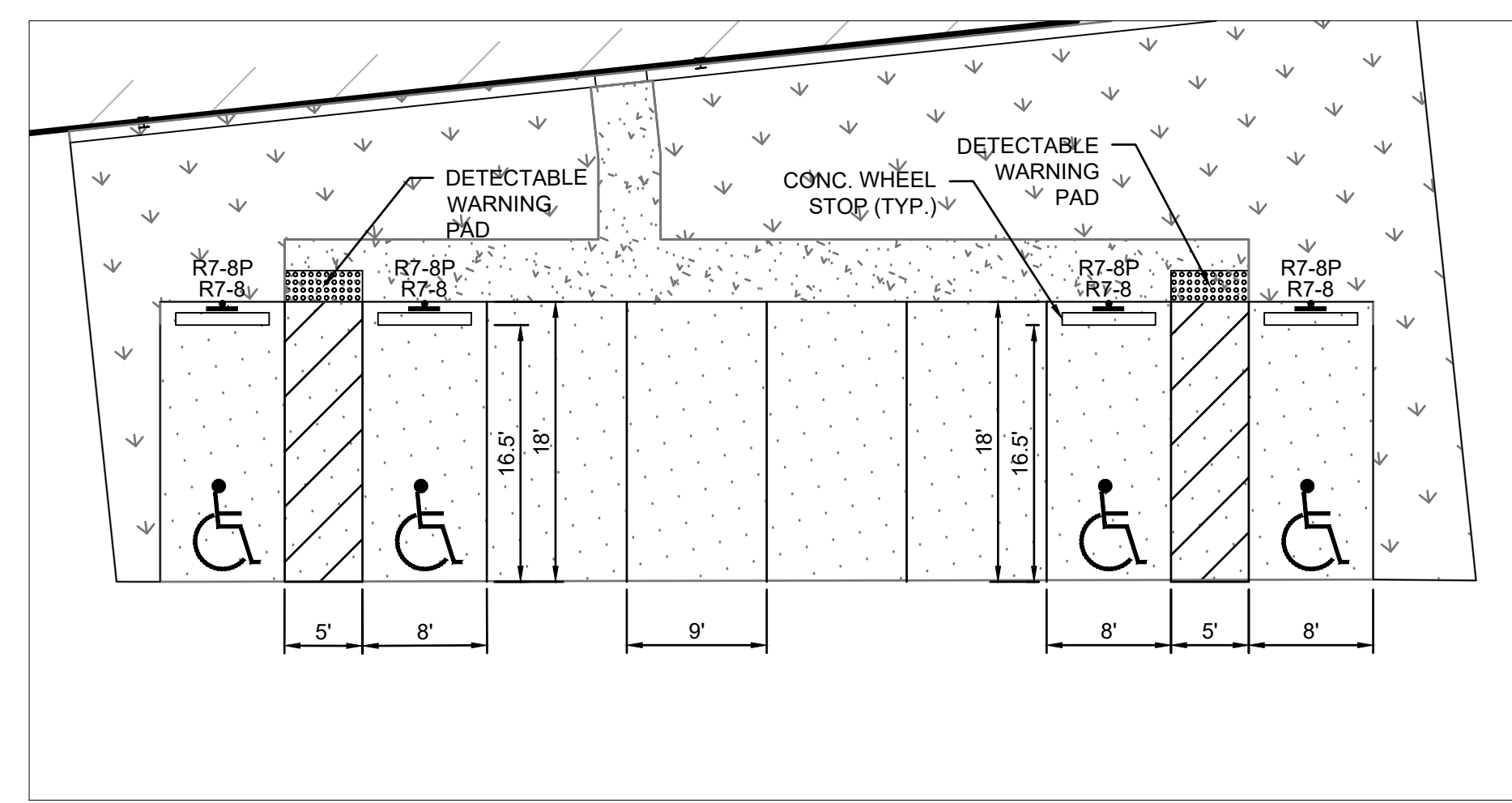
*Note 7: Required front yards and maximum building heights are subject to § 5.111, with the designated street line being used as lot line.
 **Note 10: Where a lot line in an LO, LI or LO District abuts a railroad right-of-way, the normally required rear or side yard may be reduced to twenty-five (25) feet, and the maximum building height shall apply for that portion of a building over twenty-five (25) feet in height.
 ***Note 14: Maximum land coverage shall not exceed seventy-five percent (75%), including buildings, parking, road and road widening. The open area shall be a minimum of twenty-five percent (25%). Parking area within a building will not be charged against the floor area ratio. In CP Districts, the percentages shall be sixty-five percent (65%) and thirty-five percent (35%), respectively. In LO Districts, W Groups, and MFR District, LI Group, the percentages shall be fifty percent (50%) and fifty percent (50%), respectively. In LI Districts, the percentages shall be eighty percent (80%) and twenty percent (20%), respectively.
 **** Note 2: Where the side or rear lot line of a lot in CS, CC, CO, LO, LI or CP adjoins or lies within twenty-five (25) feet of any R District, the following buffers shall be required: LO, LI, LI or CP = 100 feet.
 The Planning Board may reduce by no more than fifty percent (50%) the side or rear yard requirement for the yard opposite the buffer for nonresidential uses in the LO, LI, LI and CP Districts, except where the opposite yard abuts a residential district. All such uses shall conform to these buffer requirements. For the CS and CC Districts fifty (50) and twenty-five (25) feet, respectively, will be required for a conditional or special permit use. The buffer area shall only be used for planting, landscaping and screening to provide environmental compatibility of dissimilar uses.
 ***** Parking requirement was calculated using 1 space per 2 employees. A peak demand of 210 employees required 105 parking spaces.

PARKING SUMMARY:

700 BRADLEY HILL ROAD	PROPOSED ON-SITE PARKING:	110 SPACES
	PROPOSED IN-EASEMENT PARKING:	52 SPACES
	TOTAL SPACES:	162 SPACES
800 BRADLEY HILL ROAD:	PROPOSED ON-SITE PARKING:	115 SPACES

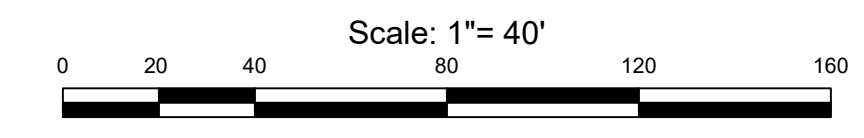
NOTES:
 1. PARKING SPACES WITHIN THE PARKING AREA EASEMENT ARE RESERVED FOR THE USE OF UPS AT 700 BRADLEY HILL ROAD.

- REFERENCE:**
- EXIST CONDITIONS & BOUNDARY FOR 700 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - 'BUILDING #3'"; PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020
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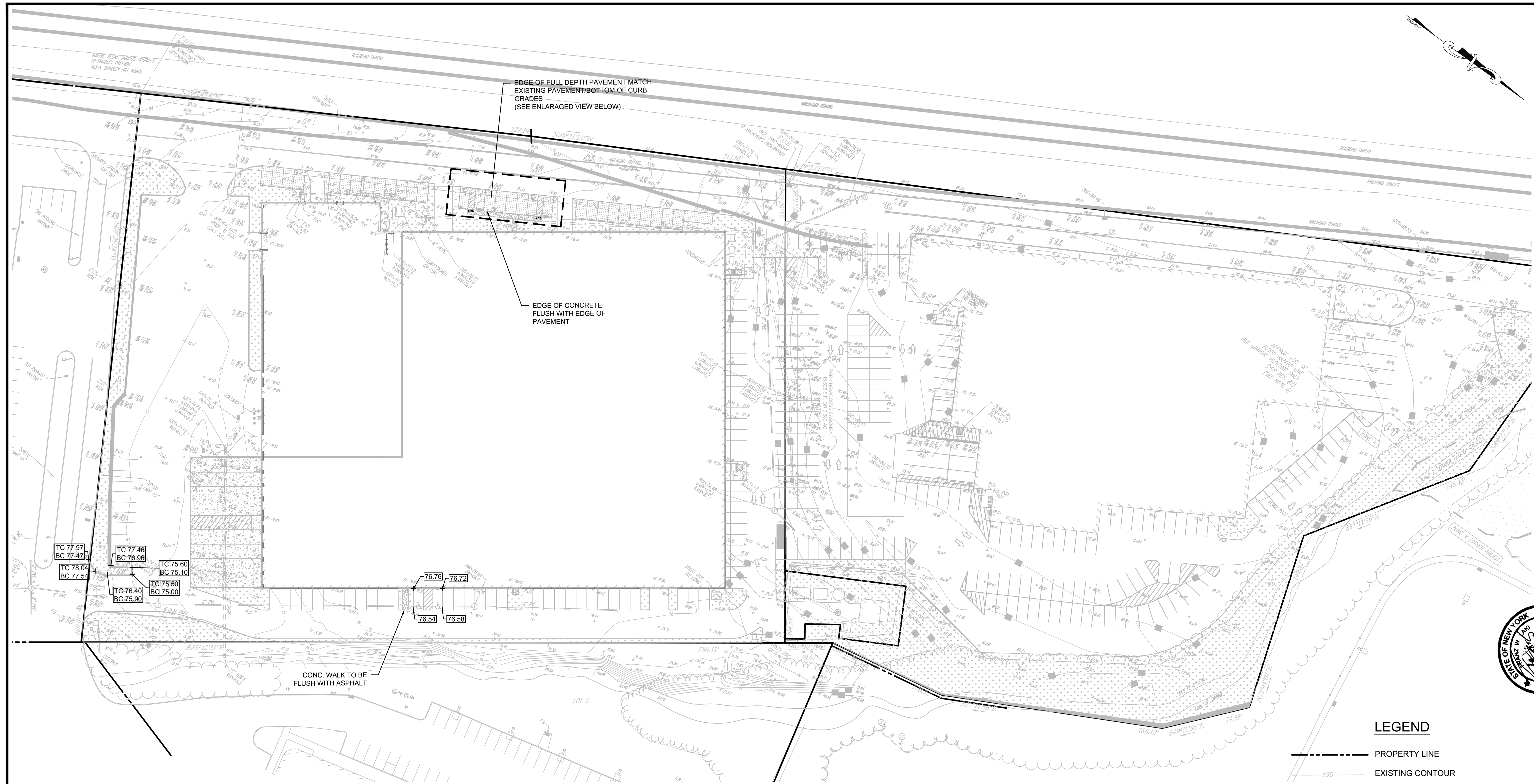
LEGEND

- PROPERTY LINE
- SETBACK LINE
- - - EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED ADA CURB/ FLUSH CURB
- PROPOSED CONC. FLATWORK
- PROPOSED NO. OF PARKING SPACES
- TRAFFIC CIRCULATION
- PROPOSED FULL DEPTH ASPHALT PAVEMENT
- PROPOSED LAWN



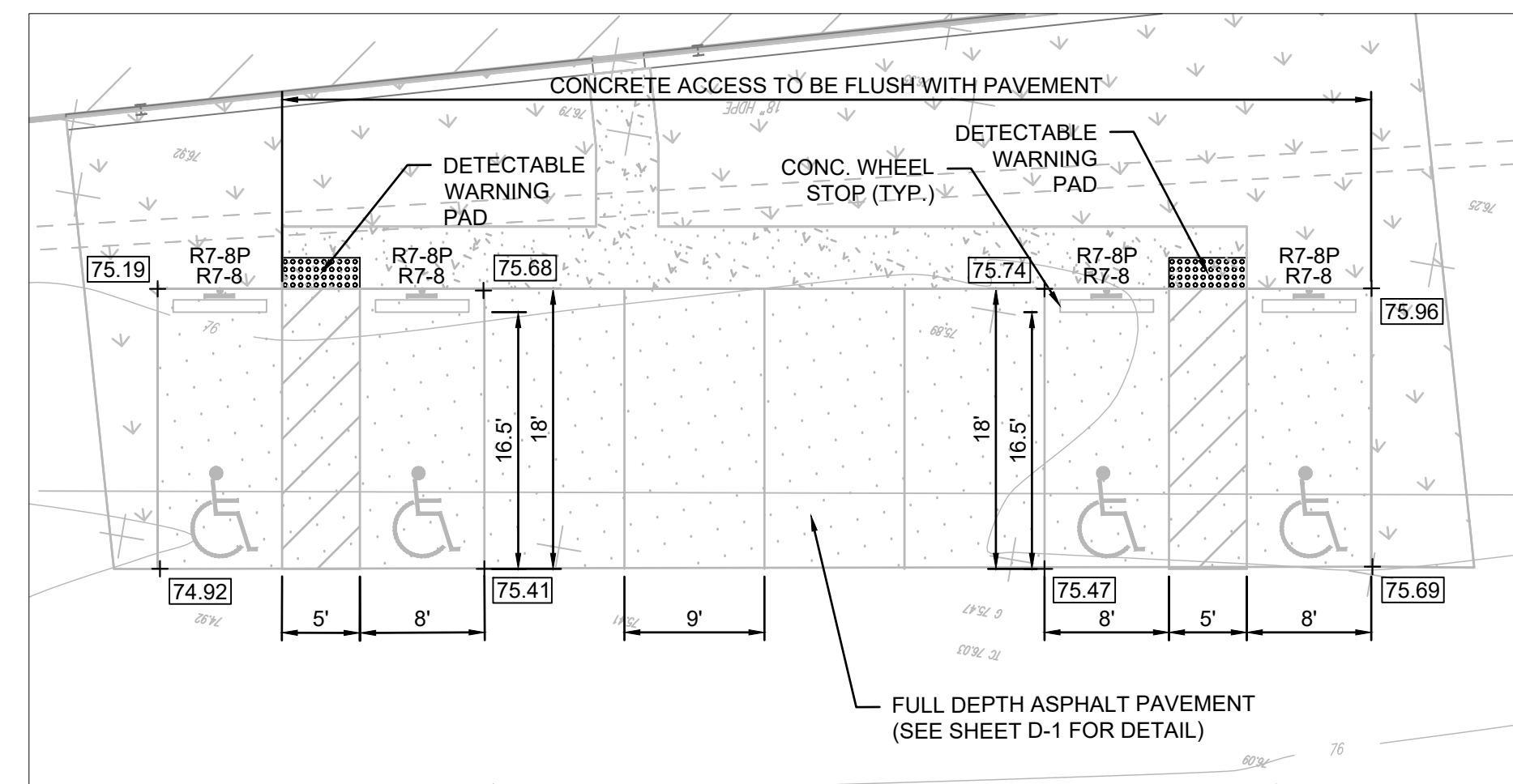
<p>SESI CONSULTING ENGINEERS</p> <p>125A MAPLE AVE. PINE BROOK, N.J. 07068 PH: 973-808-9050</p>	<p>SESI SOILS / FOUNDATIONS SITE DESIGN ENVIRONMENTAL</p>
<p>FRANZ W. LAKI, P.E. PROFESSIONAL ENGINEER N.Y. LIC. NO. 96772</p>	<p>SITE PLAN</p> <p>700 & 800 BRADLEY HILL ROAD SECTION 65.18, BLOCK 1, LOTS 3 & 4 TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.</p>
<p>job no. 10642 drawing no.</p>	<p>10/20/20 REV. DATE 10/20/20 REV. DATE 8/31/2020 DATE</p> <p>eng by: YY chk by: FL scale: AS NOTED date: 8/31/2020</p>

4 of 11



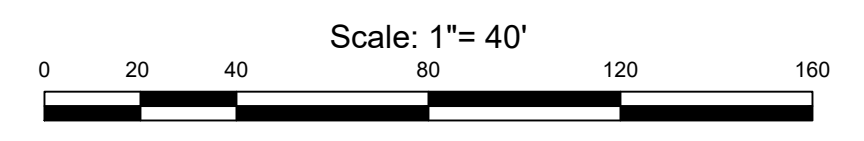
- NOTES:**
1. ALL ASPHALT IS TO BE MILLED AND REPAVED TO A MINIMUM DEPTH OF 2 INCHES, UNLESS OTHERWISE NOTED.
 2. FINISHED GRADES SHALL MATCH EXISTING GRADES, UNLESS OTHERWISE NOTED.
 3. EXISTING STORMWATER FLOW PATHS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
 4. EDGE OF PAVEMENT GRADES SHALL MATCH ADJACENT PAVEMENT/CONCRETE/LAWN GRADES.
 5. GRADES AT ADA PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.
 6. FOR FULL DEPTH ASPHALT PAVEMENT, PLEASE SEE PAVEMENT DETAILS ON SHEET D-1.
 7. FOR AREAS TO BE MILLED AND RE-PAVED, PAVEMENT DETAILS ON SHEET D-1.

- REFERENCE:**
1. EXIST CONDITIONS & BOUNDARY FOR 700 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - BUILDING #3," PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020
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ENLARGED PLAN
SCALE: 1"=10'

- LEGEND**
- PROPERTY LINE
 - - - - - EXISTING CONTOUR
 - × 123.45 EXISTING SPOT ELEVATION
 - [132] PROPOSED CONTOUR
 - + [123.45] PROPOSED SPOT ELEVATION
 - - - - - EXISTING STORM LINE
 - - - - - EXISTING SANITARY LINE
 - W EXISTING WATER MAIN
 - G EXISTING GAS SERVICE
 - E EXISTING ELECTRIC SERVICE
 - U EXISTING UTILITY SERVICE
 - (S) EXISTING STORM MANHOLE



REV	DATE	DESCRIPTION
1	10/30/20	REV PER TOWNSHIP'S REVIEW LTRS DATED 10/12/20 AND 10/27/20

eng by: RDM
 chg by: FL
 scale: AS NOTED
 date: 8/31/2020

SESI
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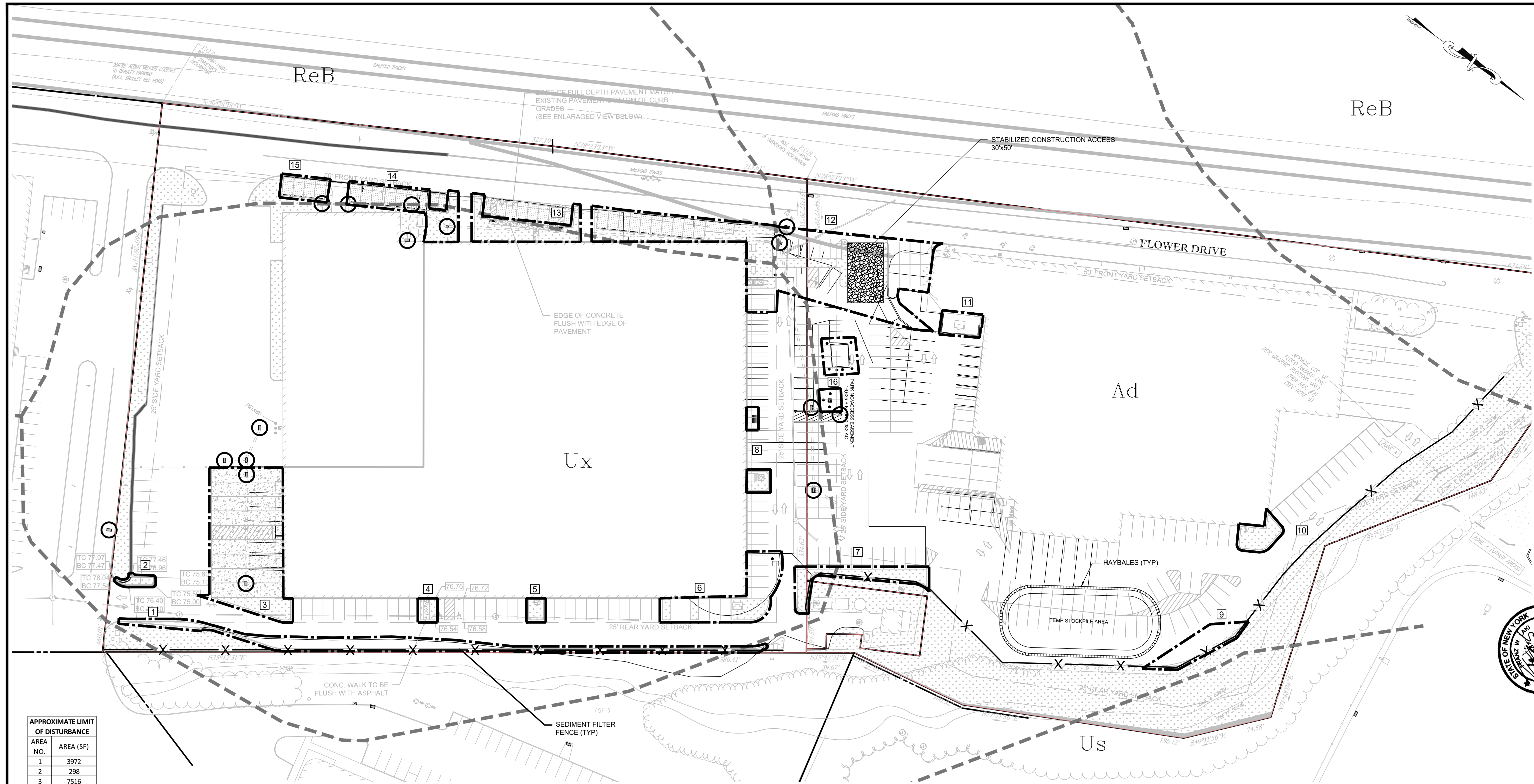


FRANZ W. LAKI, P.E.
 PROFESSIONAL ENGINEER
 N.Y. LIC. NO. 98772

700 & 800 BRADLEY HILL ROAD
 SECTION 65.18, BLOCK 1, LOTS 3 & 4
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.
GRADING AND UTILITIES PLAN

job no. 10642
 drawing no.

G-1



APPROXIMATE LIMIT OF DISTURBANCE	
AREA NO.	AREA (SF)
1	3972
2	298
3	7516
4	329
5	325
6	2928
7	1612
8	581
9	1360
10	814
11	679
12	12518
13	1917
14	2227
15	795
16	2117
TOTAL (SF)	39988
TOTAL (AC)	0.92

NOTES:
 1. EXISTING STORMWATER FLOW PATHS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
 2. ALL INLETS SHALL RECEIVE INLET PROTECTION MEASURES IN AND ADJACENT TO WORK AREAS. ALL LOCATIONS MAY NOT SHOW ON THIS PLAN.

CONSTRUCTION SEQUENCE:
 • OBTAIN ALL PERMITS
 • PRE-CONSTRUCTION MEETING
 • NOTIFY MUNICIPALITY AND REGULATORY AGENCIES OF THE START OF CONSTRUCTION
 • INSTALL ALL SOIL EROSION CONTROL MEASURES (INLET PROTECT, SILT FENCE, HAYBALES, ETC.)
 • GENERAL DEMOLITION AND REMOVAL
 • MILLING
 • FULL DEPTH PAVEMENT INSTALLATION
 • CONCRETE FLATWORK
 • PAVING AND STRIPING
 • TOPSOIL AND SEED ALL LAWN AREAS
 • REMOVE SOIL EROSION CONTROL MEASURES

REFERENCE:
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SOIL EROSION AND SEDIMENT CONTROL NOTES

- I. DESCRIPTION OF WORK PROVIDE ALL MEANS NECESSARY TO INSTALL, INSPECT AND MAINTAIN, AND REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE DRAWINGS AND AS REQUIRED TO MINIMIZE THE EROSION AND UNSPECIFIED TRANSPORT OF SOIL FROM THE SITE.
- II. QUALITY ASSURANCE
 - A) GENERAL
 1. INSTALL AND MAINTAIN IN COMPLIANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
 2. RETAIN A COPY OF THE PROJECTS NOTICE ON INTENT (NOI), A BRIEF DESCRIPTION OF THE PROJECT, POSTED IN A PROMINENT PLACE FOR PUBLIC VIEWING, AND A COPY OF THE PROJECTS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AT THE CONSTRUCTION SITE FROM THE DATE OF INITIATION OF CONSTRUCTION ACTIVITIES TO THE DATE OF THE NOTICE OF TERMINATION (NOT) SUBMISSION.
 3. INSTALL IN ACCORDANCE WITH THE DRAWINGS OR NEW YORK STANDARDS AND SPECIFICATIONS FOR SOIL EROSION & SEDIMENT CONTROL, AUGUST 2005 (N.Y. GUIDELINES) OR THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MANUAL SERIES, WESTCHESTER COUNTY, NY, 1991 (W.C. GUIDELINES), WHICHEVER IS STRICTER.
 4. GRADE AND MAINTAIN SITE AT ALL TIMES SUCH THAT ALL STORM WASTE RUNOFF FROM DISTURBED AREAS IS DIVERTED TO SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES.
 5. NO CHANGES TO THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE MADE WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
 6. IF MORE THAN 5 ACRES OF SOIL, NOT PROTECTED BY EROSION AND SEDIMENTATION CONTROL MEASURES, CAN BE DISTURBED AT ANY TIME, THE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS RELATING TO THE PREVENTION AND ABATEMENT OF POLLUTION.
 7. PRODUCT DATA: SUBMIT MANUFACTURER'S CATALOGUE CUTS, SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR SILT FENCES, FILTER FABRICS, EROSION CONTROL BLANKETS, TRASH RACKS, ANTI-SEEP COLLARS, AND SEDIMENT BASIN RISER AND BARREL PIPES.
 - B) WORK SCHEDULE
 1. PRECONSTRUCTION PHASE:
 - I. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - II. PRIOR TO CLEARING VEGETATION IN WATERSHED, INSTALL PERIMETER SILT FENCE/HAY BALES AND SILT FENCE.
 - III. PRIOR TO GRUBBING AND GRADINGS WITHIN A SPECIFIC WATER SHED INSTALL:
 - 1) TEMPORARY SEDIMENT BASINS, AND
 - 2) TEMPORARY EARTH DIKES/SWALES
 2. CONSTRUCTION PHASE
 - I. INSPECT AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES UNTIL THEIR REMOVAL AS SPECIFIED. INSPECT MEASURES AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A 0.5 INCH OR GREATER STORM EVENT. STABILIZED AREAS WILL BE INSPECTED MONTHLY UNTIL THE ENTIRE SITE IS STABILIZED. MAINTENANCE WILL BE COMPLETED WITHIN 7 CALENDAR DAYS OF DETERMINING ITS NEED.
 - II. WHEN EXCESS SOIL FROM EARTHWORK ACTIVITIES OCCURS, CONSTRUCT AND STABILIZE SOIL STOCKPILES.
 - III. PROVIDE DUST CONTROL.
 - IV. KEEP PAVED ROADWAYS CLEAN AT ALL TIMES.
 - V. TEMPORARILY STABILIZE AS SPECIFIED.
 - VI. FOLLOWING FINISH GRADING, INSTALL TEMPORARY OR PERMANENT STABILIZATION.
 - VII. IMMEDIATELY FOLLOWING THE INSTALLATION OF CATCH BASIN INLETS INSTALL INLET PROTECTION.
 3. POST CONSTRUCTION PHASE:
 - I. STABILIZE WATERSHED AND HAVE OWNER'S REPRESENTATIVE REVIEW AND APPROVE.

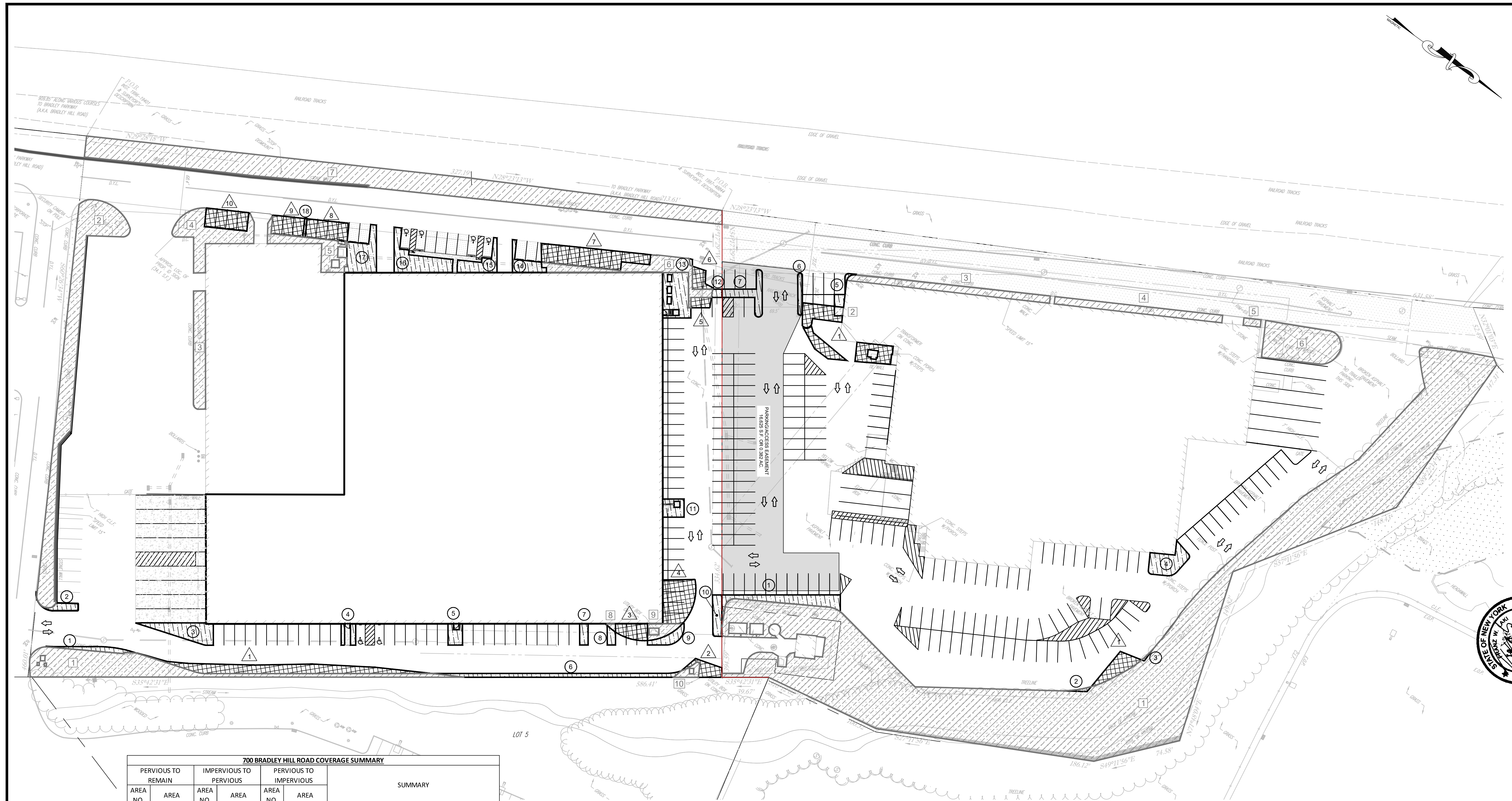
- III. REMOVE TEMPORARY EARTH DIKES AND VEGETATE AND PERMANENTLY STABILIZE THE RELATED DISTURBED AREAS.
 - IV. REMOVE SEDIMENT BASINS AND VEGETATE AND PERMANENTLY STABILIZE THE RELATED DISTURBED AREA.
 - V. HAVE OWNER'S REPRESENTATIVE REVIEW AND APPROVE STABILIZATION OF AREAS NOTED ABOVE.
 - VI. REMOVE PERIMETER SILT FENCE AND VEGETATE AND STABILIZE THE RELATED DISTURBED AREA.
 - VII. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 4) PRODUCTS AND EXECUTION**
- A) SEDIMENT BASINS: ALL PIPE CONNECTIONS AND ANTI-SEEP COLLAR CONNECTIONS SHALL BE WATERTIGHT EXCEPT FOR THE RISER TOP INLET OPENING AND DEWATERING HOLES. EMBANKMENT MATERIAL SHALL BE TAKEN FROM APPROVED AREAS AS DIRECTED BY OWNERS REPRESENTATIVE. IT SHALL BE CLEAN MINERAL SOIL FREE OF ROOTS, WOODY VEGETATION, OVERSIZED STONES, ROCKS, OR OTHER OBJECTIONABLE MATERIAL. RELATIVELY PERVIOUS MATERIAL SUCH AS SAND OR GRAVEL SHALL NOT BE PLACED IN THE EMBANKMENT. AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IT CAN BE FORMED BY HAND INTO A BALL WITHOUT CRUMBLING. IF WATER CAN BE SQUEEZED OUT OF THE BALL THE MATERIALS IS TOO WET FOR PROPER COMPACTION AND UNACCEPTABLE FOR USE IN THE EMBANKMENT. FILL MATERIAL SHALL BE PLACED IN SIX INCH TO EIGHT INCH THICK CONTINUOUS LAYERS OVER THE ENTIRE LENGTH OF THE FILL. COMPACTION SHALL BE OBTAINED BY ROUTING AND HAULING THE CONSTRUCTION EQUIPMENT OVER THE FILL SO THAT THE ENTIRE SURFACE OF EACH LAYER OF THE FILL IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE EQUIPMENT OR BY THE USE OF A COMPACTOR. THE EMBANKMENT SHALL BE CONSTRUCTED TO AN ELEVATION TEN PERCENT HIGHER THAN THE DESIGN HEIGHT TO ALLOW FOR SETTLEMENT.
 - B) INLET PROTECTION: THE FILTER FABRIC SHALL BE MIRAFI 700X OR EQUAL.
 - C) EARTH DIKES: COMPACT DIKES WITH EARTH MOVING EQUIPMENT. EROSION CONTROL BLANKETS SHALL BE BONTERRA CS2 OR EQUAL.
 - D) STABILIZED CONSTRUCTION ENTRANCE: THE FILTER FABRIC SHALL BE MIRAFI 600X OR EQUAL. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
 - E) SILT FENCE: SILT FENCE FABRIC SHALL BE MIRAFI 100X OR EQUAL. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD, A MINIMUM 36 INCHES LONG AND TWO INCHES SQUARE. METAL POSTS SHALL BE STANDARD T AND U SECTION WEIGHING NOT LESS THAN ONE POUND PER LINEAR FOOT. WIRE FENCE BACKING SHALL BE A MINIMUM 14-12 GAGE WITH A MAXIMUM SIX INCH MESH OPENING AND SECURELY ATTACHED TO FENCE POSTS. POSTS SHALL EXTEND A MINIMUM OF 16 INCHES INTO THE GROUND.
 - F) HAY BALE BARRIERS: WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD, A MINIMUM 36 INCHES LONG. METAL POSTS SHALL BE STANDARD T AND U SECTION WEIGHING NOT LESS THAN ONE POUND PER LINEAR FOOT.
 - G) TEMPORARY STABILIZATION:
 - I. ESTABLISHMENT OF TEMPORARY GRASS COVER: PREPARE SEED BED, SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS ROCKS AND STUMPS, AND SEED WITHIN 24 HOURS. AMEND SOIL, LIME SOIL TO PH OF 6.0 AND FERTILIZE AT A RATE OF 14 LBS. PER 1,000 SQUARE FEET WITH A 5-10-10 OR EQUIVALENT FERTILIZER. WORK AMENDMENTS A MINIMUM OF 4 INCHES INTO SOIL. IF SEEDING IN OCTOBER/NOVEMBER SEED SHALL BE CERTIFIED BROODSTOCK WINTER RYE @ 100 LBS. PER ACRE. OTHERWISE SEED SHALL BE RYEGRASS (ANNUAL OR PERENNIAL) @ 30 LBS. PER ACRE.
 - II. MULCH: SMALL GRAIN STRAW MULCH SHALL BE APPLIED AT A RATE OF TWO TONS (100 TO 120 BALES) PER ACRE. SLOPES GREATER THAN 50% SHALL BE IMMEDIATELY MULCHED WITH EROSION CONTROL BLANKETS. BLANKETS SHALL BE BONTERRA S2 INSTALLED AS RECOMMENDED BY MANUFACTURER.
 - III. TREAT ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING AS NECESSARY TO PROVIDE DUST CONTROL. CONFORM TO ALL LOCAL AND STATE REGULATIONS GOVERNING THESE ACTIVITIES.
 - IV. INSTALL TEMPORARY STABILIZATION WITHIN 24 HOURS AFTER THE END OF CONSTRUCTION ACTIVITIES IN AN AREA UNLESS THERE IS SNOW COVER OR CONSTRUCTION ACTIVITIES WILL RESUME WITHIN 21 DAYS.
 - H) CONSTRUCTION VEHICLES: THOROUGHLY WASH DOWN ALL CONSTRUCTION VEHICLES EACH TIME THEY LEAVE THE SITE, AND COVER WITH TARPULINS AS NECESSARY TO PREVENT VEHICLE TRANSPORT OF SEDIMENT OFF-SITE. DIRECT WASTEWATER FROM WASH DOWN OPERATIONS TO A SEDIMENT BASIN.
 - I) THE VILLAGE MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION ON OF DISTURBED SOILS.

LEGEND

- PROPERTY LINE
- STABILIZED CONSTRUCTION ENTRANCE
- APPROX. LIMITS OF DISTURBANCE (0.92 AC)
- X-X- SEDIMENT FENCE FENCE
- SOIL TYPE BOUNDARY LINE
- ⊗ DROP INLET PROTECTION
- Ux Urban land
- Ad Alden silt loam
- ReB Riverhead fine sandy loam, 3 to 8 percent slopes
- Us Udorthents, smoothed

Scale: 1"= 40'

FRANZ W. LAKI, P.E. PROFESSIONAL ENGINEER N.Y. LIC. NO. 96772	
700 & 800 BRADLEY HILL ROAD SECTION 65.18, BLOCK 1, LOTS 3 & 4 TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.	
SOIL EROSION AND SEDIMENT CONTROL PLAN	
job no.	10642
drawing no.	
12A MAPLE AVE., PINE BROOK, N.J. 07068 PH: 973-808-9060	
SESI CONSULTING ENGINEERS SOILS / FOUNDATIONS SITE DESIGN ENVIRONMENTAL	
eng. by: RDM	chk. by: FL
scale: AS NOTED	date: 8/31/2020
rev.	date
1	10/30/20
REV. PER TOWNSHIP'S REVIEW LTRS DATED 10/21/20 AND 10/27/20	
RDM	




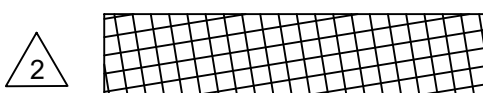

700 BRADLEY HILL ROAD COVERAGE SUMMARY

AREA NO.	PERVIOUS TO REMAIN		IMPERVIOUS TO PERVIOUS		PERVIOUS TO IMPERVIOUS		SUMMARY		
	AREA	AREA NO.	AREA	AREA NO.	AREA	AREA NO.	TOTAL (SF)	TOTAL (AC)	
1	3258	1	199	1	1351				
2	4397	2	139	2	257	PERVIOUS TO IMPERVIOUS	6067	0.14	
3	1006	3	684	3	332	IMPERVIOUS TO PERVIOUS	6177	0.14	
4	1413	4	133	4	937	NET	-110		
5	778	5	196	5	145	REDUCTION IN IMPERVIOUS			
6	1175	6	631	6	213				
7	8725	7	128	7	1291				
8	31	8	95	8	550				
9	233	9	228	9	425				
10	141	10	269	10	566				
		11	254						
		12	59						
		13	872						
		14	305						
		15	414						
		16	822						
		17	718						
		18	31						

800 BRADLEY HILL ROAD COVERAGE SUMMARY

AREA NO.	PERVIOUS TO REMAIN		IMPERVIOUS TO PERVIOUS		PERVIOUS TO IMPERVIOUS		SUMMARY		
	AREA	AREA NO.	AREA	AREA NO.	AREA	AREA NO.	TOTAL (SF)	TOTAL (AC)	
1	35895	1	742	1	1164				
2	55	2	31	2	426	PERVIOUS TO IMPERVIOUS	1590	0.04	
3	1015	3	12			IMPERVIOUS TO PERVIOUS	2029	0.05	
4	894	4	576			NET	-439		
5	91	5	116			REDUCTION IN IMPERVIOUS			
6	1860	6	134						
		7	418						

LEGEND

-  IMPERVIOUS TO PERVIOUS
-  PERVIOUS TO IMPERVIOUS
-  PERVIOUS TO REMAIN

REFERENCE:

- EXIST CONDITIONS & BOUNDARY FOR 700 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - 'BUILDING #3'"; PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 8/3/2020
- EXIST CONDITIONS & BOUNDARY FOR 800 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - 'BUILDING #3'"; PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 8/3/2020

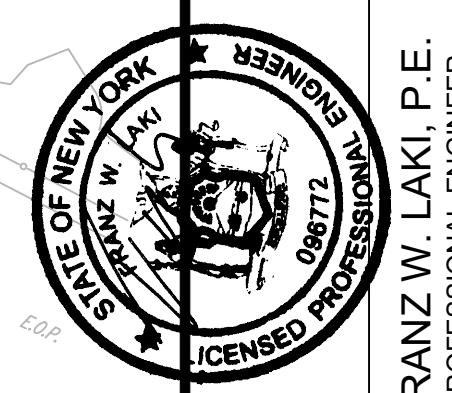
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rev.	date	description

dwg by: RDM
chk by: FL
scale: AS NOTED
date: 10/30/2020

SESI
CONSULTING ENGINEERS
SOILS / FOUNDATIONS
SITE DESIGN
ENVIRONMENTAL

12A MAPLE AVE. PINE BROOK, N.J. 07068 PH: 973-808-9050



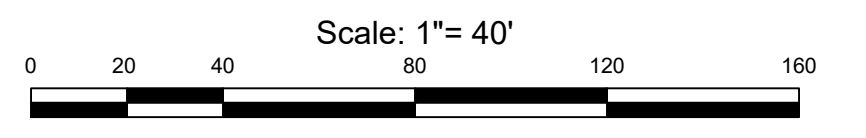
FRANZ W. LAKI, P.E.
PROFESSIONAL ENGINEER
N.Y. LIC. NO. 96172

700 & 800 BRADLEY HILL ROAD
SECTION 65.18, BLOCK 1, LOTS 3 & 4
TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.

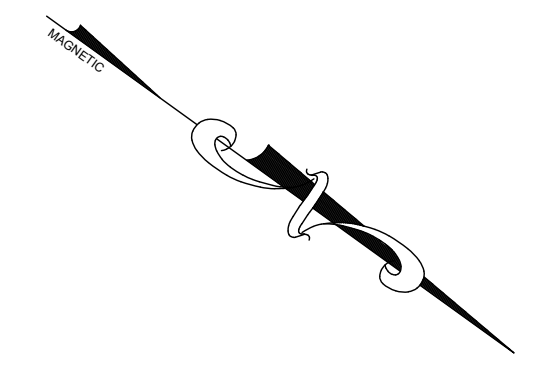
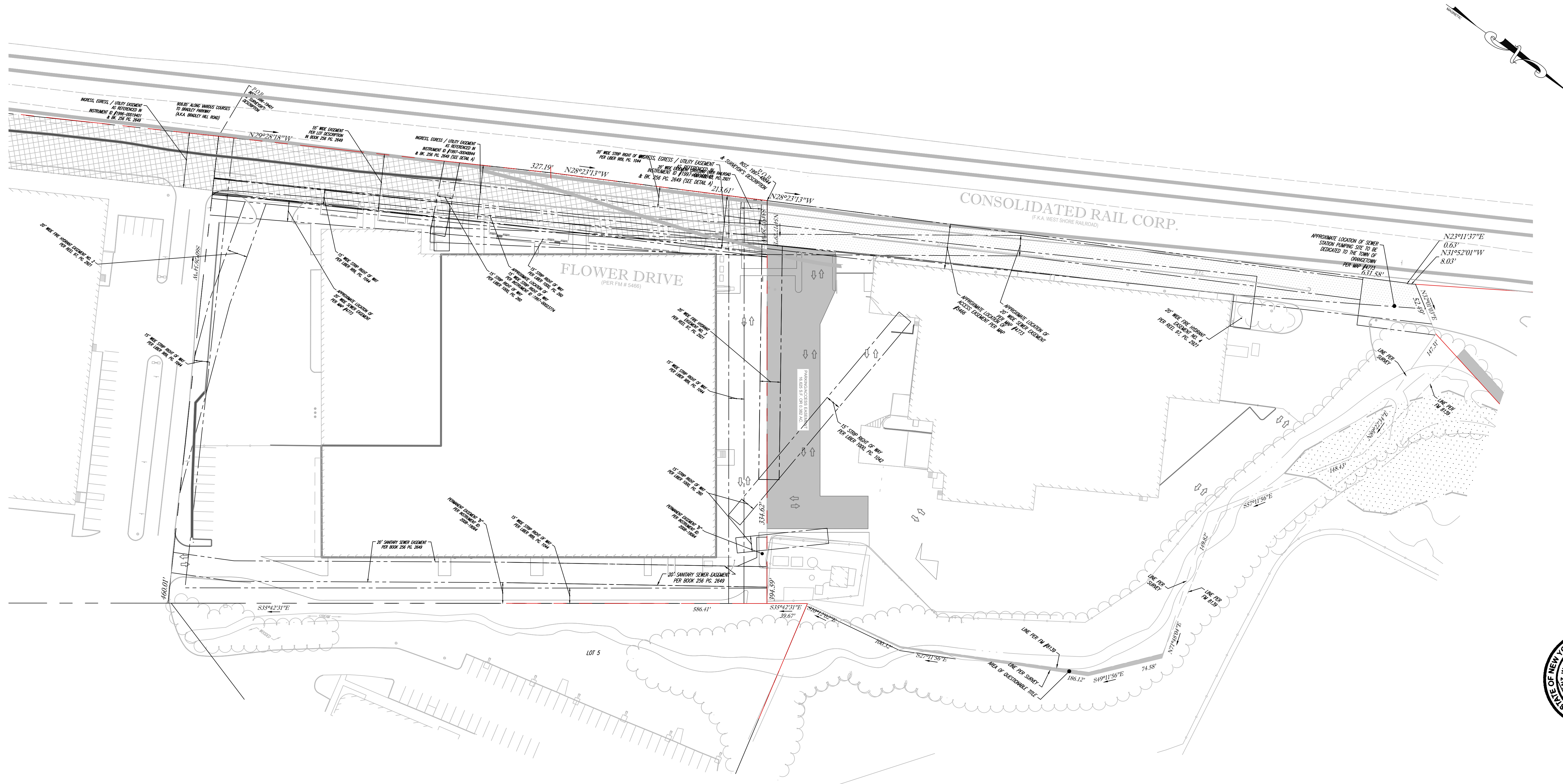
IMPERVIOUS COVERAGE PLAN

job no. 10642
drawing no.

IC-1



N:\CAD\10642\10642_700 BRADLEY EASEMENT.DWG, 10/29/20 05:01:58PM, com, LAYOUT1-E-1



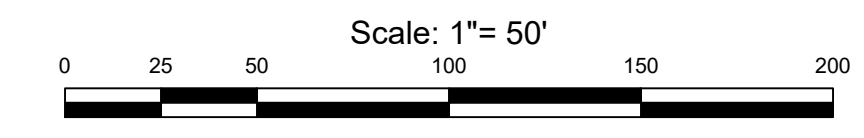
REFERENCE:

- EXIST CONDITIONS, BOUNDARY AND EASEMENT INFORMATION FOR 700 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - "BUILDING #3," PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020
- EXIST CONDITIONS, BOUNDARY AND EASEMENT INFORMATION FOR 800 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 3, 800 BRADLEY HILL ROAD - "BUILDING #4," PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020

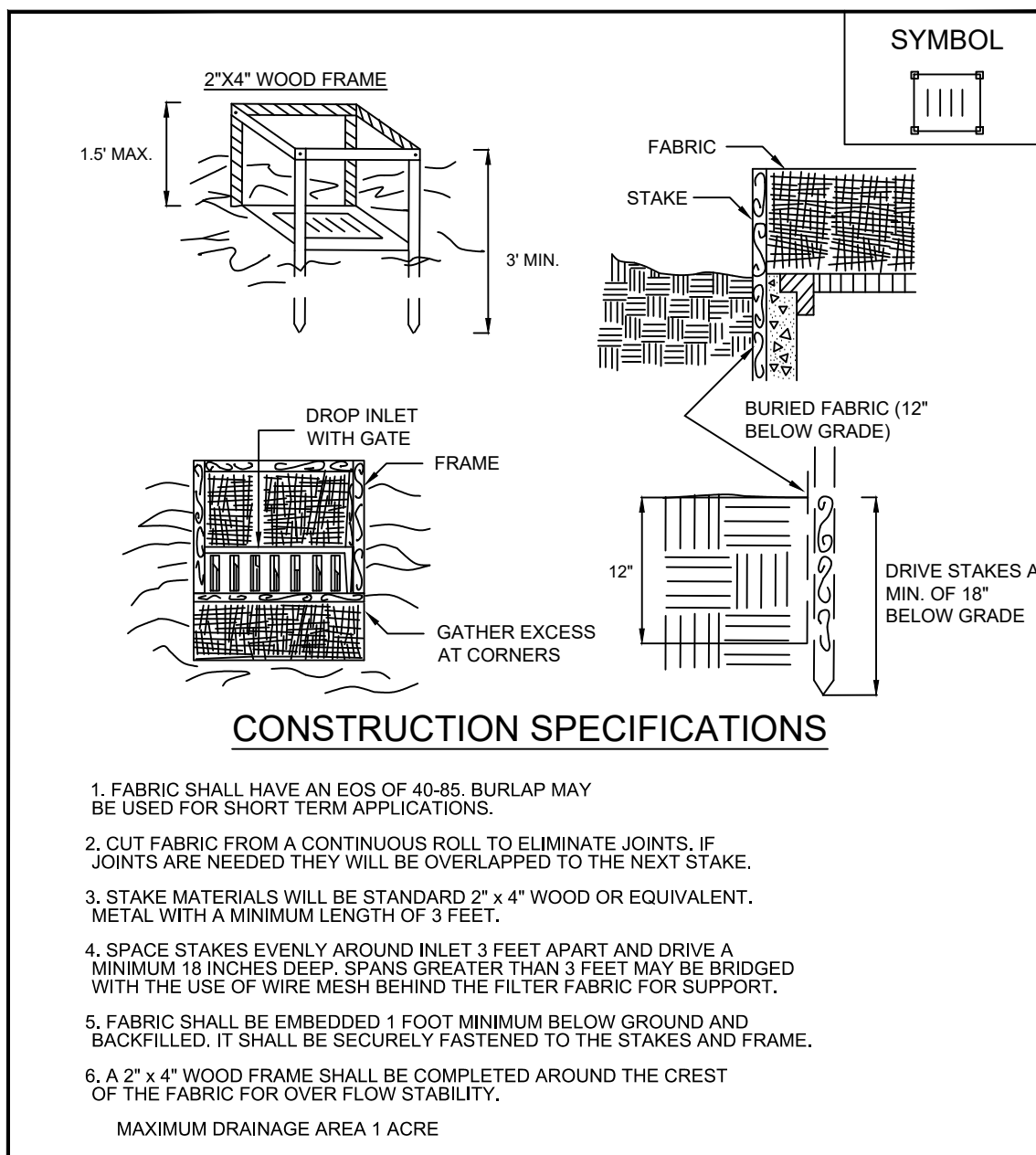
NOTE:

- REFER TO "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - "BUILDING #3," PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020, AND "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 3, 800 BRADLEY HILL ROAD - "BUILDING #4," PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020 FOR ADDITIONAL INFORMATION REGARDING EXISTING EASEMENTS.

NYS Education Law
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	<p>SESI CONSULTING ENGINEERS SOILS / FOUNDATIONS SITE DESIGN ENVIRONMENTAL</p> <p>12A MAPLE AVE. PINE BROOK, N.J. 07068 PH: 973-808-5050</p>	
	<p>FRANZ W. LAKI, P.E. PROFESSIONAL ENGINEER N.Y. LIC. NO. 96772</p>	
	<p>700 & 800 BRADLEY HILL ROAD SECTION 65.18, BLOCK 1, LOTS 3 & 4 TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.</p>	
<p>SITE EASEMENT PLAN</p>		<p>job no. 10642 drawing no.</p>
<p>dwg by: RDM chg by: FL scale: AS NOTED date: 10/30/2020</p>	<p>rev</p>	<p>description</p>
<p>E-1</p> <p>8 of 11</p>		

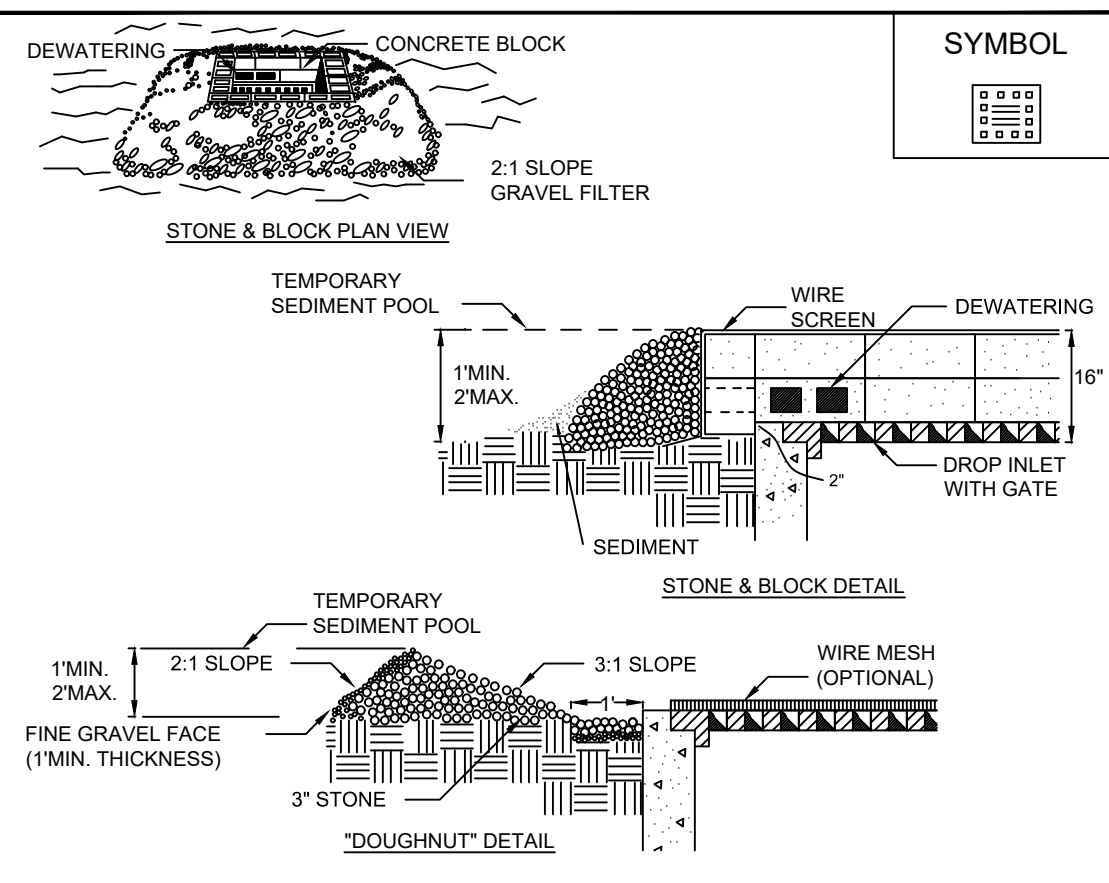


SYMBOL

CONSTRUCTION SPECIFICATIONS

- FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPRINGS GREATER THAN 6 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

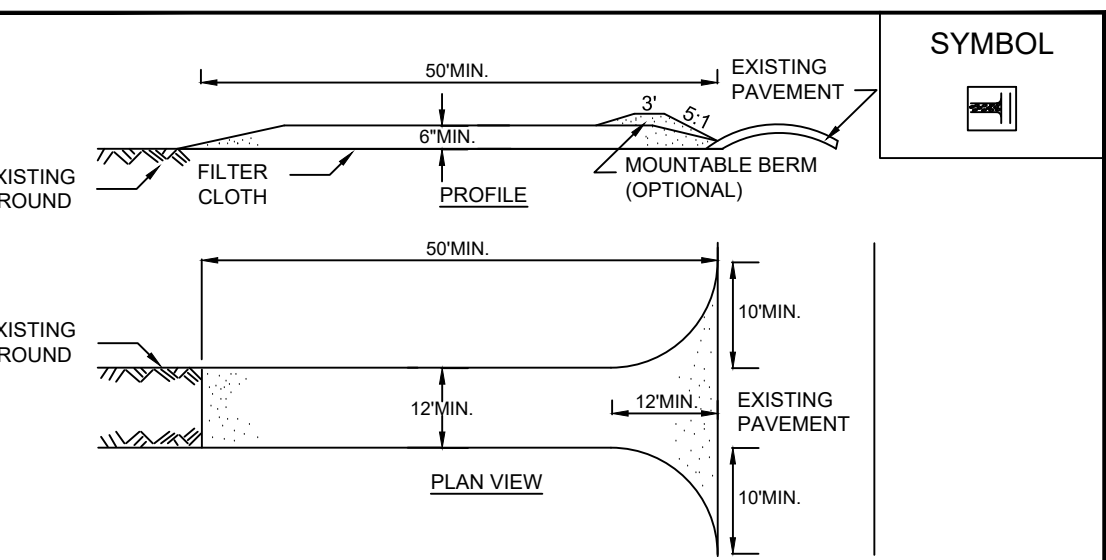


SYMBOL

CONSTRUCTION SPECIFICATIONS

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

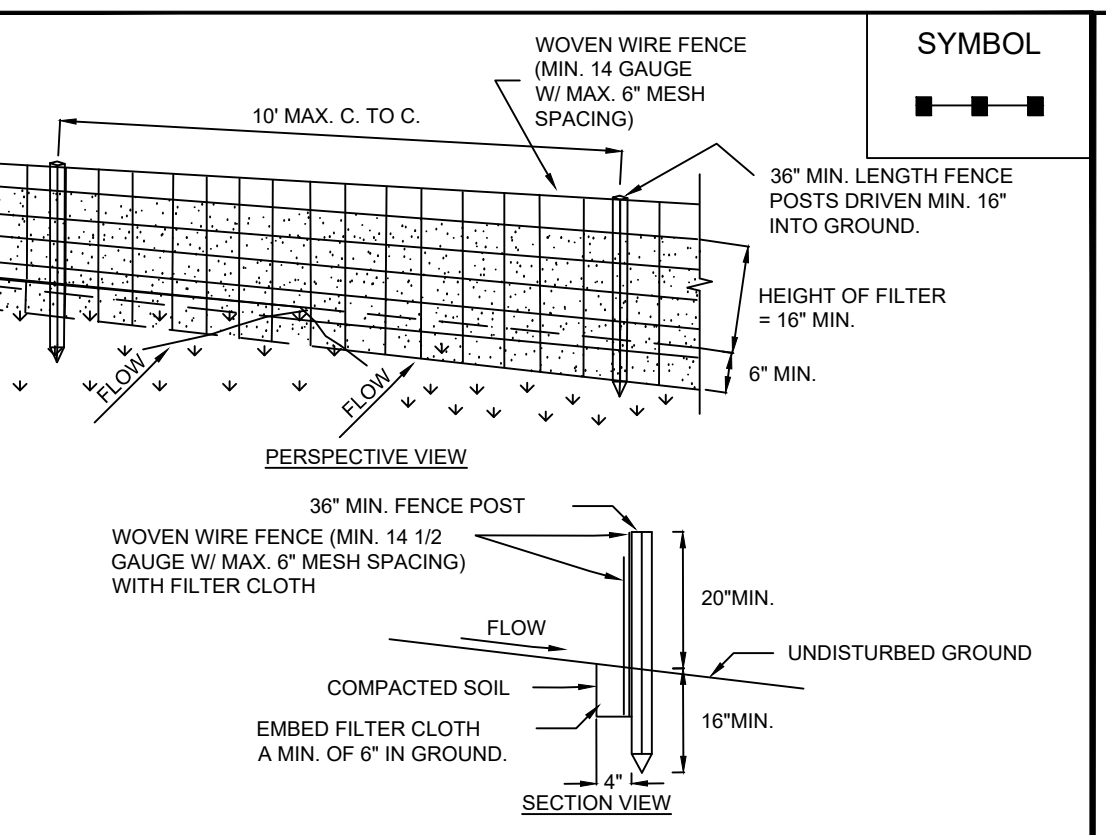


SYMBOL

CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1/4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

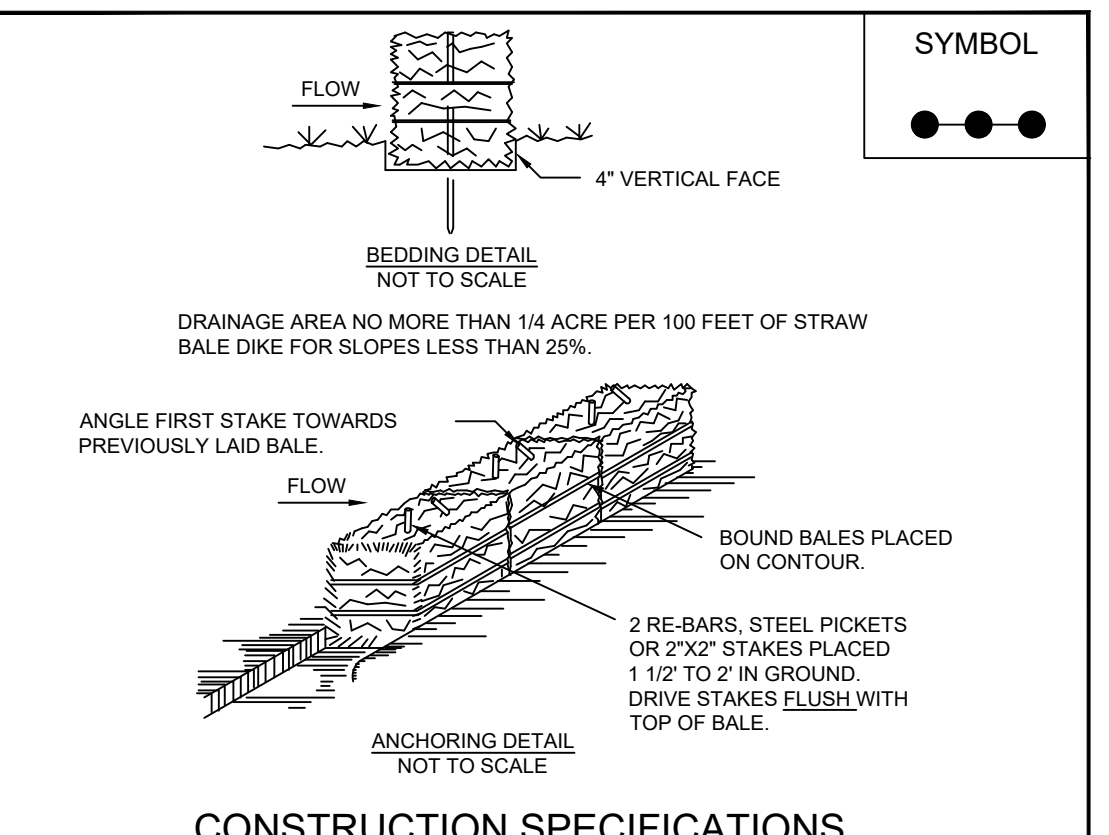


SYMBOL

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAF100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PRE-FABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

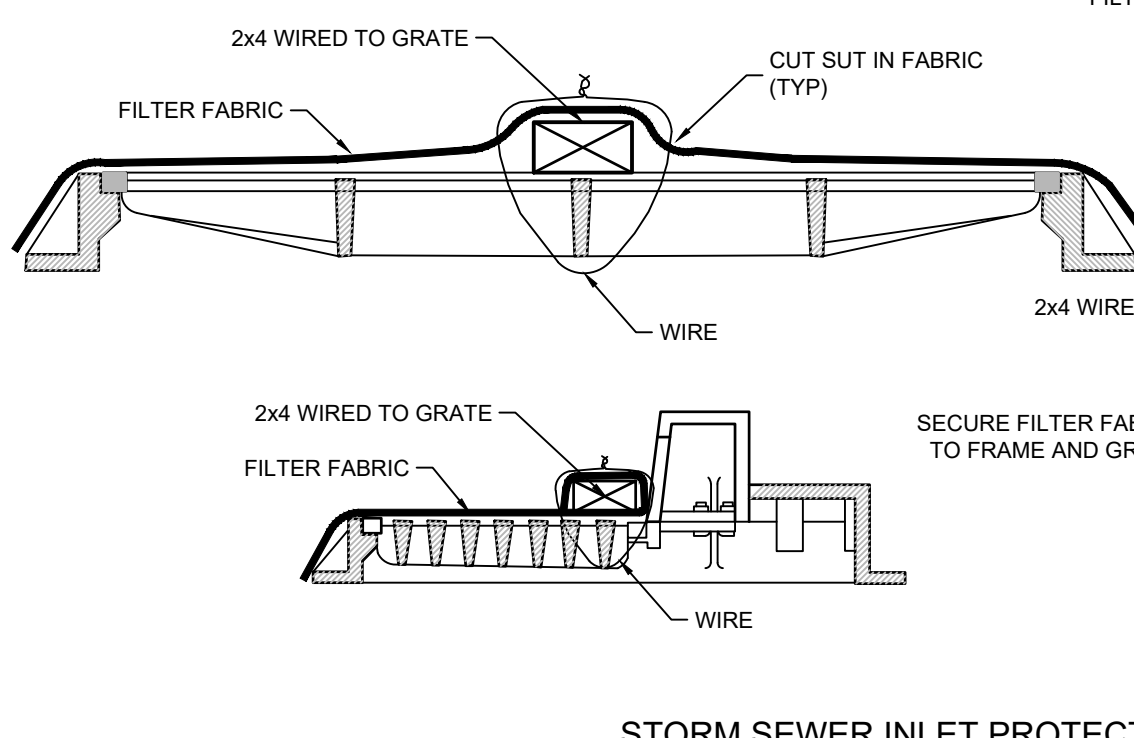


SYMBOL

CONSTRUCTION SPECIFICATIONS

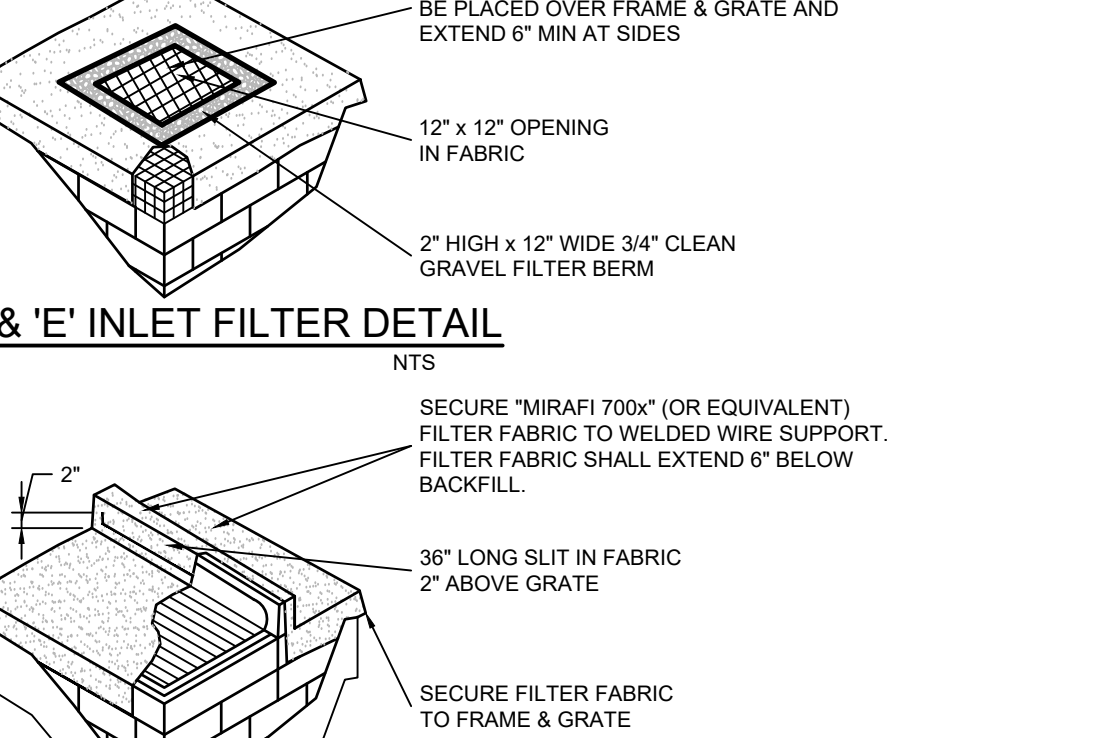
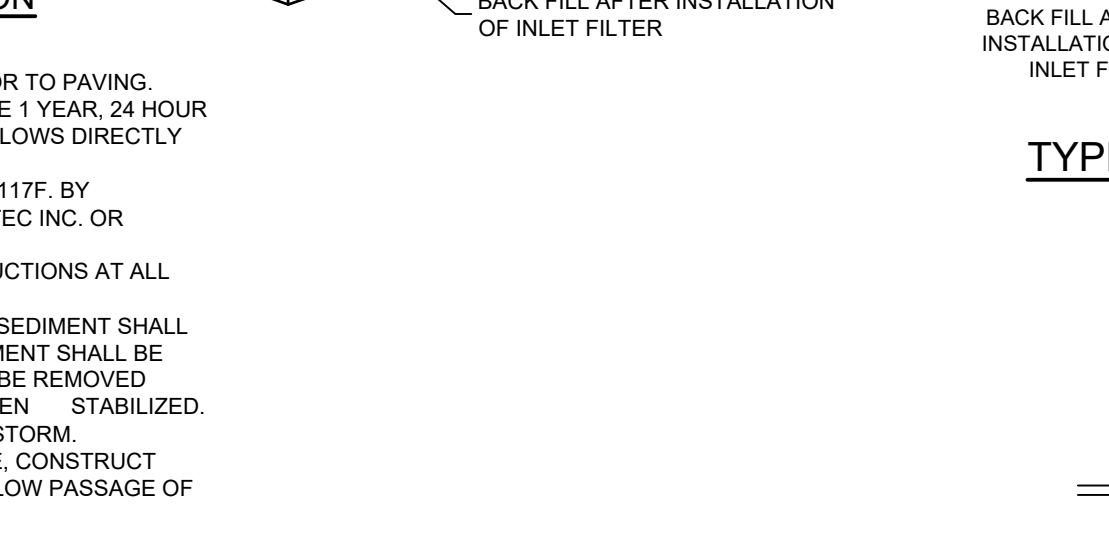
- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE



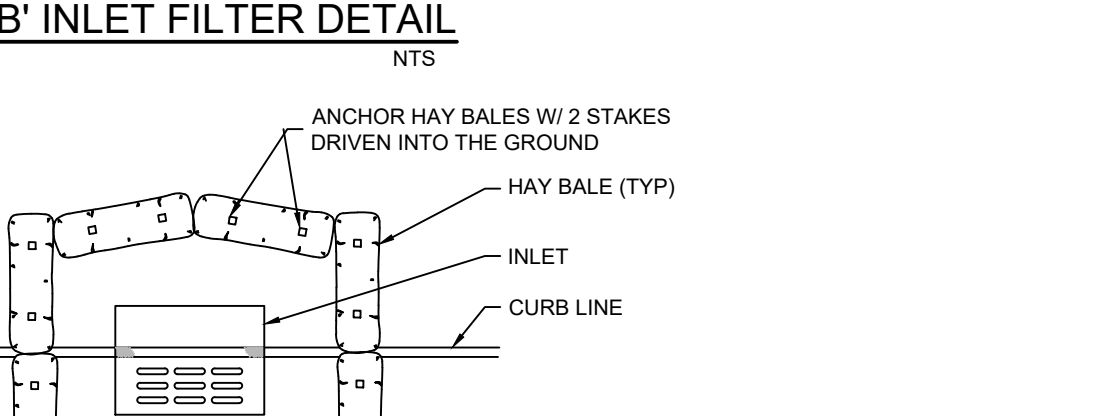
STORM SEWER INLET PROTECTION

- NOTES:
- CONTRACTOR TO REMOVE FABRIC AND WIRE MESH PRIOR TO PAVING.
 - THE FILTER WILL CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
 - GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT 117F. BY SYNTHETIC INDUSTRIES INC. OR TERRATEX SC, BY WETEC INC. OR APPROVED EQUAL.
 - INLET GRATE OPENING IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.
 - INSPECTIONS SHALL BE FREQUENT AND ACCUMULATED SEDIMENT SHALL BE REMOVED. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY. AS NEEDED, THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.
 - CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
 - IF BOTTOM OF ROADWAY IS BELOW TOP OF INLET GRATE, CONSTRUCT PROPERLY FITTED OPENING(S) IN INLET WALL TO ALLOW PASSAGE OF WATER.



TYPE 'A' & 'E' INLET FILTER DETAIL

- NOTES:
- WIRE MESH W/ 1/2" OPENINGS SHALL BE PLACED OVER FRAME & GRATE AND EXTEND 6" MIN AT SIDES.
 - 12" x 12" OPENING IN FABRIC.
 - 2" HIGH x 12" WIDE 3/4" CLEAN GRAVEL FILTER BERM.
 - SECURE "MIRAFI 700X" (OR EQUIVALENT) FILTER FABRIC TO WELDED WIRE SUPPORT. FILTER FABRIC SHALL EXTEND 6" BELOW BACKFILL.
 - 36" LONG SLIT IN FABRIC 2" ABOVE GRATE.
 - SECURE FILTER FABRIC TO FRAME & GRATE.



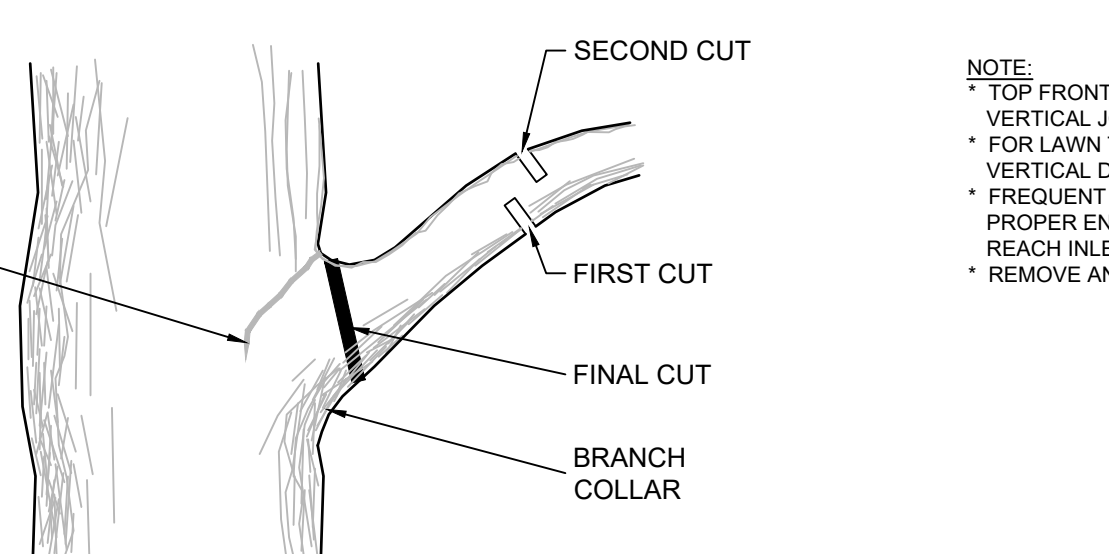
TYPE 'B' INLET FILTER DETAIL

- NOTES:
- ANCHOR HAY BALES W/ 2 STAKES DRIVEN INTO THE GROUND.
 - HAY BALE (TYP).
 - INLET.
 - CURB LINE.



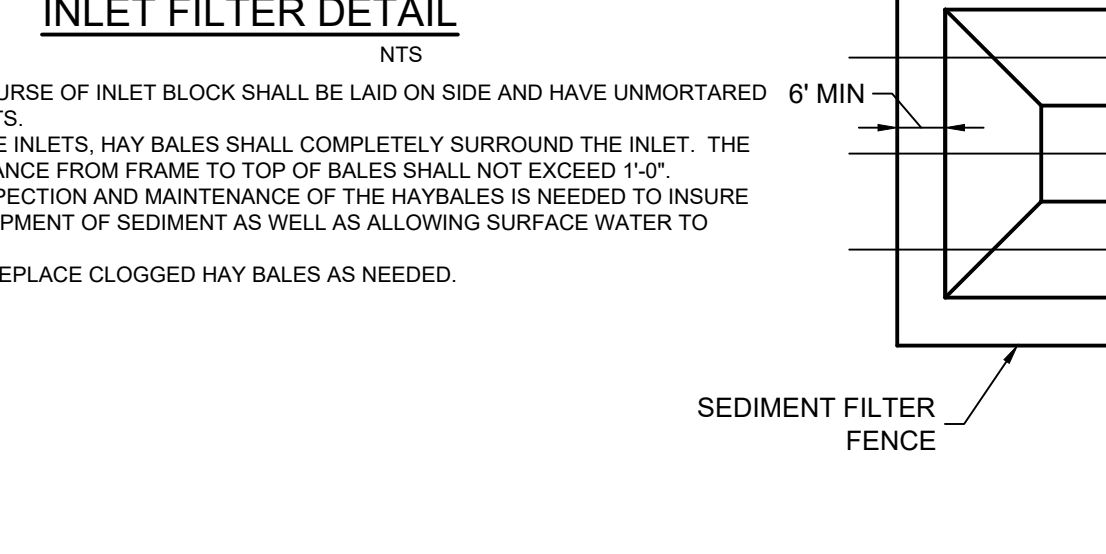
FENCING DETAIL - TREE PROTECTION

- NOTES:
- CONSTRUCTION FENCE OR OTHER PROTECTIVE BARRIER SHALL BE INSTALLED OUTSIDE OF THE CRITICAL ROOT RADIUS.
 - BOARDS SHALL NOT BE NAILED TO TREES.
 - ROOTS SHALL NOT BE CUT OR DAMAGED WITHIN THE CRITICAL ROOT RADIUS.



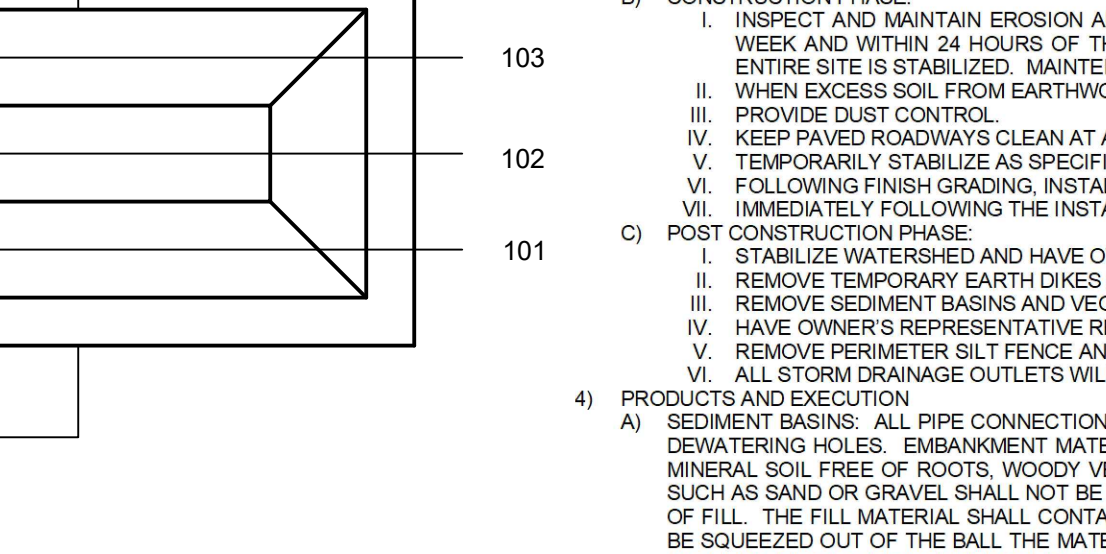
TREE LIMB REMOVAL DETAIL

- NOTES:
- CARE FOR SERIOUS INJURY SHOULD BE PRESCRIBED BY A PROFESSIONAL OR A LICENSED TREE EXPERT.
 - TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO THE TRUNK OR MAIN BRANCH.



INLET FILTER DETAIL

- NOTE:
- TOP FRONT COURSE OF INLET BLOCK SHALL BE LAID ON SIDE AND HAVE UNMORTARED 6" MIN VERTICAL JOINTS.
 - FOR LAWN TYPE INLETS, HAY BALES SHALL COMPLETELY SURROUND THE INLET. THE VERTICAL DISTANCE FROM FRAME TO TOP OF BALES SHALL NOT EXCEED 1'-0".
 - FREQUENT INSPECTION AND MAINTENANCE OF THE HAYBALES IS NEEDED TO INSURE PROPER ENTRAPMENT OF SEDIMENT AS WELL AS ALLOWING SURFACE WATER TO REACH INLET.
 - REMOVE AND REPLACE CLOGGED HAY BALES AS NEEDED.



TOPSOIL STOCKPILE

- NOTES:
- PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - ALL SIDE SLOPES SHALL BE 3 TO 1 OR FLATTER.
 - STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQ.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- DESCRIPTION OF WORK PROVIDE ALL MEANS NECESSARY TO INSTALL, INSPECT AND MAINTAIN, AND REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE DRAWINGS AND AS REQUIRED TO MINIMIZE THE EROSION AND UNSPECIFIED TRANSPORT OF SOIL FROM THE SITE.
- QUALITY ASSURANCE
 - GENERAL
 - INSTALL AND MAINTAIN IN COMPLIANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
 - RETAIN A COPY OF THE PROJECT'S NOTICE ON INTENT (NOI), A BRIEF DESCRIPTION OF THE PROJECT, POSTED IN A PROMINENT PLACE FOR PUBLIC VIEWING, AND A COPY OF THE PROJECT'S STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AT THE CONSTRUCTION SITE FROM THE DATE OF INITIATION OF CONSTRUCTION ACTIVITIES TO THE DATE OF TERMINATION (NOT) SUBMISSION.
 - NO CHANGES TO THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE MADE WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
 - NO MORE THAN 5 ACRES OF SOIL, NOT PROTECTED BY EROSION AND SEDIMENTATION CONTROL MEASURES, CAN BE DISTURBED AT ANY TIME.
 - THE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS RELATING TO THE PREVENTION AND ABATEMENT OF POLLUTION.
 - PRODUCT DATA: SUBMIT MANUFACTURER'S CATALOGUE CUTS, SPECIFICATIONS, AND INSTALLATION INSTRUCTIONS FOR SILT FENCES, FILTER FABRICS, EROSION CONTROL BLANKETS, TRASH RACKS, ANTI-SEEP COLLARS, AND SEDIMENT BASIN RISER AND BARRER PIPES.
 - WORK SCHEDULE
 - PRECONSTRUCTION PHASE
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - PRIOR TO CLEARING VEGETATION IN WATERSHED, INSTALL PERIMETER SILT FENCE/HAY BALES AND SILT FENCE.
 - PRIOR TO GRUBBING AND GRADING WITHIN A SPECIFIC WATER SHED INSTALL:
 - TEMPORARY SEDIMENT BASINS, AND
 - TEMPORARY EARTH DIKES/VALES
 - CONSTRUCTION PHASE
 - INSPECT AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES UNTIL THEIR REMOVAL AS SPECIFIED. INSPECT MEASURES AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A 0.5 INCH OR GREATER STORM EVENT. STABILIZED AREAS WILL BE INSPECTED MONTHLY UNTIL THE ENTIRE SITE IS STABILIZED. MAINTENANCE WILL BE COMPLETED WITHIN 7 CALENDAR DAYS OF DETERMINING ITS NEED.
 - WHEN EXCESS SOIL FROM EARTHWORK ACTIVITIES OCCURS, CONSTRUCT AND STABILIZE SOIL STOCKPILES.
 - PROVIDE DUST CONTROL.
 - KEEP PAVED ROADWAYS CLEAN AT ALL TIMES.
 - TEMPORARILY STABILIZE AS SPECIFIED.
 - FOLLOWING FINISH GRADING, INSTALL TEMPORARY OR PERMANENT STABILIZATION.
 - IMMEDIATELY FOLLOWING THE INSTALLATION OF CATCH BASIN INLETS INSTALL INLET PROTECTION.
 - POST CONSTRUCTION PHASE
 - STABILIZE WATERSHED AND HAVE OWNER'S REPRESENTATIVE REVIEW AND APPROVE.
 - REMOVE TEMPORARY EARTH DIKES AND VEGETATE AND PERMANENTLY STABILIZE THE RELATED DISTURBED AREAS.
 - REMOVE SEDIMENT BINS AND VEGETATE AND PERMANENTLY STABILIZE THE RELATED DISTURBED AREA.
 - HAVE OWNER'S REPRESENTATIVE REVIEW AND APPROVE STABILIZATION OF AREAS NOTED ABOVE.
 - REMOVE PERIMETER SILT FENCE AND VEGETATE AND STABILIZE THE RELATED DISTURBED AREA.
 - ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
 - PRODUCTS AND EXECUTION
 - SEDIMENT BASINS: ALL PIPE CONNECTIONS AND ANTI-SEEP COLLAR CONNECTIONS SHALL BE WATERTIGHT EXCEPT FOR THE RISER TOP INLET OPENING AND DEWATERING HOLES. EMBANKMENT MATERIAL SHALL BE TAKEN FROM APPROVED AREAS AS DIRECTED BY OWNERS REPRESENTATIVE. IT SHALL BE CLEAN MINERAL SOIL, FREE OF ROOTS, WOODY VEGETATION, OVERSIZED STONES, ROCKS, OR OTHER OBJECTIONABLE MATERIAL. RELATIVELY PERVIOUS MATERIAL SUCH AS SAND OR GRAVEL SHALL NOT BE PLACED IN THE EMBANKMENT. AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IT CAN BE FORMED BY HAND INTO A BALL WITHOUT CRUMBLING. IF WATER CAN BE SQUEEZED OUT OF THE BALL THE MATERIALS IS TOO WET FOR PROPER COMPACTION AND UNACCEPTABLE FOR USE IN THE EMBANKMENT. FILL MATERIAL SHALL BE PLACED IN SIX INCH TO EIGHT INCH THICK CONTINUOUS LAYERS OVER THE ENTIRE LENGTH OF THE FILL. COMPACTION SHALL BE OBTAINED BY ROUTING AND HAULING THE CONSTRUCTION EQUIPMENT OVER THE FILL SO THAT THE ENTIRE SURFACE OF EACH LAYER OF THE FILL IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE EQUIPMENT OR BY THE USE OF A COMPACTOR. THE EMBANKMENT SHALL BE CONSTRUCTED TO AN ELEVATION TEN PERCENT HIGHER THAN THE ADJACENT TERRAIN.
 - INLET PROTECTION: THE FILTER FABRIC SHALL BE MIRAFI 700X OR EQUAL.
 - EARTH DIKES: COMPACT DIKES WITH EARTH MOVING EQUIPMENT. EROSION CONTROL BLANKETS SHALL BE BONTERRA CS2 OR EQUAL.
 - STABILIZED CONSTRUCTION ENTRANCE: THE FILTER FABRIC SHALL BE MIRAFI 600X OR EQUAL. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
 - SILT FENCE: SILT FENCE FABRIC SHALL BE MIRAFI 100X OR EQUAL. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD, A MINIMUM 36 INCHES LONG AND TWO INCHES SQUARE. METAL POSTS SHALL BE STANDARD 1" AND U SECTION WEIGHING NOT LESS THAN ONE POUND PER LINEAR FOOT. WIRE FENCE BACKING SHALL BE A MINIMUM 14-12 GAUGE WITH A MAXIMUM SIX INCH MESH OPENING AND SECURELY ATTACHED TO FENCE POSTS. POSTS SHALL EXTEND A MINIMUM OF 18 INCHES INTO THE GROUND.
 - HAY BALE BARRIERS: WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD, A MINIMUM 36 INCHES LONG. METAL POSTS SHALL BE STANDARD T AND U SECTION WEIGHING NOT LESS THAN ONE POUND PER LINEAR FOOT.
 - TEMPORARY STABILIZATION
 - ESTABLISHMENT OF TEMPORARY GRASS COVER: PREPARE SEED BED, SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS ROCKS AND STUMPS, AND SEED WITHIN 24 HOURS. AMEND SOIL TO PH OF 6.0 AND FERTILIZE AT A RATE OF 14 LBS. PER 1,000 SQUARE FEET WITH A 5-10-10 OR EQUIVALENT FERTILIZER. WORK AMENDMENTS A MINIMUM OF 4 INCHES INTO SOIL. IF SEEDING IN OCTOBER/NOVEMBER SEED SHALL BE CERTIFIED AROOSTOOK WINTER RYE @ 100 LBS. PER ACRE. OTHERWISE SEED SHALL BE RYEGRASS (ANNUAL OR PERENNIAL) @ 30 LBS. PER ACRE.
 - MULCH: SMALL GRAIN STRAW MULCH SHALL BE APPLIED AT A RATE OF TWO TONS (100 TO 120 BALES) PER ACRE. SLOPES GREATER THAN 50% SHALL BE IMMEDIATELY MULCHED WITH EROSION CONTROL BLANKETS. BLANKETS SHALL BE BONTERRA S2 INSTALLED AS RECOMMENDED BY MANUFACTURER.
 - TREAT ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING AS NECESSARY TO PROVIDE DUST CONTROL. CONFORM TO ALL LOCAL AND STATE REGULATIONS GOVERNING THESE ACTIVITIES.
 - CONSTRUCTION ACTIVITIES WILL RESUME WITHIN 21 DAYS.
 - CONSTRUCTION VEHICLES: THOROUGHLY WASH DOWN ALL CONSTRUCTION VEHICLES EACH TIME THEY LEAVE THE SITE, AND COVER WITH TARPULLINS AS NECESSARY TO PREVENT VEHICLE TRANSPORT OF SEDIMENT OFF-SITE. DIRECT WASTEWATER FROM WASH DOWN OPERATIONS TO A SEDIMENT BASIN.
 - THE VILLAGE MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION ON OF DISTURBED SOILS.

SESI CONSULTING ENGINEERS
 SOILS / FOUNDATIONS
 SITE DESIGN
 ENVIRONMENTAL

122A MAPLE AVE. PINE BROOK, N.J. 07068 PH: 973-808-9060
 REV: 10/02/20 NEW YORK STATE REVIEWERS DATED 10/10/20 AND 10/27/20
 RDM
 FL
 AS NOTED
 8/3/2020

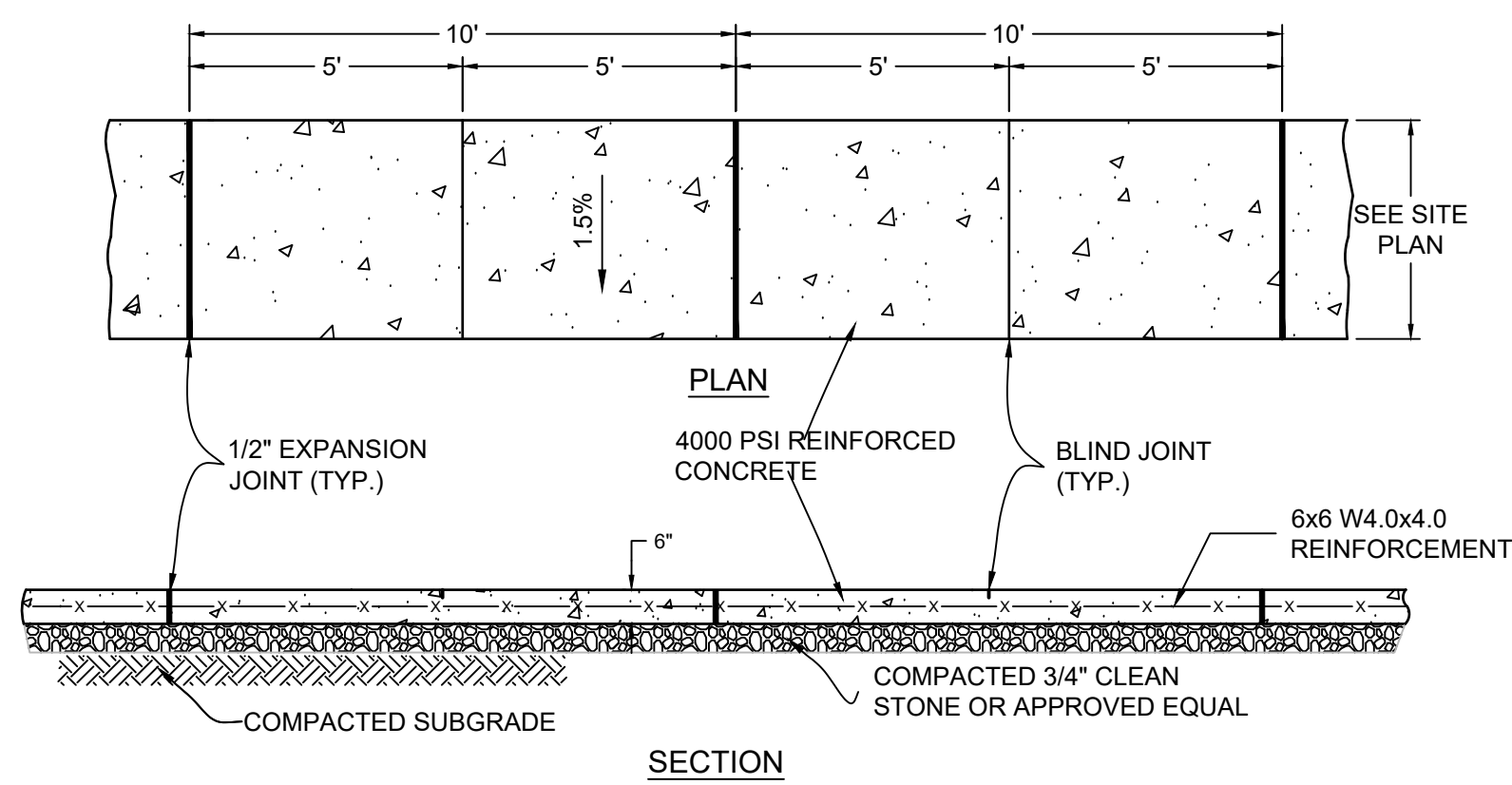
700 & 800 BRADLEY HILL ROAD
 SECTION 65.18, BLOCK 1, LOTS 3 & 4
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.

FRANZ W. LAKE, P.E.
 PROFESSIONAL ENGINEER
 N.Y. LIC. NO. 96772

job no. 10642
 drawing no.

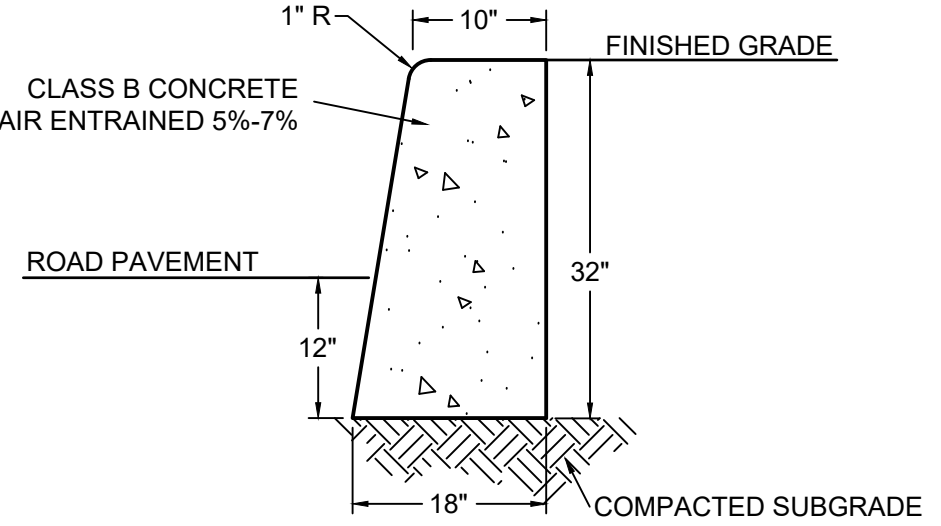
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9 of 11



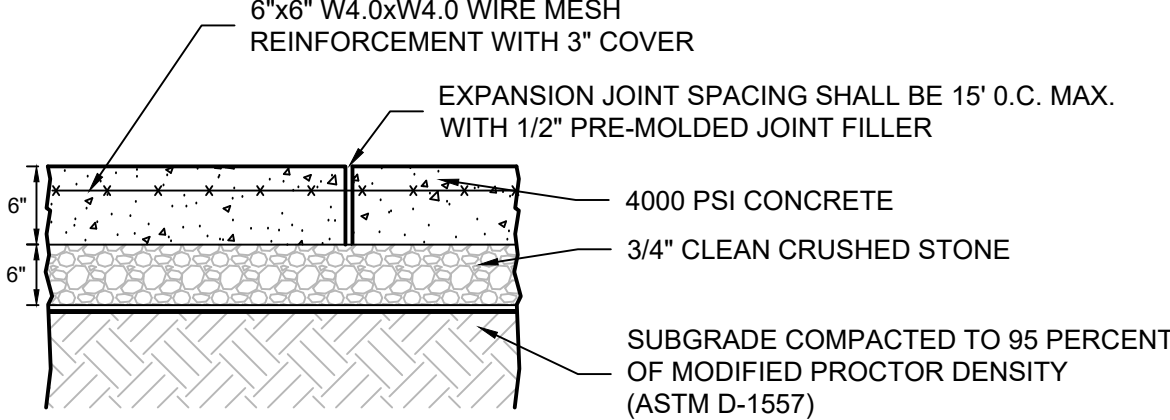
TYPICAL ON GRADE SIDEWALK DETAIL
NTS

- NOTES:**
- SUBGRADE SHALL BE COMPACTED IN A MANNER SUITABLE TO THE TOWNSHIP/DESIGN ENGINEER. CONTRACTOR SHALL PROVIDE ANY ADDITIONAL FILL REQUIRED IN THE FORM OF 3/4" CLEAN STONE TO BRING SUBGRADE TO THE REQUIRED ELEVATION.
 - EXPANSION JOINTS SHALL BE 1/2" WIDE AND FILLED WITH PREFORMED BITUMINOUS IMPREGNATED FIBER JOINT FILLER. THE TOP OF ALL JOINT FILLER SHALL BE 1/4" BELOW THE SURFACE. EXPANSION JOINTS SHALL BE LOCATED 10' ON CENTER, ALTERNATING WITH BLIND JOINTS.
 - BLIND JOINTS ARE TO BE SURFACE GROOVES CUT INTO SIDEWALK 1/2" DEEP AND 1/8" WIDE, AND SHALL BE 10' ON CENTER ALTERNATING WITH EXPANSION JOINTS.
 - REINFORCEMENT FOR SIDEWALK SHALL BE SHEETS OF 6X6-W4.0X4.0 PLACED 1 1/2" FROM SURFACE OF SLAB ON SUITABLE SUPPORTS.
 - CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000PSI AT 28 DAYS; IT SHALL BE PLACED AT 4 INCH ± 1" SLUMP; IT SHALL BE PROPORTIONED AS FOLLOWS:
 - * MIN. 658 LBS. CEMENT/CY TYPE I OR TYPE II.
 - * 6% AIR ENTRAINMENT
 - * MAX. WATER/CEMENT RATIO = 0.48
 - * COURSE AGGREGATE: MIN. 1450 LBS. OF 1/2" CLEAN, CRUSHED, DURABLE STONE CONFORMING TO REQUIREMENTS OF ASTM C33.
 - CONCRETE SHALL NOT BE PLACED ON FROZEN SUBGRADE SOILS. CONCRETE SHALL BE PROTECTED AGAINST FREEZING AND LOSS OF MOISTURE FOR 7 DAYS FOLLOWING PLACEMENT.
 - CONTRACTOR SHALL PROVIDE A CROSS SLOPE OF 1/4" PER FOOT.
 - ALL EDGES SHALL BE ROUNDED AND GIVEN A STEEL TROWEL FINISH. ALL SURFACES SHALL BE GIVEN A BROOM FINISH PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAFFIC.
 - ALL EXPOSED SURFACES ARE TO BE COATED WITH A TRANSLUCENT CURING COMPOUND N.J.D.O.T. STD. SPEC. 8.5.29 IMMEDIATELY FOLLOWING FINAL FINISHING. COVERAGE SHALL NOT BE LESS THAN ONE GALLON PER 200 SQUARE FEET.
 - AT DRIVEWAY CROSSINGS, SIDEWALK SHALL BE 6" THICK. ALL OTHER AREAS SHALL BE 4" THICK.



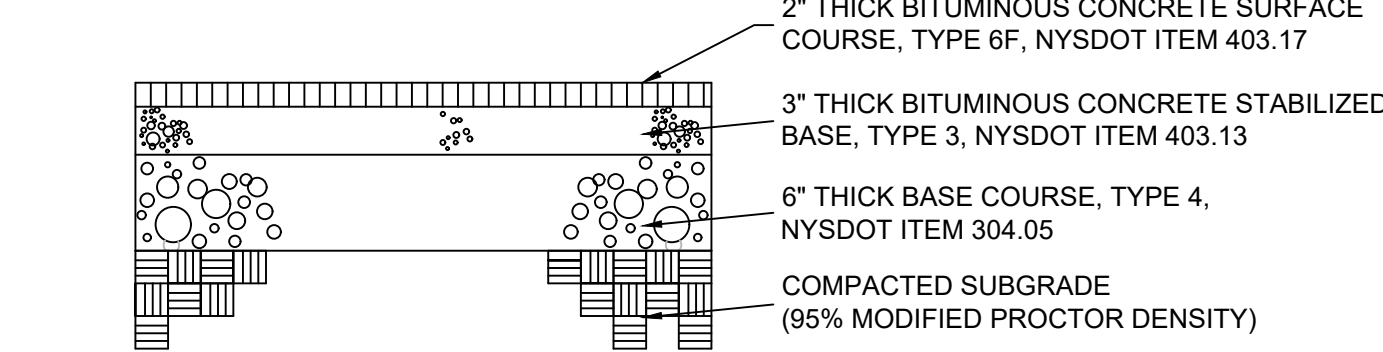
CONCRETE RETAINING CURB
NTS

- NOTES:**
- ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH 3/4" CLEAN CRUSHED STONE. ALL SUBGRADES SHALL BE APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO POURING.
 - EXPANSION JOINTS SHALL BE PROVIDED AT EQUAL DISTANCES OF NOT MORE THAN 20', AT THE START AND FINISH OF ALL CURVED SECTIONS, AND AT ALL STORM SEWER INLETS. JOINTS SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER, 1/2" THICK, CONFORMING TO NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. CONTRACTION JOINTS SHALL BE PROVIDED EVERY 10'. THE JOINT SHALL BE RECESSED 1/4" FROM THE TOP AND FRONT OF THE CONCRETE CURB.
 - CURB SHALL BE TEMPORARILY BACKFILLED TO FINISHED GRADE WITH SOIL BEHIND AND STONE ON THE ROAD AS SOON AS IT HAS ATTAINED SUFFICIENT SUPPORTING STRENGTH OR WITHIN 24 HOURS OF POURING (WHICHEVER IS LESS).
 - WHEN NEW CURB IS INSTALLED ALONG AN EXISTING PAVED AREA, THE EXISTING PAVEMENT SHALL BE CUT 2' IN FRONT OF THE NEW CURB FACE IN A STRAIGHT LINE AT A 45° ANGLE WITH A CUTTING WHEEL OR PNEUMATIC HAMMER. THE NEW PAVEMENT SHALL BE TACKED AND BUTTED TO THE EXISTING PAVEMENT, IN ACCORDANCE WITH PAVEMENT PATCH DETAIL.
 - CURB REPLACEMENT SHALL BE FROM EXPANSION JOINT TO EXPANSION JOINT ONLY.

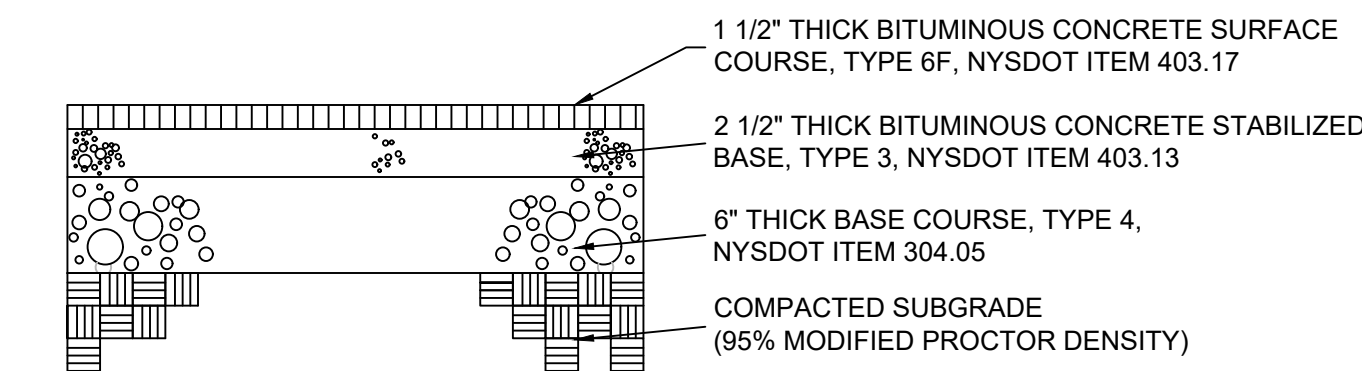


6" THICK REINFORCED CONCRETE PAD DETAIL
NTS

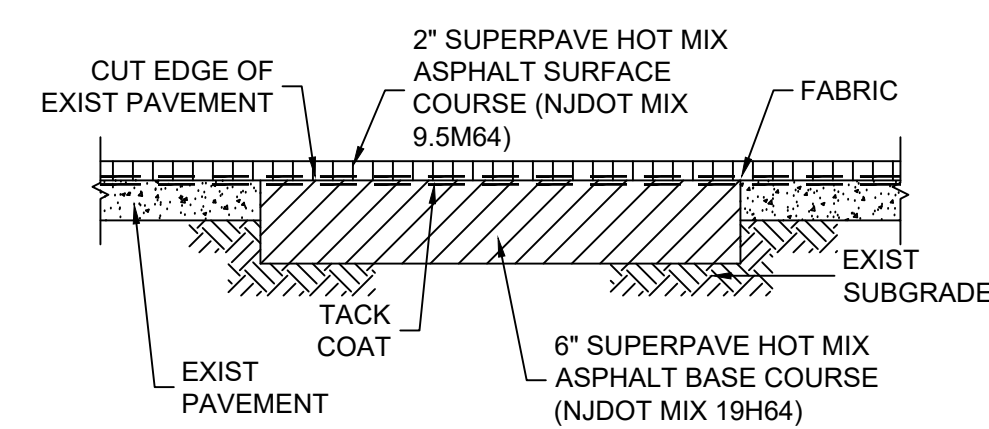
- NOTES:**
- SUBGRADE IS TO BE COMPACTED AS SPECIFIED BY THE DESIGN ENGINEER.
 - THE CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS AND THE MIX DESIGN SHALL BE APPROVED BY THE DESIGN ENGINEER.
 - CONCRETE SHALL BE PROPORTIONED BY THE ADDITION OF 1 1/2 LBS/C.Y. OF POLYPROPYLENE FIBROUS CONCRETE REINFORCEMENT ("E3") AS MANUFACTURED BY FIBERMESH COMPANY. (ALTERNATE)
 - PLACEMENT AND FINISHING SHALL BE IN A CONTINUOUS OPERATION.
 - THE CONCRETE SHALL BE FOGGED AND COVERED WITH POLYETHYLENE AND WET CURED, MAINTAINING MOISTURE CONTENT WHILE COVERED FOR AT LEAST 5 DAYS.
 - CONCRETE SHALL BE PROTECTED FROM BOTH FREEZING AND LOSS OF MOISTURE FOR A PERIOD OF 7 DAYS FROM TIME OF PLACEMENT.
 - CONCRETE SHALL NOT BE PLACED ON FROZEN SUBGRADE SOILS.
 - ALL EDGES SHALL BE ROUNDED AND GIVEN A STEEL TROWEL FINISH.
 - EXPANSION JOINTS ARE TO BE 1/2" WIDE AND FILLED WITH PREFORMED BITUMINOUS TYPE JOINT FILLER. THE TOP OF ALL JOINT FILLER SHALL BE BELOW THE TOP OF THE SURFACE. EXPANSION JOINTS SHALL BE LOCATED 15' (MAX.) ON CENTER.
 - 6" THICK - 3/4" CLEAN STONE CRUSHED STONE BASE SHALL EXTEND 6" HORIZONTALLY BEYOND THE CONCRETE PAD IN ALL DIRECTIONS.
 - ALL CONCRETE SUBJECT TO EXTERIOR EXPOSURE SHALL BE AIR ENTRAINED 4% TO 6%.
 - COLD WEATHER CONCRETE SHALL BE DONE IN ACCORDANCE WITH ACI-306. HOT WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH ACI-305.



TYPICAL TRUCK PAVEMENT DETAIL - NY
NTS



TYPICAL CAR PAVEMENT DETAIL - NY
NTS

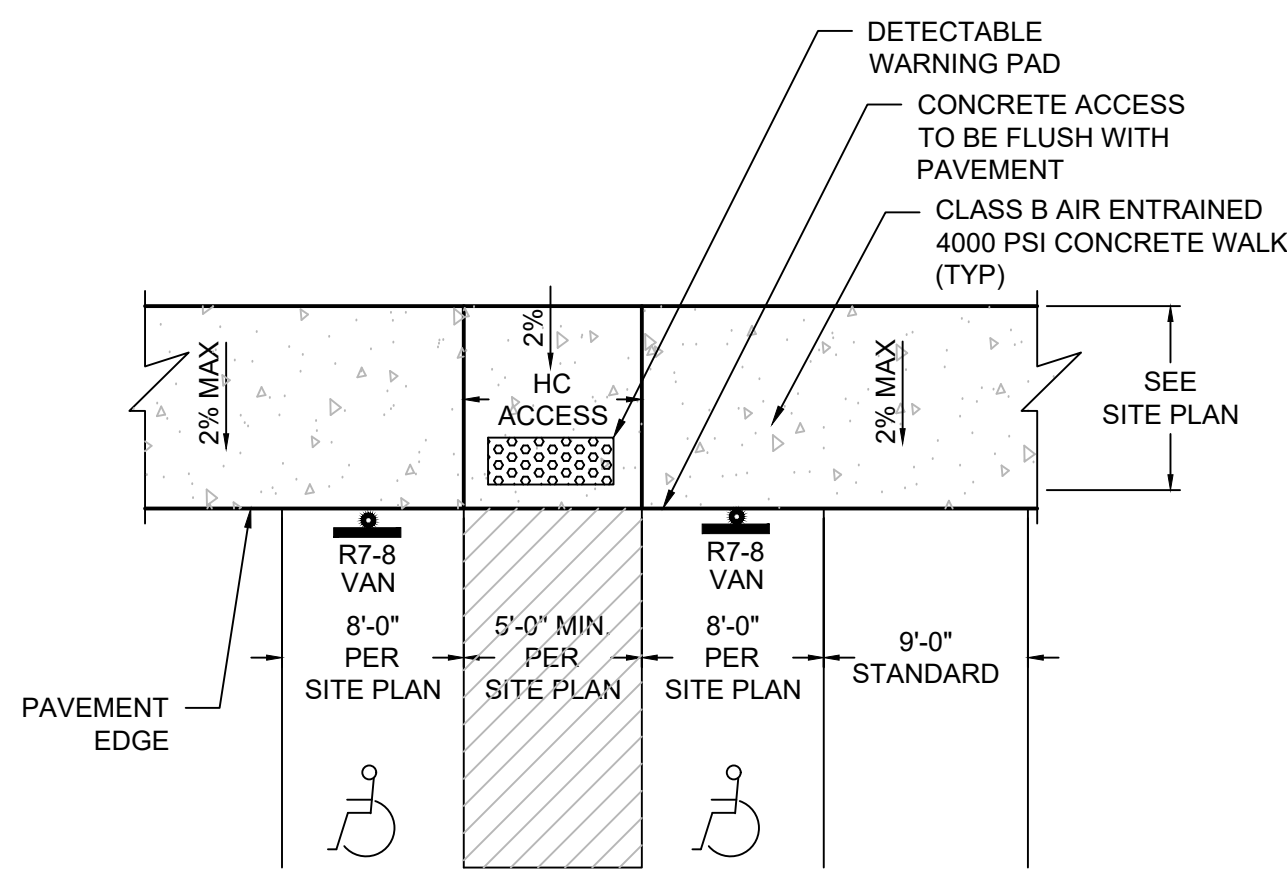


MILL, OVERLAY & PATCH DETAIL
NTS

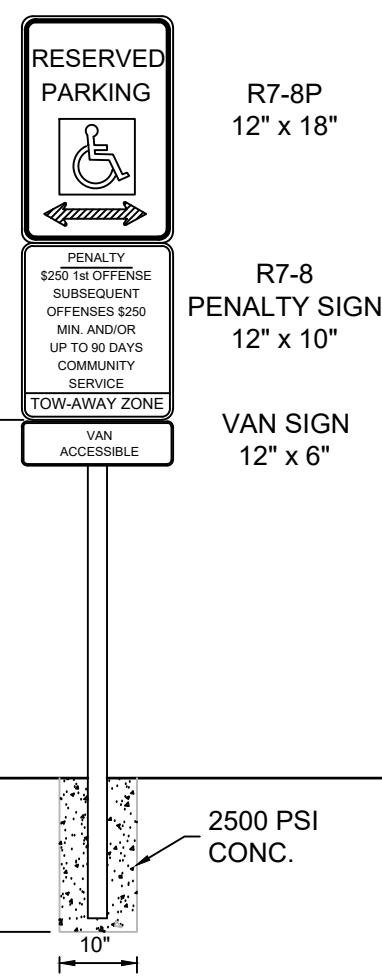
- NOTES:**
- EXISTING ASPHALT SHALL BE MILLED TO A DEPTH OF 2"
 - AREA TO RECEIVE OVERLAY SHALL BE CLEANED OF ANY SURFACE DIRT, WATER, GREASE, AND VEGETATION.
 - CRACKS 1/4" OR LESS SHALL BE FILLED WITH LIQUID ASPHALT UNTIL FLUSH W/ SURFACE.
 - CRACKS WIDER THAN 1/4" SHALL BE CLEANED FULL DEPTH OF EXIST. ASPHALT AND FILLED W/ SLURRY, HOT MIX, OR SUITABLE FILLER APPROVED BY ENGINEER.
 - HOLES AND LARGE CRACKS SHALL BE CUT OUT AND REPLACED W/ 6" SUPERPAVE HOT MIX ASPHALT BASE COURSE (NJDOT MIX 19H64)
 - APPLY ASPHALT CEMENT TACK COAT TO SURFACE OF EXIST. ASPHALT AT A RATE OF .27 TO .32 GAL/SQ YD. AND AT A TEMP. OF APPROX. 300° FAHRENHEIT. SEALANT TEMP. SHOULD BE ADJUSTED TO PROVIDE MOST UNIFORM APPLICATION RATE.
 - TACK COAT SHALL BE APPLIED 2" TO 6" WIDER THAN WIDTH OF FABRIC BEING PLACED.
 - FABRIC SHALL BE LAID DOWN W/ MIN. WRINKLING AND IN NO CASE SHALL WRINKLES BE LARGE ENOUGH TO CAUSE LAPS.
 - JOINTS SHALL BE MADE BY OVERLAPPING FABRIC 1" TO 3". ASPHALT OVERLAY SHALL BE APPLIED AS SOON AS MEMBRANE HAS CURED AND AT A LAYDOWN TEMP. OF 275° TO 300° FAHRENHEIT.
 - FABRIC SPECIFIED IS "PETROMAT" AS MANUFACTURED BY PROPEX OR APPROVED EQUAL.
 - CONTRACTOR SHALL PROVIDE A SEPARATE UNIT PRICE FOR PATCH WORK AS DESCRIBED ABOVE.

GENERAL PAVING NOTES

- THE CONTRACTOR SHALL NOTIFY THE DESIGN/TOWNSHIP ENGINEER IN WRITING 48 HOURS PRIOR TO PAVING.
- PRIOR TO PAVING, THE SUBGRADE SHALL BE PROOF ROLLED WITH A 10 TON ROLLER AND APPROVED BY THE DESIGN/TOWNSHIP ENGINEER. THE SUBGRADE SHALL BE FREE OF LARGE ROCKS AND ORGANIC MATERIALS, AND SHALL BE COMPACTED. THE DESIGN/TOWNSHIP ENGINEER MAY REQUEST THAT A DENSE GRADED AGGREGATE BE INSTALLED IF CONDITIONS WARRANT.
- ALL SUBGRADE SHALL CONFORM TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL CURBING SHALL BE INSTALLED AND APPROVED PRIOR TO THE INSTALLATION OF ANY PAVING.
- INSTALLATION METHODS AND MATERIALS FOR ALL BITUMINOUS CONCRETE SHALL FOLLOW THE PROCEDURES AND SPECIFICATIONS OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL BITUMINOUS STABILIZED BASE MATERIAL SHALL BE HOT MIX I-2 CONFORMING TO SECTIONS 301.02 AND 304.02 OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL F.A.B.C. WEARING SURFACE (TOP COURSE) MATERIAL SHALL BE HOT MIX I-5 CONFORMING TO SECTIONS 401.02 AND 404.02 OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- PRIOR TO THE PLACEMENT OF THE TOP COURSE, THE PAVEMENT SHALL BE SWEEPED AND ANY AREAS OF DISTRESSED PAVEMENT SHALL BE REPLACED AT THE DIRECTION OF THE DESIGN/TOWNSHIP ENGINEER. WHEN 5 DAYS OR GREATER HAS ELAPSED BEFORE INSTALLATION OF THE SURFACE COURSE, A TACK COAT OF 0.10 GALLONS PER SQUARE YARD SHALL BE APPLIED TO THE BASE COURSE PRIOR TO CONSTRUCTION OF THE SURFACE COURSE TO ENSURE PROPER BOND. THE TACK COAT MATERIAL SHALL BE CUTBACK ASPHALT, GRADE RC-70.
- THE COMPLETED PAVEMENT SHALL BE DENSE AND SMOOTH WITH NO IRREGULARITIES OR HONEYCOMB.
- THE PARKING LOT SHALL BE STRIPED WITH 4" WIDE SINGLE WHITE LINES TO SEPARATE STALLS. THE LOADING AREAS SHALL BE STRIPED WITH 4" WIDE YELLOW DIAGONAL LINES.
- PAVEMENT MARKINGS FOR DIRECTIONAL ARROWS AND PARKING STALLS SHALL BE THERMOPLASTIC LINES.

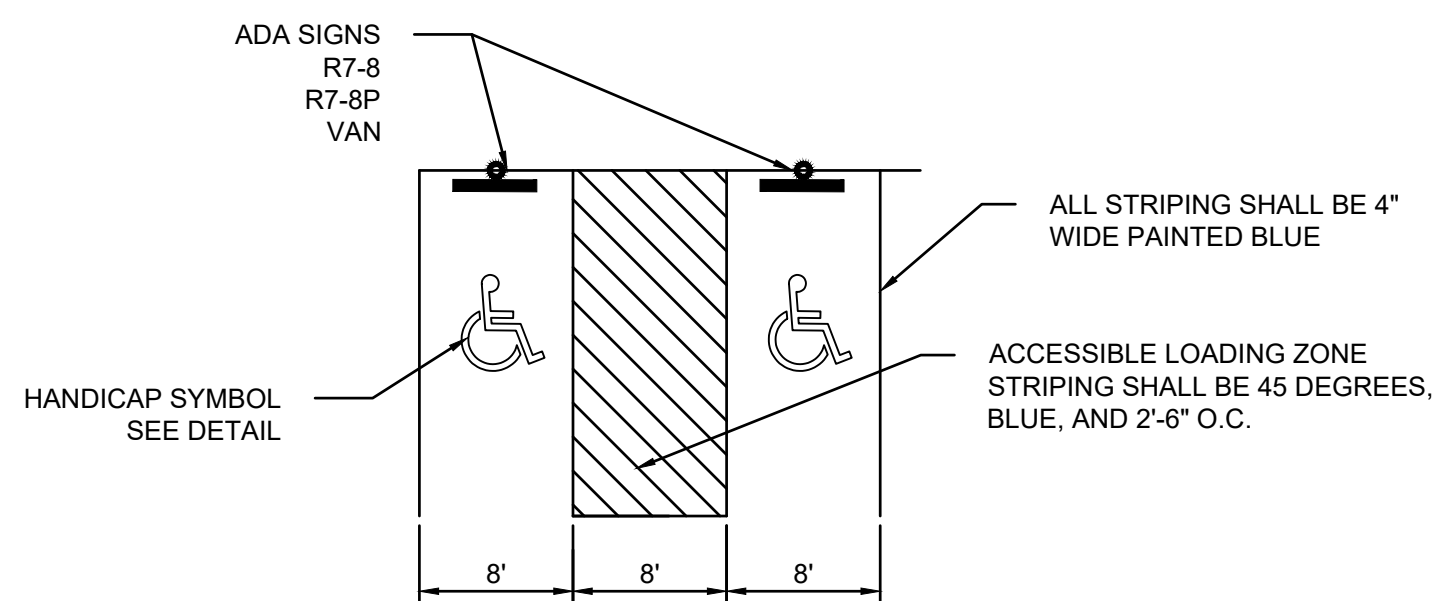


DETAIL AT HANDICAPPED ACCESS ADJACENT TO PARKING
NTS

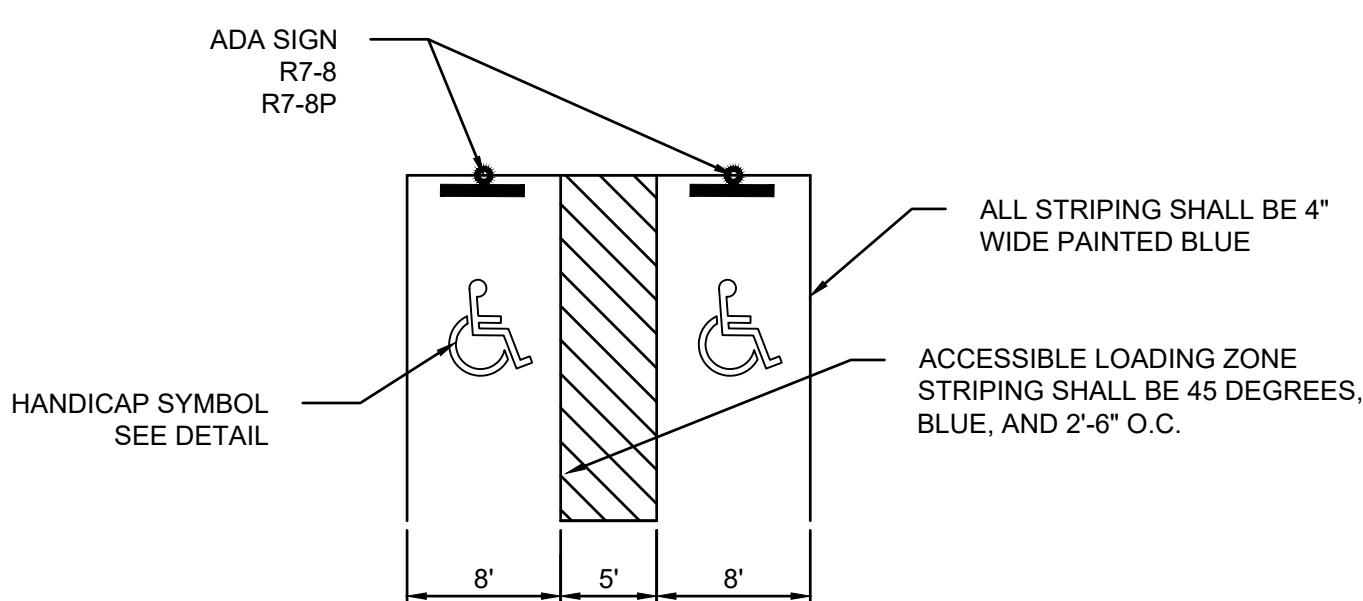


TYPICAL HANDICAP SIGN DETAIL
NTS

- NOTES:**
- THE BOTTOM OF THE R7-8 SIGN SHALL BE MOUNTED APPROXIMATELY 60 INCHES ABOVE THE PARKING LOT OR SIDEWALK SURFACE WHEN THE SIGN IS PARALLEL TO THE SIDEWALK AND APPROXIMATELY 72 INCHES ABOVE THE PARKING LOT OR SIDEWALK SURFACE WHEN THE SIGN IS PERPENDICULAR TO THE SIDEWALK.
 - THE R7-8 SIGN SHALL BE CENTERED AND MOUNTED AT THE HEAD OF EACH PARKING SPACE.
 - THE SIGNS SHOULD HAVE A GREEN LEGEND AND BORDER ON A WHITE BACKGROUND. THE SIGN SHALL ALSO DISPLAY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (NORMALLY BLUE).
 - EACH ACCESSIBLE PARKING SPACE SHALL ALSO BE MARKED WITH A 12 INCH HIGH BY 10 INCH WIDE R7-8 PENALTY SIGN, WITH A BLACK LEGEND AND BORDER ON A WHITE BACKGROUND (DIMENSIONS AND COLORS AS PER NEW JERSEY DEPARTMENT OF TRANSPORTATION), BENEATH THE R7-8P SIGN.

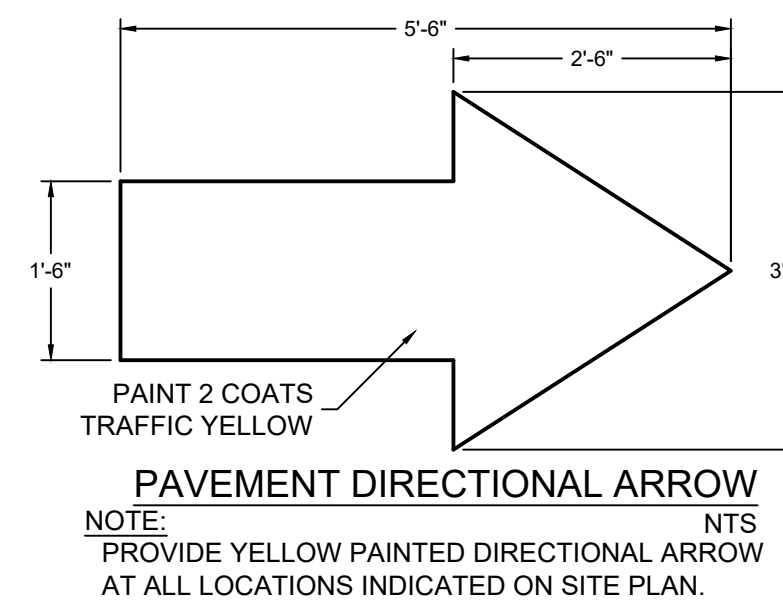


TYPICAL ADA VAN & CAR PARKING DETAIL
NTS

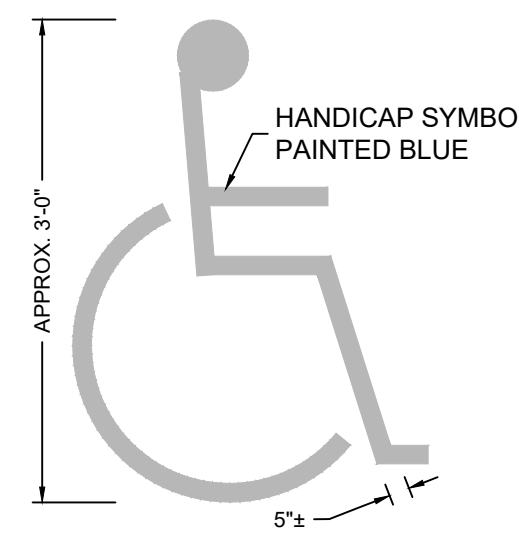


TYPICAL ADA CAR PARKING DETAIL
NTS

- ADA PARKING NOTES:**
- ALL STRIPING AND SYMBOLS SHALL BE BLUE AND 4" WIDE.
 - FINISHED GRADES SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.



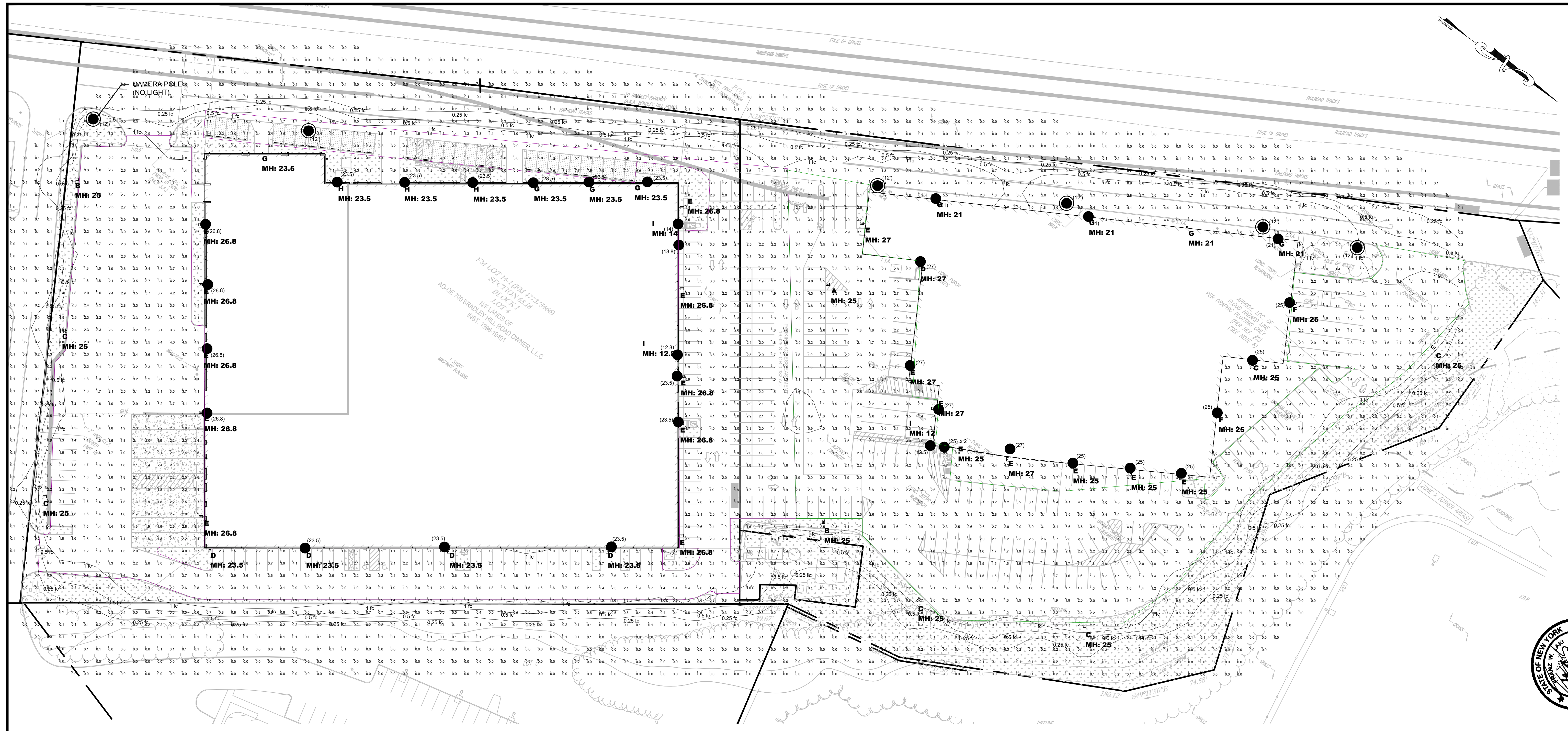
PAVEMENT DIRECTIONAL ARROW
NOTE: PROVIDE YELLOW PAINTED DIRECTIONAL ARROW AT ALL LOCATIONS INDICATED ON SITE PLAN.



HANDICAP SYMBOL FOR PARKING STALL
NTS

NYS Education Law
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SOILS / FOUNDATIONS SITE DESIGN ENVIRONMENTAL	12A MAPLE AVE. PINE BROOK, N.J. 07068 PH: 973-808-9060
dwg by: YJ chg by: RH scale: AS NOTED date: 8/31/2020	700 & 800 BRADLEY HILL ROAD SECTION 65.18, BLOCK 1, LOTS 3 & 4 TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.
FRANZ W. LAKI, P.E. PROFESSIONAL ENGINEER N.Y. LIC. NO. 96772	10/20/20 REV/PEP TOWNSHIP'S REVIEW LRS DATED 10/21/20 AND 10/22/20
job no. 10642 drawing no.	DETAILS AND NOTES



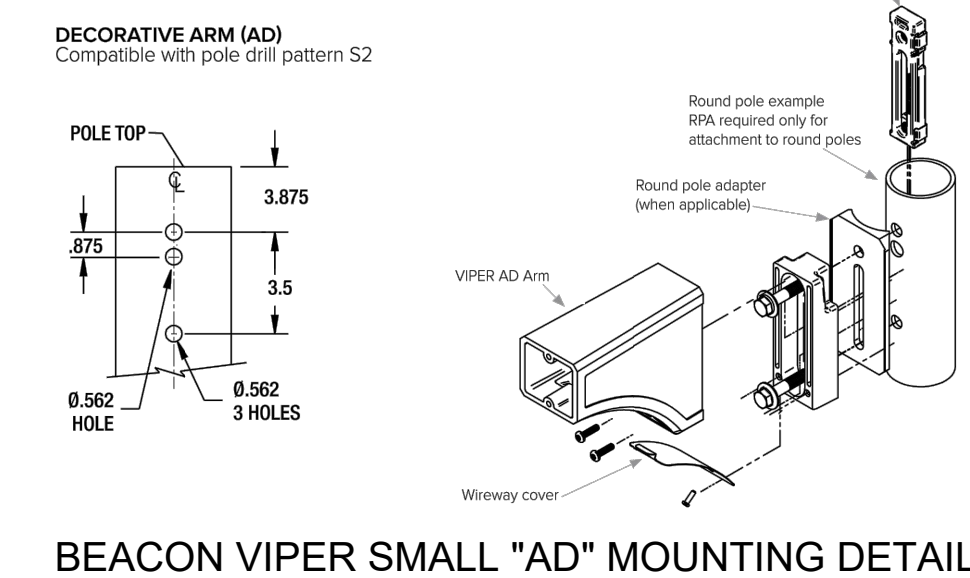
Symbol	Arrangement	Qty	Type	Manufacturer	Product Code	Lum. Watts	Array Watts	Lum. Lumens	LLF
1	SINGLE	1	A	BEACON	VP-60L-136-4K7-3-VOLTS-AD-FINISH w/ SSS-B-25-40-A-1-S2-FINISH (POLE MOUNTED AT 25' AFD)	136.4	136.4	15344	0.950
2	SINGLE	2	B	BEACON	VP-60L-136-4K7-4-VOLTS-AD-FINISH w/ SSS-B-25-40-A-1-S2-FINISH (POLE MOUNTED AT 25' AFD)	136.6	136.6	15088	0.950
3	SINGLE	6	C	BEACON	VP-60L-136-4K7-3-VOLTS-AD-FINISH w/ SSS-B-25-40-A-1-S2-FINISH (POLE MOUNTED AT 25' AFD)	133.155	133.155	14774	0.950
4	SINGLE	5	D	BEACON	VP-60L-136-4K7-3-VOLTS-WB-FINISH (WALL MOUNTED AT VARIOUS HEIGHTS)	136.4	136.4	15344	0.950
5	SINGLE	18	E	BEACON	VP-60L-136-4K7-4-VOLTS-WB-FINISH (WALL MOUNTED AT VARIOUS HEIGHTS)	136.6	136.6	15088	0.950
6	SINGLE	2	F	BEACON	VP-60L-136-4K7-4-VOLTS-WB-FINISH (WALL MOUNTED AT VARIOUS HEIGHTS)	133.155	133.155	14774	0.950
7	SINGLE	8	G	KIM LIGHTING	WDM-D-4R-105-4K7-3-VOLTS-FINISH (WALL MOUNTED AT VARIOUS HEIGHTS)	104	104	12433	0.950
8	SINGLE	3	H	KIM LIGHTING	WDM-D-4R-105-4K7-3-VOLTS-FINISH (WALL MOUNTED AT VARIOUS HEIGHTS)	104	104	12644	0.950
9	SINGLE	3	I	KIM LIGHTING	WDS-D-24L-30-4K7-4W-VOLTS-FINISH (WALL MOUNTED AT VARIOUS HEIGHTS)	28.73	28.73	3252	0.950

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BUILDING 700 PARKING	ILLUMINANCE	Fc	2.53	7.8	0.7	3.61	11.14
BUILDING 800 PARKING	ILLUMINANCE	Fc	2.26	6.6	0.7	3.23	9.43

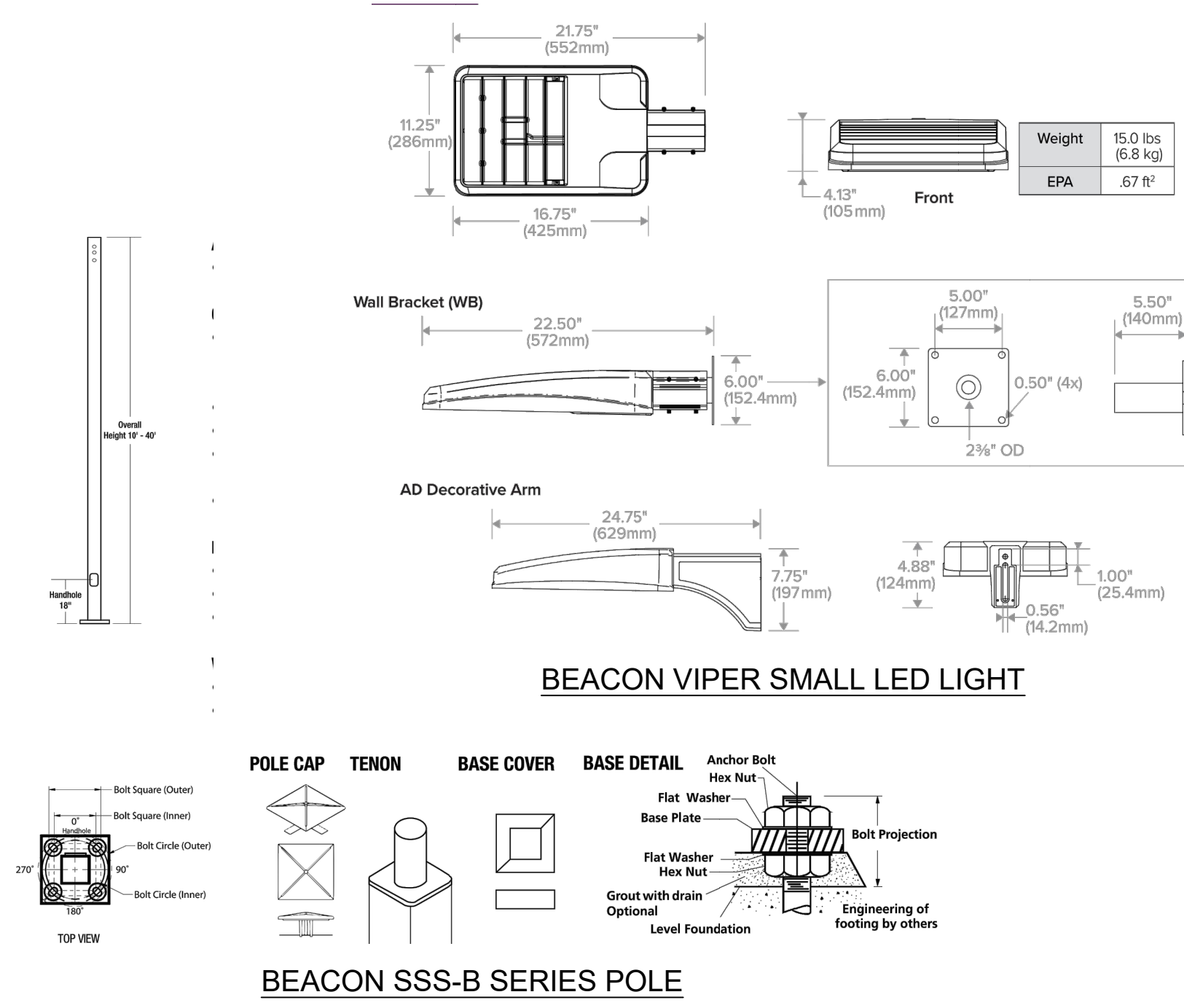
DIVERSIFIED NJ
55 LANE ROAD
FAIRFIELD, NJ 07004
DESIGNER: MATTHEW STERNER
PHONE: (908) 907-8462
EMAIL: MSTERNER@DIVNJ.COM

LEGEND

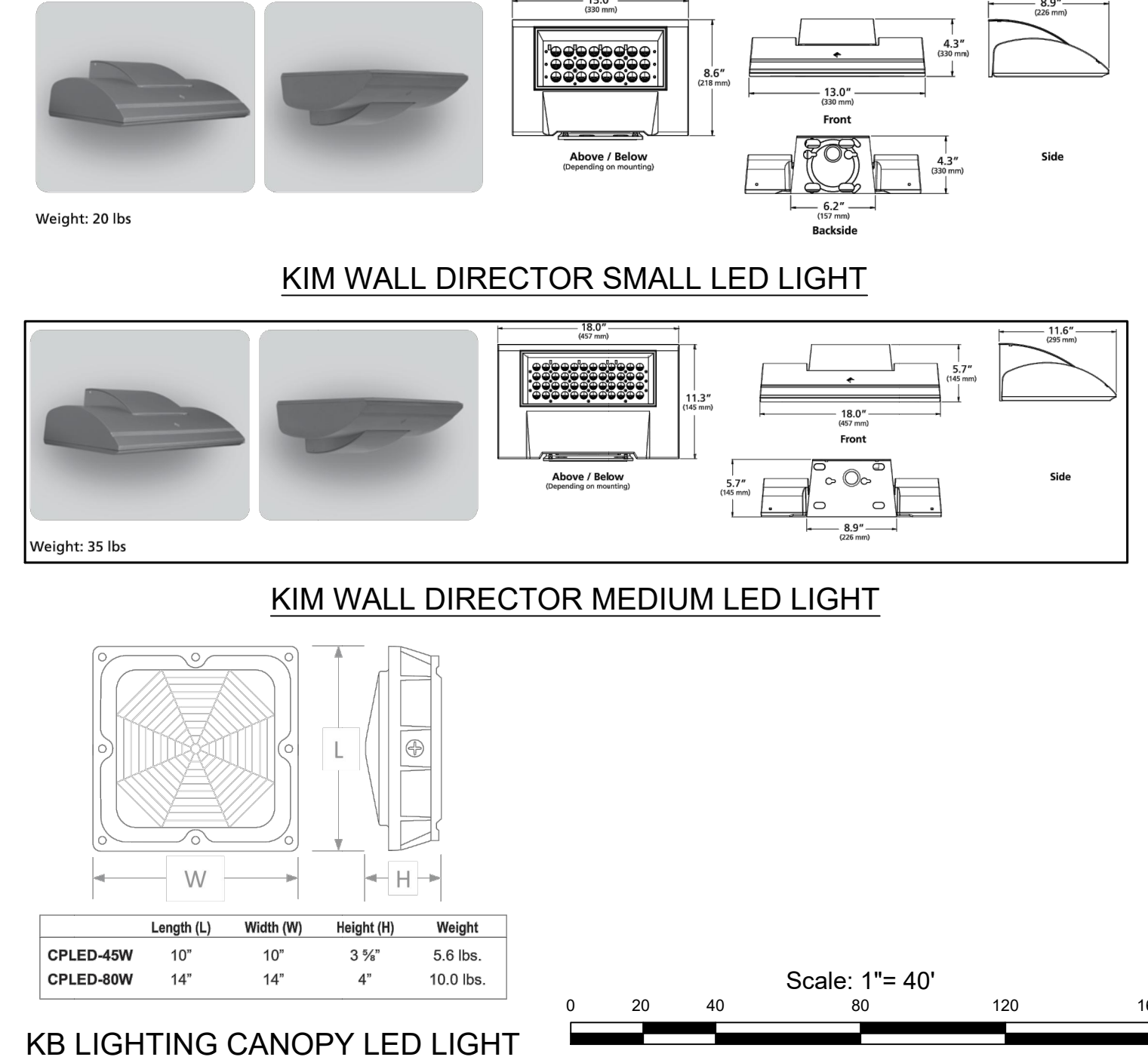
- (26.8) ● WALL MOUNTED LIGHT (MOUNTED HEIGHT)
- (12') ● LIGHT POLE (MOUNTED HEIGHT)



BEACON VIPER SMALL "AD" MOUNTING DETAIL



BEACON SSS-B SERIES POLE



KIM WALL DIRECTOR MEDIUM LED LIGHT

Length (L)	Width (W)	Height (H)	Weight	
CPLED-45W	10"	10"	3 1/2"	5.6 lbs.
CPLED-80W	14"	14"	4"	10.0 lbs.

KB LIGHTING CANOPY LED LIGHT

REFERENCE:

- EXIST CONDITIONS & BOUNDARY FOR 700 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - 'BUILDING #3', PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020
- EXIST CONDITIONS & BOUNDARY FOR 800 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 3, 800 BRADLEY HILL ROAD - 'BUILDING #4', PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020

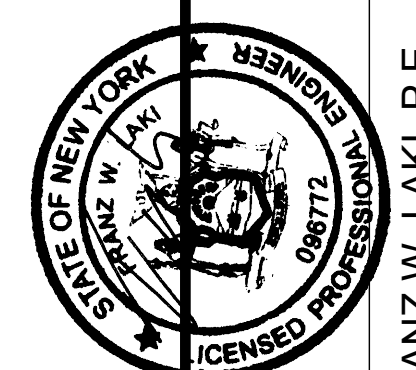
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REV	DATE	DESCRIPTION
1	10/30/20	REV PER TOWNSHIP'S REVIEW LTRS DATED 10/12/20 AND 10/27/20

eng by: YY
chk by: FL
scale: AS NOTED
date: 8/31/2020

SESI
CONSULTING ENGINEERS
SOILS / FOUNDATIONS
SITE DESIGN
ENVIRONMENTAL

125A MAPLE AVE. PINE BROOK, N.J. 07068 PH: 973-608-9060



FRANZ W. LAKI, P.E.
PROFESSIONAL ENGINEER
N.Y. LIC. NO. 96172

700 & 800 BRADLEY HILL ROAD
SECTION 65.18, BLOCK 1, LOTS 3 & 4
TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.

LIGHTING PLAN

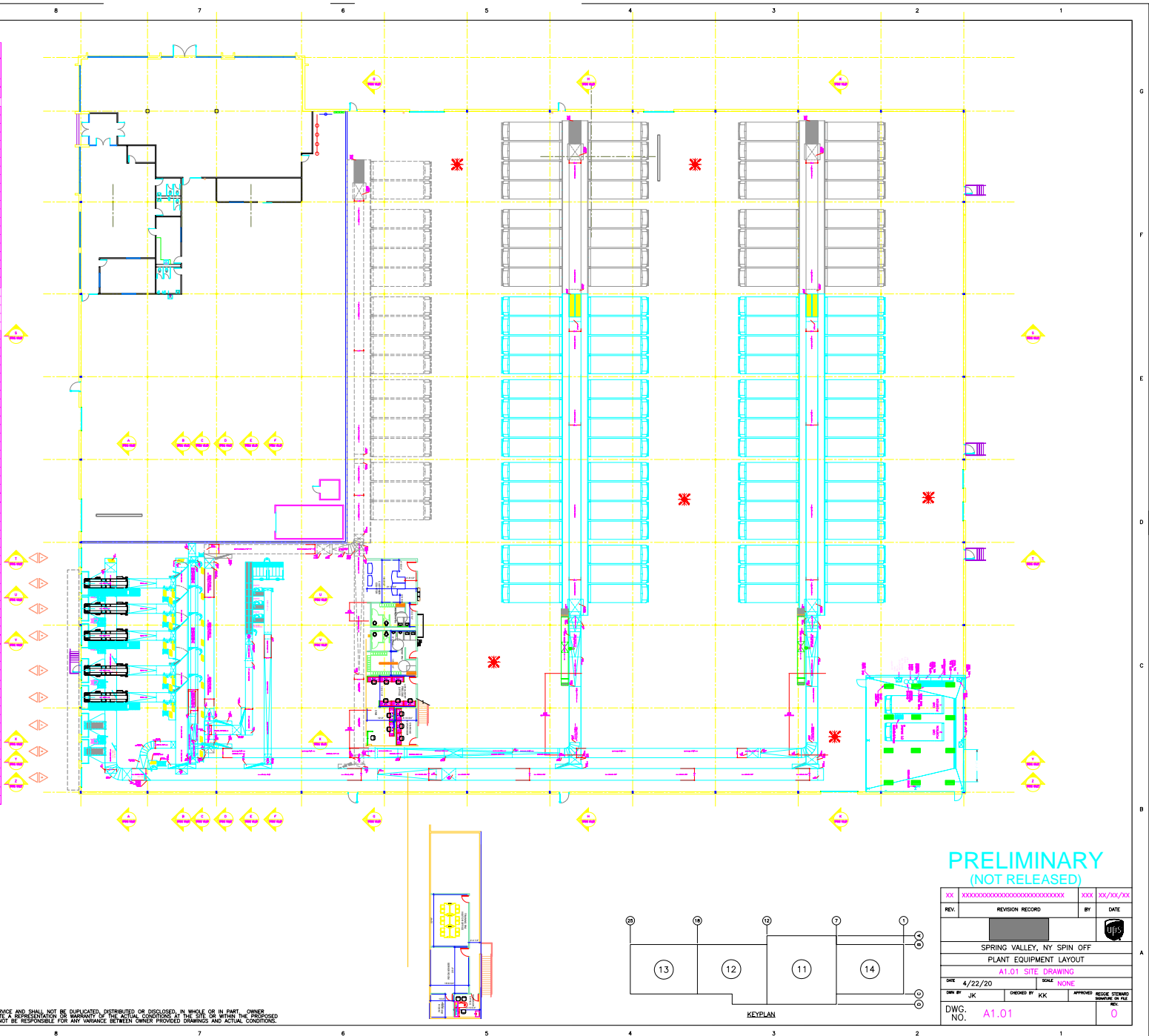
job no. 10642
drawing no.

L-1

FEASIBILITY INFORMATION CHART - 60 Car Ait. 2

Feasibility Data Dated: 10/15/2019	EXISTING 2018		REQUIREMENTS (5 Yr) 2024		REQUIREMENTS (10 Yr) 2029	
	For Expansions	REQUIRED	DESIGNED	REQUIRED	DESIGNED	REQUIRED
AM SORT						
Total Volume	17,800	17,211				19,654
Belt Run Time	3.28	3.28	3.28	3.28		3.28
Average Hourly Volume	5,427	5,247	5,000	5,992		5,992
# Input Positions	5.4	5.2	5.0	6.0		6.0
# Package Car Positions	60,780	61.8	60.0	66.5		66.5
Non Metric Car Positions for Delivery						
Package (Van) / Trailer	/	/	/	/		/
Boxline, Slide, or Runout Belt	Run-Out	Run-Out				Run-Out
# Output Doors	2	2	2	2		2
# Destinations	2	2	2	2		2
SMALLS SORT						
Volume	6,362	6,860				8,030
Belt Run Time	3.28	3.28	3.28	3.28		3.28
Average Hourly Volume	1,946	2,091	3,000	2,448		2,448
# Destinations	24	24				24
AIR REBOUND						
Volume	707	683				781
Sort Span	0.50	0.50				0.50
Average Hourly Volume	1,414	1,367				1,561
# Trailer Unload Positions	1	1				1
Type of Unload						
PM SORT						
Total Volume	8,607	5,948				6,877
Total Volume without Air	8,364	5,783				6,685
Belt Run Time	3.28	3.28	3.28	3.28		3.28
Average Hourly Volume	2,624	1,814	2,500	2,097		2,097
Average Hourly Volume without Air	2,550	1,763	2,500	2,038		2,038
# Input Positions	3	3	3	3		3
# Output Doors	9	7	7	7		7
# Destinations	7	7	7	7		7
SMALLS SORT						
Volume	3,727	2,620				3,343
Belt Run Time	2.78	2.78				2.78
Average Hourly Volume	1,341	942	2,000	1,203		1,203
# Destinations	48	48				48
AIR RECOVERY						
Volume	239	165				191
Sort Span	2.00	2.00				2.00
Average Hourly Volume	120	83				96
Peak 1/2 Hour Flow						
# Input Walk-up Positions	0	0	0	0		0
# Input Back-up Pos Package Car	0	0				0
# Input Back-up Pos Trailer	0	0				0
# Output Doors Trailers/Dests	/	/	/	/		/
# FDC Positions	/	/	/	/		/
STAGING						
# Tractors (weekday)	0	0	0	0		0
# Trailer- Longs	9	9	7*	10		10
# Shorts	4	4	4	5		5
# Dolly	0	0	0	0		0
# Other Package Cars - BLDG Interior	7	7	7	0		0
Yard Paving (s.f.)						
Yard Concrete (s.f.)						
PARKING						
# Employee	97	112	88*	120		120
# Customer Counter	8	7	3*	9		9
Employee Parking Paving (s.f.)						
Fence (l.f.)						
Developed Property (Acres)*SF(43560)						
Total Property (l Plus Greenspace) Acres						
BUILDING						
Building Size (s.f.)						
Mezzanine Size (s.f.)						
Wall Height (l.)						
AUTOMOTIVE						
# Power Bays (Pkg. Car & Tractor)	0	2	2	2		2
# Trailer Bays- 26'	0	0	0	0		0
Positions- Gas	2	2	2	2		2
Diesel	0	0	0	0		0
# Vehicles Washed- Pkg Car	15	14		15		15
Auto or Manual	Manual	Manual		Manual		Manual
CUSTOMER COUNTER						
# Counter Positions	2	2	2	2		2
Remote (yes/no)	No	No	No	No		No
OFFICES						
Non-operations employees	16	16		16		16
Total Sq. Footage	0	4,094	3,600*	4,094		4,094

* - Does not meet requirements

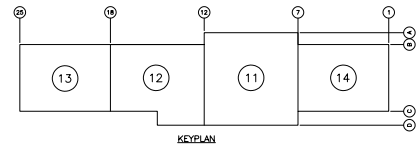


**PRELIMINARY
(NOT RELEASED)**

REV.	REVISION RECORD	BY	DATE
XX	XXXXXXXXXXXXXXXXXXXXXXXXXXXX	XX	XX/XX/XX
13			
12			
11			
14			

SPRING VALLEY, NY SPIN OFF
 PLANT EQUIPMENT LAYOUT
 A1.01 SITE DRAWING
 DATE: 4/22/20 SCALE: NONE
 DWG. NO. A1.01

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AUTOCAD DRAWING - DO NOT CHANGE MANUALLY

65.14-1-1
AG OE 900 Bradley Hill Road
Onyx Equities LLC
900 Route 9 Unit 400
Woodbridge NJ 07095

65.18-1-1
AG OE 877 Western Hwy LLC
Onyx Management Group
900 Route 9 North Ste. 400
Woodbridge NJ 07095

65.17-1-10
Patrick J. Hill
849 Western Hwy.
Blauvelt NY 10913

65.18-1-20
Oratamin Club Inc.
PO Box 289
Nyack NY 10960

65.17-1-11
Annette Burke
835 Western Hwy.
Blauvelt NY 10913

65.18-1-22
AG OE 200 Oritani Drive
Onyx Management Group
900 Route 9 North Ste. 400
Woodbridge NJ 07095

65.17-1-20
Mario A. Espana
6 Piper Ct.
Blauvelt NY 10913

65.18-1-23
James Albert
1 Avis Ct.
Blauvelt NY 10913

65.17-1-21
Christine Lee
4 Piper Ct.
Blauvelt NY 10913

65.18-1-24
Margaret Hsu
6 Avis Ct.
Blauvelt NY 10913

65.17-1-24
John Mangieri
3 Haring Pl.
Blauvelt NY 10913

65.18-1-27
AG OE 400 Corporate Drive
Onyx Management Group
900 Route 9 North Ste. 400
Woodbridge NJ 07095

65.17-1-25
Marcus A. Colucci
2 Haring Pl.
Blauvelt NY 10913

65.18-1-3
AG OE 800 Bradley Hill Rd
Onyx Management Group
900 Route 9 North Ste. 400
Woodbridge NJ 07095

65.17-1-26
Benjamin Mornan
1 Haring Pl.
Blauvelt NY 10913

65.18-1-4
AG OE 700 Bradley Hill Rd
Onyx Management Group
900 Route 9 North Ste. 400
Woodbridge NJ 07095

65.17-1-8
James O'Sullivan
PO Box 113
Blauvelt NY 10913

65.18-1-5
AG OE 300 Corporate Dr Owner
Onyx Management Group
900 Route 9 North Ste. 400
Woodbridge NJ 07095

65.17-1-9
Luis Barahona
857 Western Hwy.
Blauvelt NY 10913

65.18.1-21
AG-OE 600 Bradley Hill Rd
Onyx Management Group
900 Route 9 North Ctr Ste. 400
Woodbridge NJ 07095

SWIS	PRINT KEY	NAME	ADDRESS
392489	65.14-1-1	AG OE 900 Bradley Hill Rd Onyx Equities LLC	900 Route 9 Unit 400,Woodbridge, NJ 07095
392489	65.17-1-8	James O'Sullivan	P.O. Box 113,Blauvelt, NY 10913
392489	65.17-1-9	Luis Barahona	857 Western Hwy,Blauvelt, NY 10913
392489	65.17-1-10	Patrick J Hill	849 Western Hwy,Blauvelt, NY 10913
392489	65.17-1-11	Annette Burke	835 Western Hwy,Blauvelt, NY 10913
392489	65.17-1-20	Mario A Espana	6 Piper Ct,Blauvelt, NY 10913
392489	65.17-1-21	Christine Lee	4 Piper Ct,Blauvelt, NY 10913
392489	65.17-1-24	John Mangieri	3 Haring Pl,Blauvelt, NY 10913
392489	65.17-1-25	Marcus A Colucci	2 Haring Pl,Blauvelt, NY 10913
392489	65.17-1-26	Benjamin Mornan	1 Haring Pl,Blauvelt, NY 10913
392489	65.18-1-1	AG OE 877 Western Hwy LLC Onyx Management Group	900 Route 9 North Ste 400,Woodbridge, NJ 07095
392489	65.18-1-3	AG OE 800 Bradley Hill Rd Onyx Management Group	900 Route 9 North Ste 400,Woodbridge, NJ 07095
392489	65.18-1-4	AG OE 700 Bradley Hill Rd Onyx Management Group	900 Route 9 North Ste 400,Woodbridge, NJ 07095
392489	65.18-1-5	AG OE 300 Corporate Dr Owner Onyx Management Group	900 Route 9 North Ste 400,Woodbridge, NJ 07095
392489	65.18-1-22	AG OE 200 Oritani Drive Onyx Management Group	900 Route 9 North Ste 400,Woodbridge, NJ 07095

SWIS	PRINT KEY	NAME	ADDRESS
392489	65.17-1-21	Christine Lee	4 Piper Ct,Blauvelt, NY 10913
392489	65.17-1-25	Marcus A Colucci	2 Haring Pl,Blauvelt, NY 10913
392489	65.17-1-26	Benjamin Mornan	1 Haring Pl,Blauvelt, NY 10913
392489	65.18-1-1	AG OE 877 Western Hwy LLC Onyx Management Group	900 Route 9 North Ste 400,Woodbridge, NJ 07095
392489	65.18-1-3	AG OE 800 Bradley Hill Rd Onyx Management Group	900 Route 9 North Ste 400,Woodbridge, NJ 07095
392489	65.18-1-4	AG OE 700 Bradley Hill Rd Onyx Management Group	900 Route 9 North Ste 400,Woodbridge, NJ 07095
392489	65.18-1-5	AG OE 300 Corporate Dr Owner Onyx Management Group	900 Route 9 North Ste 400,Woodbridge, NJ 07095
392489	65.18-1-20	Oratamin Club Inc	P.O. Box 289,Nyack, NY 10960
392489	65.18-1-21	AG-OE 600 Bradley Hill Rd Onyx Management Group	900 Route 9 North Ctr Ste 400,Woodbridge, NJ 07095
392489	65.18-1-22	AG OE 200 Oritani Drive Onyx Management Group	900 Route 9 North Ste 400,Woodbridge, NJ 07095
392489	65.18-1-23	James Albert	1 Avis Ct,Blauvelt, NY 10913
392489	65.18-1-24	Margaret Hsu	6 Avis Ct,Blauvelt, NY 10913
392489	65.18-1-27	AG OE 400 Corporate Drive Onyx Management Group	900 Route 9 North Ste 400,Woodbridge, NJ 07095