



**OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT**
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

Jane Slavin, RA
Director

(845) 359-8410

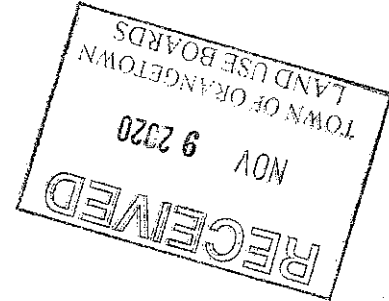
Fax: (845) 359-8526

Date: November 9, 2020

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.

Subject: **800 Bradley Hill Road Site Improvement Plan**
Prepreliminary/ Preliminary/ Final Site Plan and
SEQRA Review
700 Bradley Hill Road, Blauvelt,
65.18/1/3; LI zoning district



PB#20-45

Submission Reviewed:

Memorandum as prepared by Onyx Management, dated August 31, 2020, Letter dated October 30, 2020 and Site Improvements drawing package as prepared by Sesi, Engineering, revised 10-30-2020.

- 1) The applicant is proposing new parking areas in the rear yard and side yard. Per Chapter 43, Table 3.11, column 7, number 8; *"No parking is permitted in any required yard, unless permitted by any board or town agency having jurisdiction. This permission may be granted at the time of site review..."*
- 2) The SEAF appears to be in order.
- 3) Applicant must provide separate breakdown of employees for each tenant occupancy for each building.
- 4) Performance Standards review and approval is required from the ZBA.
- 5) Per Chapter 2, Article 2-4A; ACABOR review and approval is required for the proposed site changes.

JS-11-9-2020

Zoning Board of Appeals

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962
(845) 359-8410, ex 4331, www.orangetown.com

2020 APPLICATION CHECKLIST:

THE FOLLOWING ITEMS ARE REQUIRED IN ORDER TO ACCEPT AN APPLICATION:

Date: 11/17/20 Section: 65.18 Block: 1 Lot: 3

Project Name: UPS at Hudson Crossing

Project Address 800 Bradley Hill Road, Blauvelt, NY 10913

1. A signed and dated completed Part I and Part II of the Board Application.
2. A copy of the Building Permit Denial Application, signed by the Director of the Department. (*Zoning Board applications that are referred from the Planning Board or consultations do not require a Building Permit Denial.*)
3. Copy of Deed to present owner of property.
4. Agents must have written authorization from the owner to appear in front of the Board. Contract Purchaser may file a copy of the contract.
5. Complete Environmental Assessment form **if needed**.
6. List of Names/Addresses of all property owners within 200 feet of perimeter of site, obtained from the Land Use Board Office. *Application must include a map of tax lots noting 200 foot radius line as applicable, measuring from all points on property line, not from center of site, (excluding public roadways, right of ways, public utility or public entity). Names and addresses must be placed on stamped #10 envelopes, without return address. Do not use a postage meter.*
7. Two Copies of the **survey plan**, scale, (1 inch = 30 feet minimum) showing all zoning bulk, bulk chart and lot dimensions, size and use of all existing and proposed structures, north arrow and vicinity map. **Plans must be signed and sealed by a New York State Professional Engineer and/or Land Surveyor.**

Drawing Name Site Improvements, 700 & 800 Bradley Hill Road Date: October 30, 2020

Prepared by: Franz W. Laki, P.E., SESI Consulting Engineers

8. Two copies of **architectural plans** showing dimensions and height of existing and proposed construction. **Plans must be signed and sealed by a New York State Licensed Architect or Professional Engineer.**

Drawing Name Exterior Improvements for Existing Warehouse Building Date: July 29, 2020

Prepared by: James E. DeBarbieri, DeBarbieri Architects LLC

9. **Three Checks** made payable to "Town of Orangetown":

1) **Variance, Special Permit, or Performance Standards Fee:**

Variance: Residential District \$250.00 Other \$400.00

Special Permit: Residential District \$250.00 Other \$400.00

Performance Standards: \$400.00

2) **Geographic Information System Database Fee:** \$65.00

3) ¹ **Legal Notice Advertisement Fee:** \$150.00

(For each time an advertisement or re-advertisement has to be published):
Effective February 4th, 2015 as per **Town Board Resolution No. 45, January 28, 2015**

10. Submit completed application and fees to the Board Clerk to be processed.

SUBMITTED BY: _____ **DATE RECEIVED BY BOARD CLERK:** _____

By signing below, the applicant/agent agrees that they have completed and supplied all items listed above.

Print Name: Nicole Vasquez Signature: 

Email Address: nvasquez@onyxequities.com

ONCE DEEMED COMPLETE BY BUILDING INSPECTOR
APPLICANT SHALL SUBMIT THE FOLLOWING:

1. **15 copies** of all Plans signed and sealed by the appropriate New York State Professional. (Same plans submitted and reviewed by the Building Inspector). List type of plans submitted.

2. **All drawings** shall be submitted in **PDF format** via email to DArbolino@orangetown.com

Once all items are received, project will then be assigned to the appropriate hearing date by the Board Clerk and the applicant will be notified.

Once scheduled for a meeting date, all applicants are required to erect signs containing information regarding the public hearing on every lot corner and once every 100 feet facing each public street on which the property abuts, see Chapters 21 and 21A of the Town of Orangetown Town Code. Such signs shall be obtained from the Zoning Board of Appeals Office. The Board Clerk will notify the applicant when signs are ready to be picked up from the ZBA office.

Zoning Board of Appeals

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962
(845) 359-8410, ex 4331, www.orangetown.com

2020 Information Sheet

NOTE THE FOLLOWING:

- PLEASE BE AWARE THAT THE APPLICATION PROCESS TAKES APPROXIMATELY 40 DAYS FROM THE TIME OF SUBMISSION TO YOUR BOARD MEETING.
- APPLY EARLY IN THE YEAR IF YOU WANT TO HAVE YOUR POOL OR DECK FOR THE SPRING AND SUMMER MONTHS.

Important Information

A building permit denial must be included with your application.
Please ask about the process to obtain abutting property owners.

2020 – ZONING BOARD OF APPEALS MEETING DATES

1ST & 3RD Wednesday of every month (unless otherwise noted), in the Greenbush Auditorium,
20 Greenbush Road, Orangeburg, New York. **All meetings start at 7:00 p.m.**

January 8 (2nd Wednesday)

January 22

February 5

February 19

March 4

March 18

April 1

April 15

May 6

May 20

June 3

June 17

July 1

July 15

No meetings in August

September 2

September 16

October 7

October 21

November 4

November 18

December 2

(Only 1 meeting in December)

OFFICE OF THE COUNTY EXECUTIVE

11 New Hempstead Road
New City, New York 10956
Phone: (845) 638-5122 Fax: (845) 638-5856
Email: CountyExec@co.rockland.ny.us

June 20, 2018

Edwin J. Day
Rockland County Executive

Honorable Chris Day
Town of Orangetown
26 Orangeburg Road
Orangeburg, New York 10962

Dear Supervisor Day:

The Rockland County Department of Health contends that coordination with local municipalities is an essential component to assuring the preservation of the environment and the public health of the residents. The Health Department respectfully submits that municipal expertise often plays a critical role in fully addressing building, land, water, sewage and nuisance concerns throughout the county.

The Health Department recognizes that county regulations may vary or even conflict with municipal codes and that jurisdictional issues exist, which evidence the need for a coordinated approach. Well intentioned applicants looking to comply with all rules and regulations need to know a simple inquiry to the Department of Health will ensure a complete understanding of those rules and procedures and quite possibly prevent unnecessary, and expensive, corrective action later.

The Department's Center for Environmental Health and the Rockland Codes Initiative (RCI) welcomes the inquiries of municipalities and applicants to lend assistance in the pursuit of compliance with all local, county, state and federal laws.

Please feel free to contact the Health Department to discuss any questions, concerns or possible referrals.

Environmental Health:
RCI – Housing:

Sam Rulli 845.364.3364
Kevin Mackey 845.364.2581

CONTACT PERSON INFORMATION SHEET:

Nicole Vasquez
NAME: _____

MAILING ADDRESS:

| | | | |
|------------|------------------------------|-------------------------|----------------------------|
| 900 | Route 9 North | Suite 400 | |
| | <small>Street number</small> | <small>(PO Box)</small> | <small>Street Name</small> |
| Woodbridge | | NJ | 07095 |
| | <small>City</small> | <small>State</small> | <small>Zip Code</small> |

TELEPHONE #: 732-850-5689 _____

CELL PHONE #: _____

FAX #: _____

E-MAIL ADDRESS: nvasquez@onyxequities.com _____

Relation to project: Representative of Owner _____

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2020 LAND USE BOARD APPLICATION

Please check all that apply:

| | |
|--|--|
| <input type="checkbox"/> Commercial <input type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____ | <input type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation |
|--|--|

PERMIT#: _____
ASSIGNED
INSPECTOR: _____

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: UPS at Hudson Crossing

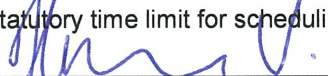
Street Address: 800 Bradley Hill Road, Blauvelt, NY 10913

Tax Map Designation:
 Section: 65.18 Block: 1 Lot(s): 3
 Section: _____ Block: _____ Lot(s): _____

Directional Location:
 On the right side of Bradley Hill Road, approximately
650 feet north of the intersection of Corporate Drive, in the
 Town of ORANGETOWN in the hamlet/village of Blauvelt.

| | |
|--|---|
| Acreage of Parcel <u>4.89</u> School District _____ Ambulance District _____ Water District _____ | Zoning District <u>LI</u> Postal District _____ Fire District _____ Sewer District _____ |
|--|---|

Project Description: *(If additional space required, please attach a narrative summary.)*
UPS will use a portion of the parking lot at 800 Bradley Hill Road for accessory parking to the last-mile distribution
facility proposed for 700 Bradley Hill Road. Site improvements include re-striping of the parking area, removal
of an aboveground storage tank, an electrical box, and reconfiguration of a rail spur.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
 Date: 11/13/2020 Applicant's Signature: 

APPLICATION REVIEW FORM

Applicant: Onyx Management Group, LLC Phone # 732-850-5689

Address: 900 Route 9 North, Suite 400 Woodbridge NJ 07095
Street Name & Number (Post Office) City State Zip Code

Property Owner: AG-OE 800 Bradley Hill Road Owner, LLC Phone # 732-580-5689

Address: 245 Park Avenue, 24th floor New York NY 10167
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Franz W. Laki Phone # 973-808-9050 ext. 237

Address: 12A Maple Avenue Pine Brook NJ 07058
Street Name & Number (Post Office) City State Zip Code

Attorney: Seth M. Mandelbaum Phone # 914-949-6400

Address: 1311 Mamaroneck Ave, Suite 340 White Plains NY 10605
Street Name & Number (Post Office) City State Zip Code

Contact Person: Nicole Vasquez Phone # 732-850-5689

Address: 900 Route 9 North, Suite 400 Woodbridge NJ 07095
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|--|---|
| <input checked="" type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:
State Route 303

Referral Agencies:

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input type="checkbox"/> Other _____ | |

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 58,928
- 2) Total square footage 58,928
- 3) Number of dwelling units 0

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? Yes

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

Planning Board, November 12, 2020

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

65.18-1-4, 65.18-1-5, 65.14-1-1, 65.14-1-11.1

APPLICATION REVIEW FORM

Applicant's Signature and Certification

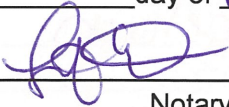
State of ~~New York~~ ^{New Jersey})
County of ~~Rockland~~ ^{Hudson}) SS.:
Town/Village of Orangetown)

I, Nicole Vasquez (Authorized Representative) hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Signature: 

Mailing Address: 900 Route 9 North, Suite 400
Woodbridge, NJ 07095

SWORN to before this

13 day of November, 2020

Notary Public

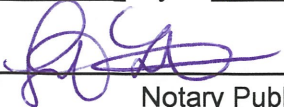
JENNIFER LAMSICK
NOTARY PUBLIC OF NEW JERSEY
Comm. # 2433739
My Commission Expires 5/8/2023

Owner/Applicant's Consent Form to Visit Property

I, Nicole Vasquez
Authorized Representative, owner/applicant of the property described in the application submitted to the town/village board, planning board, zoning board of appeals and/or supporting staff, do hereby give permission to members of said boards and/or supporting staff to visit the property in question at a reasonable time during the day.


Owner/Applicant Signature

SWORN to before this

13 day of November, 2020

Notary Public

JENNIFER LAMSICK
NOTARY PUBLIC OF NEW JERSEY
Comm. # 2433739
My Commission Expires 5/8/2023

APPLICATION REVIEW FORM

Affidavit of Ownership/Owner's Consent

State of New Jersey)
County of Hudson) SS.:
Town/Village of _____)

I, Nicole Vasquez (Authorized representative) being duly sworn, hereby depose and say that I reside in the county of Middlesex in the state of New Jersey.

I am the (* _____) owner in the fee simple of premises located at: 800 Bradley Hill Road

_____ described in a certain deed of said premises recorded in the Rockland County Clerk's Office in Liber _____ of conveyances, page _____.

Said premises have been in my/its possession since 5/19.
Said premises are also known and designated on the Town of Orangetown.
Tax Map as: section: 65.18 block: 1 lot(s): 3.

I hereby authorize the within application on my behalf and that the statement of fact contained in said application are true, and agree to be bound by the determination of the board.

Owner Signature: [Signature]

Mailing Address: 900 Route 9 North, Suite 400
Woodbridge, NJ 07095

SWORN to before this
13 day of November, 2020
[Signature]
Notary Public

JENNIFER LAMSICK
NOTARY PUBLIC OF NEW JERSEY
Comm. # 2433739
My Commission Expires 5/3/2023

*If owner is a corporation, fill in the office held by deponent and name of corporation, and provide a list of all directors, officers and stockholders owning more that 5% of any class of stock.

APPLICATION REVIEW FORM

Affidavit Pursuant to Section 809 of the General Municipal Law

State of ~~New York~~ ^{New Jersey})
County of ~~Rockland~~ ^{Hudson}) SS.:
Town/Village of _____)

I, Nicole Vasquez (Authorized Representative) being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

Certifies that he/she is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application and if not the owner that he/she has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief set forth:

2. To the ZBA of the Town/Village of Orangetown, Rockland County, New York:

Application, petition or request is hereby submitted for:

- () Variance or modification from the requirement of Section _____;
() Special permit per the requirements of Section _____;
() Review and approval of proposed subdivision plat;
() Exemption from a plat or official map;
() An order to issue a certificate, permit or license;
() An amendment to the Zoning Ordinance of Official Map or change thereof;
(✓) Other (explain) Performance Standards Review and Approval;

To permit construction, maintenance and use of A portion of the parking area at 800 Bradley Hill Road to serve as parking for the proposed use at 700 Bradley Hill Road.

3. Premises affected are in a LI zone and from the Town of Orangetown

Tax map, the property is known as Section 65.18, Block, 1, Lot(s) 3.

APPLICATION REVIEW FORM

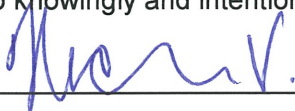
4. There is no state officer, Rockland County officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. To the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of ORANGETOWN in the petition, request or application or in the property or subject matter to which it relates:

(IF NONE, SO STATE)

- a. Name and address of officer or employee None
- b. Nature of interest N/A
- c. If stockholder, number of shares N/A
- d. If officer or partner, nature of office and name of partnership N/A
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. N/A
- f. In the event of corporate or limited liability company ownership: A list of all directors, officers and stockholders of each corporation or members of each limited liability company owning more than five (5%) percent of any class of stock or more than five (5%) percent beneficial interest, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town of Orangetown.

6. I do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Signature: 

Mailing Address: 900 Route 9 North, Suite 400
Woodbridge, NJ 07095

SWORN to before this

13 day of November, 2020


Notary Public

JENNIFER LAMSICK
NOTARY PUBLIC OF NEW JERSEY
Comm. # 2433739
My Commission Expires 5/8/2023




APPLICATION REVIEW FORM

Reimbursement for Professional Consulting Services

The Town/Village Board, Planning Board and Zoning Board of Appeals in the review of any application described above, may refer any such application presented to it to such engineering, planning, environmental or other technical consultant as such Board shall deem reasonably necessary to enable it to review such application as required by law. The charges made by such consultants shall be in accord with such charges usually made for such services in the metropolitan New York region or pursuant to an existing contractual agreement between the town/village for the cost of such consultant services upon receipt of the bill. Such reimbursement shall be made prior to final action on the application.

Permits will not be issued and site plan or subdivision will not be signed until bill is paid in full.

Applicant's Signature: 

SWORN to before this

13 day of November, 2020


Notary Public

JENNIFER LAMSICK
NOTARY PUBLIC OF NEW JERSEY
Comm. # 2433739
My Commission Expires 5/8/2023

APPLICATION REVIEW FORM

PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section _____
- Special permit per the requirements of Section _____
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*)

Performance Standards Review

To permit construction, maintenance or use of

A portion of the parking area at 800 Bradley Hill Road to serve as parking for the proposed last-mile parcel distribution facility at 700 Bradley Hill Road.

If an area variance is required, please fill out below:

This application seeks a variance from the provisions of Article _____, Section(s)

_____. Specifically, the applicant seeks a _____
(*side yard, lot area, height, etc.*) of _____ (*feet, height, floor area ratio, etc.*)

ZONING BOARD OF APPEALS
Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(914) 359-8410 (ex. 4331)

800
Bradley Hill

Date: November 23, 2020

TO: OBAPAE

- | | |
|--|--|
| <input checked="" type="checkbox"/> Environmental Management and Engineering | <input checked="" type="checkbox"/> Rockland County Drainage |
| <input checked="" type="checkbox"/> Rockland County Sewer District #1 | <input checked="" type="checkbox"/> Rockland County Health |
| <input checked="" type="checkbox"/> New York State Dept. of Transportation | <input checked="" type="checkbox"/> Rockland County Planning |
| Palisades Interstate Park Commission | Rockland County Highway |
| Orange and Rockland Utilities | |
| Orangetown Highway | |
| <input checked="" type="checkbox"/> Fire Prevention (Performance Standards) | |

Review of Plans: UPS Last mile Facility Performance Standards, 800 Bradley Hill Road, Blauvelt, NY

Section 65.18 Block 1 Lot 3 LI zone

This matter is scheduled for:

Chapter 43, LO District, Section 4.1, Performance Standards: 800 Bradley Hill parking will be used in conjunction with the last mile distribution facility located at 700 Bradley Hill Road. Applicant states that this lot will be used for additional parking only. See cover letter dated November 23, 2020 signed by Seth M. Mandelbaum, Attorney.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: darbolino@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: January 6, 2021

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, January 6, 2021**. Kindly forward your completed review to this office by January 6, 2021.

Reviewing Agency _____

Name _____ date: _____

Signature: _____

Thank you, Deborah Arbolino

Town of Orangetown

Resume of Operations and Equipment

Application Instructions

This application is to define equipment and operations for a new or existing facility or process to determine applicability to Town of Orangetown Performance Standards. The information herein is required for the Town Zoning Board to make such determination regarding the Applicant's proposed use of the land.

Do not start work before obtaining necessary permits to avoid subjecting the Applicant and contractors engaged in The Project to enforcement action, which could include: 1) civil or criminal court action, or both; 2) fines; 3) an order to remove structures or materials or perform other remedial action; or 4) both a fine and an order.

If the facility has existing and applicable local, county, state or federal permits, licenses or certifications, copies of such are to be listed below and included in this application.

PROJECT NAME: UPS Last-Mile Distribution Facility at Hudson Crossing

| Type of Permit <small>e.g., air, water, waste, etc.</small> | Agency <small>local, county, state, federal</small> | Submitted Paper Copy? Y or N | URL or Website Information |
|--|--|--|----------------------------|
| None | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

The Applicant must provide information and background showing the derivation of anticipated air emissions, water discharges and waste disposal, appropriate to the Projects' applicability to Town Performance Standards.

This PDF document is based on Microsoft's Excel format converted to PDF. Data can be entered directly into the areas designated, or the application may be printed and filled in by hand. To fill in electronically, open this document in Adobe Acrobat, click on "Typewriter" under "Tools", and begin typing. Font size is restricted. Additional pages can be included in the application.

Town of Orangetown
Resume of Operations and Equipment

This Application is required for the Town to make a determination regarding the applicant's proposed use of the land and buildings. Attach Additional Sheets as Needed.

Certification and Identification Information

Type of Action/Application: Place an "X" to the left of the appropriate categories.

| | | | | |
|-------------------------------------|--------------|--------------------------|--------------------------|--------|
| <input checked="" type="checkbox"/> | New | <input type="checkbox"/> | Significant Modification | Other: |
| <input type="checkbox"/> | Renewal | <input type="checkbox"/> | Administrative Amendment | |
| <input type="checkbox"/> | Minor Action | <input type="checkbox"/> | Major Action | |

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

I certify under penalty of law that I have personally examined and am familiar with the information submitted herein in this application, and information in support of it, and that based on my inquiry of those individuals responsible for obtaining the information, I believe that the submitted information is true, accurate and complete.

| | |
|---|---|
| Responsible Official: Print: <u>Nicole Vasquez</u> | Title: <u>Authorized Representative</u> |
| Signature: <u>[Signature]</u> | Date: <u>11/13/2020</u> |
| Phone: <u>732-850-5689</u> | Email: <u>NVasquez@onyxequities.com</u> |

Facility / Owner Information

| | |
|---|--------------------|
| Facility Name: 800 Bradley Hill Road | |
| Facility Address: 800 Bradley Hill Road, Blauvelt, NY 10913 | |
| Owner Name: AG-OE 800 Bradley Hill Road Owner LLC | Business EIN: |
| Street: 900 Route 9 North, Suite 400 | ZIP: 07095 |
| City/Town: Woodbridge | State/Province: NJ |

| | | | | |
|--------------------------|--------------------------|-------------|-------------------------------------|----------------------------------|
| Ownership: | <input type="checkbox"/> | Corporation | <input type="checkbox"/> | Individual |
| Place "X" to left of box | <input type="checkbox"/> | Partnership | <input checked="" type="checkbox"/> | Other: Limited Liability Company |

Owner/Firm/Facility Contact

| | |
|--|----------------------|
| Name: Nicole Vasquez | Phone: 973-808-5689 |
| Street Address: 900 Route 9 North, Suite 400 | Fax: |
| City/Town: Woodbridge | ZIP: 07095 |
| State/Province: NJ | Country: US |
| Affiliation: Representative of Owner | Title: Asset Manager |
| Email: nvasquez@onyxequities.com | |

Town of Orangetown
Resume of Operations and Equipment

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

BUILDING & PROPERTY

| | | | |
|---|------------|---------------------|-----|
| Property Footprint, total sq. ft./acres | 4.89 acres | Parking sq. ft. | |
| Footprint, Largest structure, sq. ft. | 58,928 | No. Parking Spots | 52* |
| Highest 'Story' on Site | 1 | Full Time Employees | 0 |
| Total No. Structures | 1 | Part Time Employees | 0 |

*For use by UPS at 700 Bradley Hill Road, with 63 spaces remaining for use by a future tenant at 800 Bradley Hill Road

STATE ENVIRONMENTAL QUALITY REVIEW

This application requires completing and submitting to the Town only, the New York State Department of Environmental Conservation's Short Environmental Assessment Form, Appendix B to 6NYCRR 617.20. Some of this information may be duplicated herein. This form can be accessed at:

http://www.dec.ny.gov/docs/permits_ej_operations_pdf/seafpartone.pdf

The applicant must provide floor plans showing location of equipment, work stations, vents, exhausts, chimneys or stacks, and associated industrial processes.

OPERATIONS

| | | |
|--|---------------|-------------|
| Primary Line(s) of Business: | NAICS: | SIC: |
| 1. Last-mile parcel sorting and distribution | 1. | 1. |
| 2. | 2. | 2. |
| 3. | 3. | 3. |
| Week Days Operating ⁷ | | |
| No. Shifts per Day | | |
| Hours per Day Operating ²⁴ | | |

Principal Products of Manufacture/Assembly/Business

| |
|--|
| 1. Last-mile parcel sorting and distribution |
| 2. |
| 3. |
| 4. |
| 5. |

Town of Orangetown
Resume of Operations and Equipment

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

NOISE

Based on descriptive decibel levels of Table A (following page), decibel corrections shown below as appropriate, and in accordance with the Town's Noise Performance Standard 4.181, evaluate the noise level for the processes you list below.

When appropriate, "frequency band cycles" as described in the Town's Noise Performance Standard will be evaluated by the facility in the event of non-compliance with levels proposed for this project. The Town may request this evaluation during the application process if more complex noise patterns are expected.

| Type of Operation of Character of Noise | Decibel Correction |
|--|--------------------|
| Daytime operation only | Plus 5 |
| Noise source operates less than 20% of any one hour period | Plus 5 |
| Noise source operates less than 5% of any one-hour period | Plus 10 |
| Noise source operates less than 1% of any one-hour period | Plus 15 |
| Noise of impulsive character (hammering, etc.) | Minus 5 |
| Noise of periodic character (hum, screech, etc.) | Minus 5 |

| Use dB categories in Table A <small>following page</small> | Noise Level/Range Anticipated Outdoor: | | | |
|---|--|---------------------------------|---|-----------------------------------|
| 'Loudest' Producers of Noise <small>Include construction and process operations.</small> | During Time of Busiest Activity | During Time of Slowest Activity | Frequency per day or Specific Time Ranges | Duration, denote hours or minutes |
| 1. Semi-truck traffic | | | 2x/day: 4:30-5:30 AM 5:30-6:30 PM* | |
| 2. Delivery van traffic | | | | |
| 3. | | | | |
| 4. | | | | |
| 5. | | | | |

VIBRATION

*Trucks and vans will arrive at and depart from 700 BHR

It is understood that the applicant is familiar with, and anticipates compliance with, the Town's Vibration Performance Standard, 4.171, during project construction and ultimate project operations. Any anticipated aberrations from this expectation should be detailed below.

Town of Orangetown
Resume of Operations and Equipment

TABLE A
Decibel Levels

| | | | |
|-----|---|-----|---|
| 0 | healthy hearing threshold | 110 | rock band; jackhammer, jet flyover @ 1000 ft. |
| 10 | a pin dropping | 115 | emergency vehicle siren; riveter |
| 20 | rustling leaves; quiet rural area, nighttime | 120 | thunderclap; oxygen torch |
| 30 | whisper, faint; quiet suburban area, nighttime | 125 | balloon popping |
| 40 | babbling brook, bird calls; quiet urban area, nighttime; computer | 130 | peak stadium crowd |
| 50 | light traffic; quiet urban area, daytime; refrigerator; residential air conditioner @ 50' | 135 | air raid siren, near jet engine |
| 60 | conversational speech @ 3'; air conditioner; heavy traffic @ 300' | 140 | jet engine at takeoff |
| 70 | shower; living room music; dishwasher | 145 | firecracker |
| 75 | toilet flushing; vacuum cleaner; gas lawnmower @ 100', commercial area | 150 | fighter jet launch |
| 80 | alarm clock; garbage disposal; noisy urban area, daytime | 155 | cap gun |
| 85 | passing diesel truck; snow blower | 160 | shotgun |
| 90 | squeeze toy; lawn mower, food blender, motorcycle @ 25'; arc welder; diesel truck @ 50' @ 50 mph. | 165 | .357 magnum revolver |
| 95 | inside subway car; food processor; belt sander | 170 | safety airbag |
| 100 | motorcycle (riding); loud auto horn @ 10'; lawn mower @ 3'; handheld drill | 175 | howitzer cannon |
| 105 | sporting event; table saw | 180 | rocket launch |
| | | 194 | sound waves become shock waves |

Most noise levels are given in dBA, which are decibels adjusted to reflect the ear's response to different frequencies of sound. Sudden, brief impulse sounds, like many of those shown at 120 dB or greater, are often given in dB (no adjustment).

30 faint

50 moderate

70 loud

90 very loud

120 deafening

130 threshold of pain

Town of Orangetown
Resume of Operations Equipment

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

Permits and Applicable Local, County, State & Federal Regulations

Does the new or modified facility, process(es) or equipment require ANY additional permits, licenses, certifications or other authorizations under local, county, state or federal jurisdiction, or adherence to the regulations below? If so, list the main applicable regulatory parts for each category.

For example, NYSDEC Air State Facility Permit: Part 201-5; industrial wastewater discharge, State Pollutant Discharge Elimination System (SPDES), Part 750; large gas burning engines, NSPS Subpart JJJJ.

Answers in the positive may cause the Town to only conditionally approve this project until these other requirements are met. Additional information and specificity of regulations may be required. It is the applicant's responsibility to provide proof of evidence of meeting all requirements.

AIR*

- EPA New Source Performance Standards
- NYSDEC:
 - Registration
 - Air State Facility Permit
 - Federal Title V Major Facility Permit

PRIMARY APPLICABLE REGULATIONS

| |
|--|
| |
| |
| |
| |
| |

WASTE**

- Pesticide Control
- Solid & Hazardous Waste
- Radiation
- Mineral Resources & Mined Land Reclamation
- Noise from Heavy Motor Vehicles

| |
|--|
| |
| |
| |
| |
| |

RESOURCE MANAGEMENT***

- Land Use
- Mineral Resources
- Invasive Species
- Real Property and Land Acquisitions
- Water Regulation

| |
|--|
| |
| |
| |
| |
| |

WATER****

- All other water applicable matters

| |
|--|
| |
|--|

GENERAL

- State Environmental Quality Review
- New York State Department of Health
- Uniform Procedures per 6NYCRR 621.1
- NYS Department of State
- Additional

| |
|------------------------------|
| 6 NYCRR Section 617 et. seq. |
| |
| |
| |
| |

* <http://www.dec.ny.gov/regs/2492.html>
 ** <http://www.dec.ny.gov/regs/2491.html>
 *** <http://www.dec.ny.gov/regs/2490.html>
 **** <http://www.dec.ny.gov/regs/2485.html>

Town of Orangetown
Resume of Operations and Equipment

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

Combustion Sources

| Combustion Source (engine, turbine, boiler, etc.) | No. of Units | Equipment Rating List HP, KW, MMBtu/hr, CFM with units | Fuels (e.g., natural gas, fuel oil, distillate or residual oil, waste oil, wood) |
|---|---------------------|--|--|
| None | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

Processes

| | |
|---|---|
| Will any process, including combustion, use or storage, disposal, discharge, emission, or release to the environment, be applicable and/or reportable to: | * |
|---|---|

| | |
|--|--|
| EPA Greenhouse Gas Reporting | |
| EPA Toxic Release Inventory | |
| National Emission Standards for Hazardous Air Pollutants | |
| High Toxicity Air Contaminants per NYSDEC Part 212-2.2 Table 2 | |
| Emergency Planning and Community Right-to-Know Act (EPCRA) | |
| Tier II NYS Emergency Response Commission | |
| Solid Waste | |
| Hazardous Waste | |
| FHWA or NYSDOT | |
| SPDES or NPDES | |

* Mark with an 'X' those that are applicable.

Chemical Characterization Codes

Table B

Use these codes to characterize chemicals and chemical products.

Does any operation involve the use of any of the following:

Y or N

- B explosive and blasting agents
- C poison: gas,g; liquid,l; solid,s
- D irritant
- E flammable liquid
- F flammable solid
- H flammable gas: specify propane and/or butane
- H-a flammables, NOS
- I oxidizer
- J organic peroxide
- K combustible liquid
- L radioactive material
- M corrosive material
- N "dangerous when wet" material
- O etiological material
- P combustible fibers

| |
|---|
| N |
| N |
| N |
| N |
| N |
| N |
| N |
| N |
| N |
| N |
| N |
| N |
| N |
| N |
| N |
| N |
| N |

Does any operation consist of the following:

- Q produces dust subject to explosion or spontaneous combustion
- R product poisonous fumes or gases
- T spray operations
- U fuel dispensing
- V propane gas forklifts
- W any other operation which may present a fire, explosive, radiological or other hazard

| |
|---|
| N |
| N |
| N |
| N |
| N |
| N |

If none of the above, identify substances as:

- A aerosol
- G gas
- L liquid
- S/P solid/powder
- S/L slurry

Chemical Bulk Inventory

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

| SINGLE, NON-MIXTURE CHEMICALS Top 5 by Amounts Used/Stored | CAS Identification* | Table B Characterization Code List all that apply | Yearly Use/Stored (list gallons or pounds) |
|--|----------------------------|---|--|
| 1. None | | | |
| 2. | | | |
| 3. | | | |
| 4. | | | |
| 5. | | | |

| | | |
|--|--|--|
| Is there any mixing on-site of any combination of single, bulk substances and/or purchased mixtures? <small>Indicate YES or NO</small> | | |
|--|--|--|

| Identify <u>any</u> on-site, single non-mixture chemical that is: | | |
|---|--|--|
| Known Human Carcinogen - KHC Probable Human Carcinogen - PrHC Possible Human Carcinogen - PHC Other - Indicate | Carcinogen Characteristic[#] | Yearly Consumption (gallons or pounds) |
| 1. None | | |
| 2. | | |
| 3. | | |

CAS Identification*

https://ofmpub.epa.gov/sor_internet/registry/substreg/searchandretrieve/substancesearch/search.do?search=&substanceName=ethyl%20ketone&substanceNameScope=contains&substanceType=-1&hasComponents=both

[#] As would be expected to be found in agreement among bodies such as the National Academy of Sciences, the U.S. Department of Health and Human Services' *Agency for Toxic Substance and Disease Registry* , the World Health Organization's *International Agency for Research on Cancer* .

Chemical Mixtures Inventory

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

| PURCHASED CHEMICAL MIXTURES List Top Three By Amount Used or Stored, and % of top three components of each mixture, excluding water. | CAS Identification* & Percentage | Table B Characterization Code List all that apply | Yearly Used/Stored (include units: gallons, g, or pounds, p) |
|--|---|--|--|
| M1. None | --- | | |
| a. | | | --- |
| b. | | | --- |
| c. | | | --- |
| M2. | --- | | |
| a. | | | --- |
| b. | | | --- |
| c. | | | --- |
| M3. | --- | | |
| a. | | | --- |
| b. | | | --- |
| c. | | | --- |

| Identify <u>any</u> on-site chemicals in any mixtures that are: Know Human Carcinogen - KHC Probable Human Carcinogen - PrHC Possible Human Carcinogen - PHC Other - Indicate | Carcinogen Characteristic | Yearly Used/Stored, gallons or pounds |
|--|---|--|
| 1. None | | |
| 2. | | |
| 3. | | |

Chemical Discharges

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

| List raw material, or products, that emit to the atmosphere or discharge to land or water. | Does this material - or products they form - emit or discharge to a pollution control device? If so, list device(s). |
|--|--|
| SINGLE, NON-MIXTURE CHEMICALS | |
| None 1. | |
| 2. | |
| 3. | |
| 4. | |
| 5. | |
| 6. | |
| 7. | |

| CHEMICAL MIXTURES | |
|--------------------------|--|
| 1. None | |
| 2. | |
| 3. | |
| 4. | |
| 5. | |
| 6. | |
| 7. | |

Primary Process Descriptions

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

Describe Primary Processes:

Provide a facility blueprint, drawing or schematic showing locations of the processes described below.

Characterization Codes from Table B

List all that apply

| | | |
|-------------|------------------------------|--|
| PP1 | Parking | |
| PP2 | Unloading package deliveries | |
| PP3 | | |
| PP4 | | |
| PP5 | | |
| PP6 | | |
| PP7 | | |
| PP8 | | |
| PP9 | | |
| PP10 | | |

Control Systems

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

Describe control methods such as pollution and odor controls, fire alarm systems, automatic fire suppression devices such as sprinklers, portable fire extinguishers, and any other safety devices.

| | |
|------------|---|
| C1 | Fire suppression as required by the Orangetown Fire Inspector |
| C2 | |
| C3 | |
| C4 | |
| C5 | |
| C6 | |
| C7 | |
| C8 | |
| C9 | |
| C10 | |

DEFINITIONS

Responsible official. A president, vice president, secretary, treasurer, general partner, proprietor, principal executive officer, ranking elected official, or any other person who performs policy or decision making functions and is authorized to legally bind a corporation, partnership, sole proprietorship, or government entity which operates a facility that is subject to the provisions of this Application. Whenever the term responsible official is used in this document or in any other Town regulations, it shall be deemed to refer to the “designated representative” with regard to all matters under this application.

Major action/project - actions for which permit applications are to be sent to the NYSDEC under 6NYCRR621.1.

Refer to: [https://govt.westlaw.com/nycrr/Document/I4ec443aacd1711dda432a117e6e0f345?viewType=FullText&originationContext=documenttoc&transitionType=CategoryPageItem&contextData=\(sc.Default\)](https://govt.westlaw.com/nycrr/Document/I4ec443aacd1711dda432a117e6e0f345?viewType=FullText&originationContext=documenttoc&transitionType=CategoryPageItem&contextData=(sc.Default))

Minor Project - Projects as described under NYSDEC's Uniform Procedures, 6 CRR-NY 621.4

Refer to: [https://govt.westlaw.com/nycrr/Document/I4ec46aa7cd1711dda432a117e6e0f345?viewType=FullText&originationContext=documenttoc&transitionType=CategoryPageItem&contextData=\(sc.Default\)](https://govt.westlaw.com/nycrr/Document/I4ec46aa7cd1711dda432a117e6e0f345?viewType=FullText&originationContext=documenttoc&transitionType=CategoryPageItem&contextData=(sc.Default))

Modification means any change or amendment whatsoever to a permit that is currently in force, including permit transfer.

Research and Development activities. The primary purpose of such activities is to conduct research and development into processes and products, where such activities are conducted under the close supervision of technically trained personnel. Research and development activities do not include activities whose primary purpose is to produce commercial quantities of materials.

RESERVED

Additional Information or Explanations

PROJECT NAME: UPS Last Mile Distribution Facility at Hudson Crossing

SITE IMPROVEMENTS

700 & 800 BRADLEY HILL ROAD

SECTION 65.18, BLOCK 1, LOTS 3 & 4
TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.

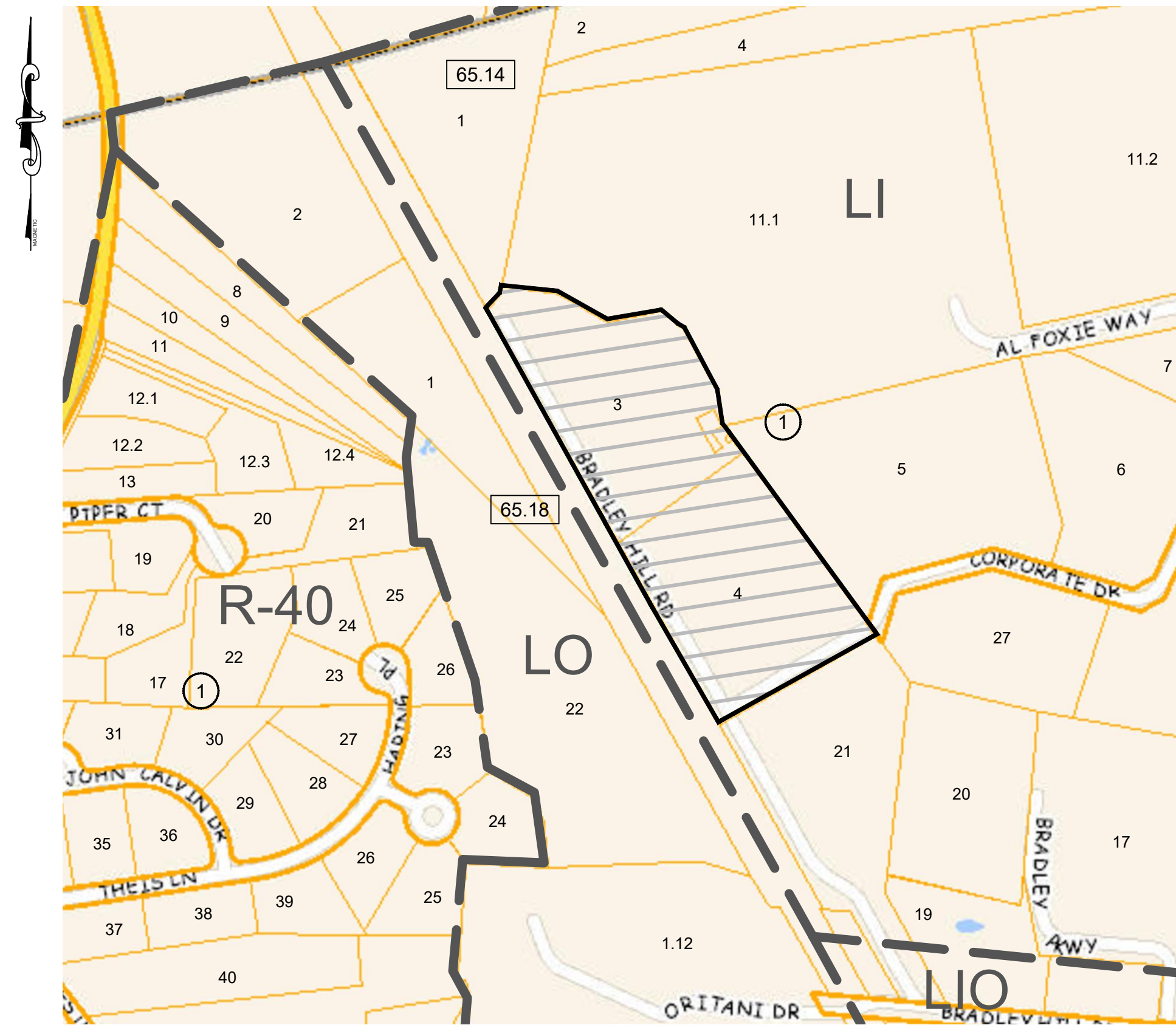


LOCATION MAP
SCALE: 1"=200'

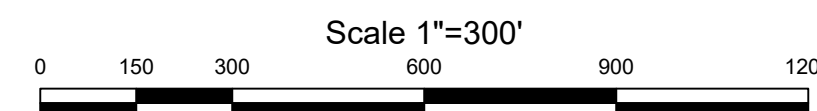
REFERENCE
MAPPING TAKEN FROM GOOGLE EARTH, DATED JULY 22, 2020.

INDEX OF DRAWINGS

| TITLE | SHEET NAME | SHEET NO. |
|--|------------|-----------|
| COVER SHEET | C-1 | 1 OF 11 |
| EXISTING CONDITIONS PLAN | EC-1 | 2 OF 11 |
| DEMOLITION PLAN | DE-1 | 3 OF 11 |
| SITE PLAN | S-1 | 4 OF 11 |
| GRADING & UTILITY PLAN | G-1 | 5 OF 11 |
| SOIL EROSION AND SEDIMENT CONTROL PLAN | SE-1 | 6 OF 11 |
| IMPERVIOUS COVERAGE PLAN | IC-1 | 7 OF 11 |
| SITE EASEMENT PLAN | E-1 | 8 OF 11 |
| DETAILS & NOTES | D-1 | 9 OF 11 |
| DETAILS & NOTES | D-2 | 10 OF 11 |
| LIGHTING PLAN | L-1 | 11 OF 11 |



ZONING LOCATION MAP
SCALE: 1"=300' ±



LEGEND

| | |
|---|----------------------------------|
| 1 | BLOCK NUMBER |
| 65.18 | SECTION NUMBER |
| 3 | LOT NUMBER |
| — | LOT LINE |
| | PROJECT AREA LIMITS |
| R-40 | LOW DENSITY RESIDENTIAL DISTRICT |
| LI | LIGHT INDUSTRIAL DISTRICT |
| LO | LABORATORY-OFFICE DISTRICT |
| LIO | LIGHT INDUSTRIAL OFFICE DISTRICT |

SITE PLAN OF:
700 & 800 BRADLEY HILL ROAD
TOWN OF ORANGETOWN, NEW YORK

OWNER/APPLICANT:
AG-OE 700 BRADLEY HILL ROAD OWNER, L.L.C.
C/O ONYX MANAGEMENT GROUP, LLC
900 ROUTE 9 NORTH, SUITE 400
WOODBIDGE, NJ 07095

AG-OE 800 BRADLEY HILL ROAD OWNER, L.L.C.
C/O ONYX MANAGEMENT GROUP, LLC
900 ROUTE 9 NORTH, SUITE 400
WOODBIDGE, NJ 07095

ATTORNEY:
MCCULLOUGH, GOLDBERGER & STAUDT, LLP
1311 MAMARONECK AVE., SUITE 340
WHITE PLAINS, NY 10605
CONTACT: SETH M. MANDELBAUM
PHONE: 914-949-6400
EMAIL: SMandelbaum@mgslawyers.com

CIVIL ENGINEER:
SESI CONSULTING ENGINEERS, DPC
12A MAPLE AVENUE
PINE BROOK, NJ 07058
CONTACT: FRANZ W. LAKI, PE
PHONE: 973-808-9050
EMAIL: FL@SESI.ORG

| | |
|--|---------------------|
| TOWN OF ORANGETOWN | |
| THIS SITE PLAN IS HEREBY APPROVED BY THE PLANNING BOARD OF THE TOWN OF ORANGETOWN, NEW YORK. | |
| DATE _____ | SECRETARY _____ |
| DATE _____ | CHAIRMAN _____ |
| THIS SITE PLAN HAS BEEN REVIEWED AND IS HEREBY APPROVED. | |
| DATE _____ | TOWN ENGINEER _____ |



FRANZ W. LAKI, P.E.
PROFESSIONAL ENGINEER
N.Y. LIC. NO. 96772

SESI
CONSULTING ENGINEERS

CERT. OF AUTH. # 24GA27934700
SOILS / FOUNDATIONS
SITE DESIGN
ENVIRONMENTAL

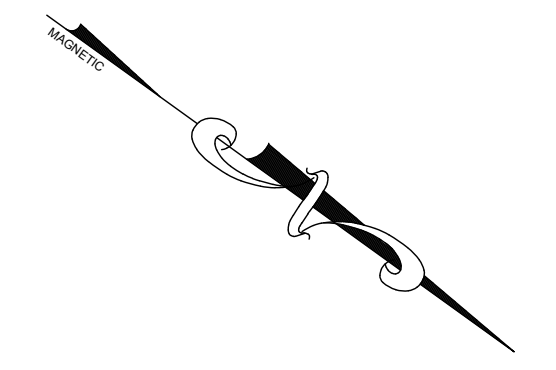
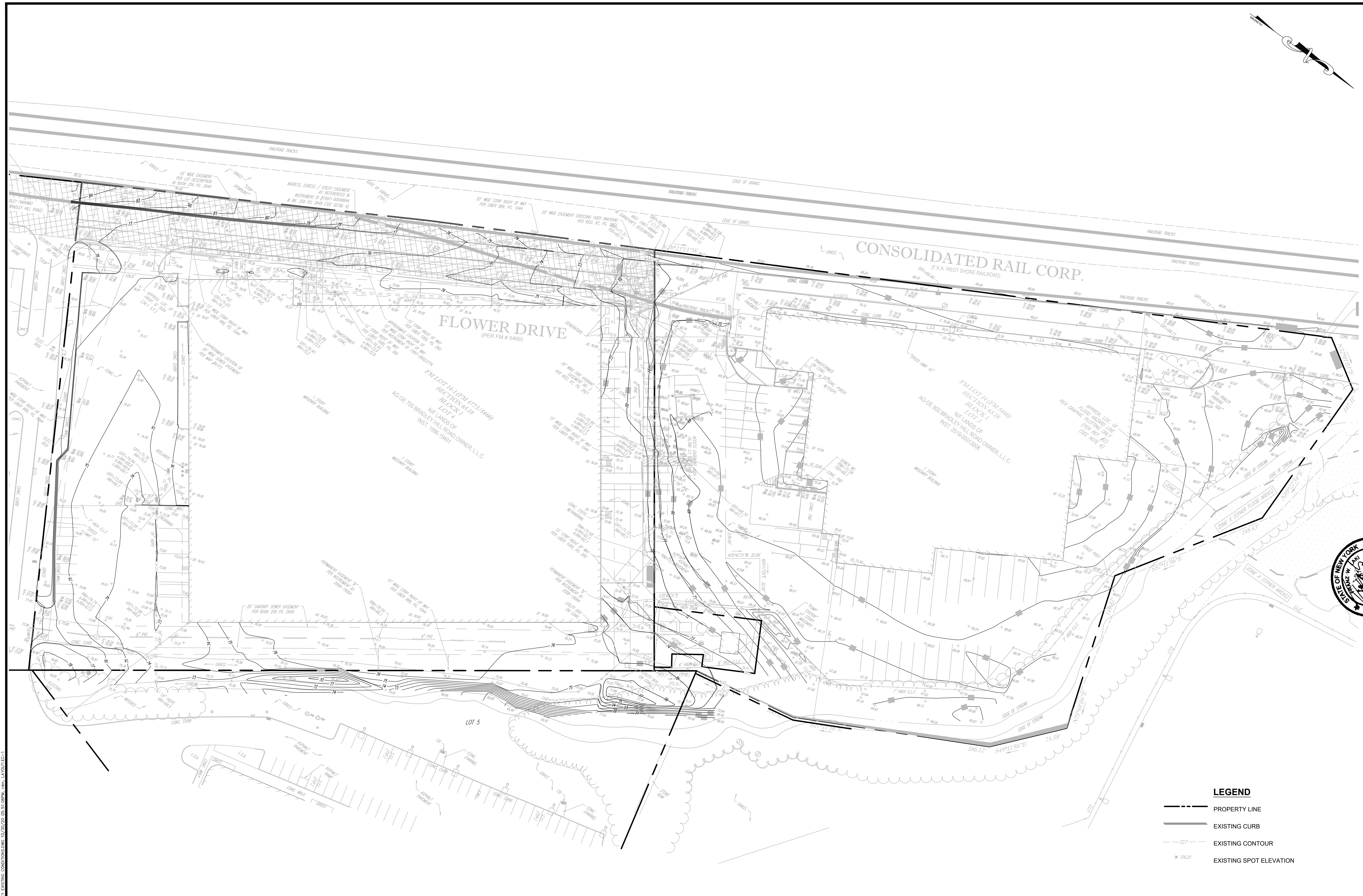
12A MAPLE AVE. PINE BROOK, N.J. 07058 PH: 973-808-9050

DATE: 8/31/2020 JOB NO. 10642 SHEET C-1

| REV | DATE | DESCRIPTION | BY |
|-----|------------|---|-----|
| 1 | 10/30/2020 | REV PER TOWNSHIP'S REVIEW LETTERS DATED 10/21/2020 AND 10/27/2020 | RLM |

N:\VADU\0642\0642_700 BRADLEY COVER.DWG, 10/29/20 05:55:54PM, .rvt, LAYOUT COVER-1

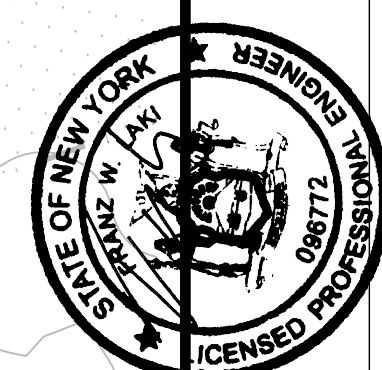
NYS Education Law
Unauthorized alterations or additions to this plan are a violation of section 7209 (2) of the New York State Education Law. Copies of this map not having the seal of the engineer shall not be valid.
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| | | |
|-----|----------|--|
| rev | date | description |
| 1 | 10/30/20 | REV PER TOWNSHIP'S REVIEW LTRS DATED 10/12/20 AND 10/27/20 |

dwn by: W
 ckt by: FL
 scale: AS NOTED
 date: 8/31/2020

SESI
 CONSULTING ENGINEERS
SOILS / FOUNDATIONS
SITE DESIGN
ENVIRONMENTAL
 125A MAPLE AVE. PINE BROOK, N.J. 07068 PH: 973-868-3030



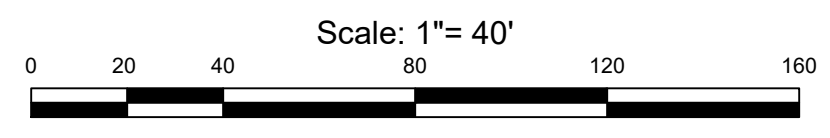
FRANZ W. LAKI, P.E.
 PROFESSIONAL ENGINEER
 N.Y. LIC. NO. 96772

700 & 800 BRADLEY HILL ROAD
 SECTION 65.18, BLOCK 1, LOTS 3 & 4
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.
EXISTING CONDITIONS

job no. 10642
 drawing no. **EC-1**
 2 of 11

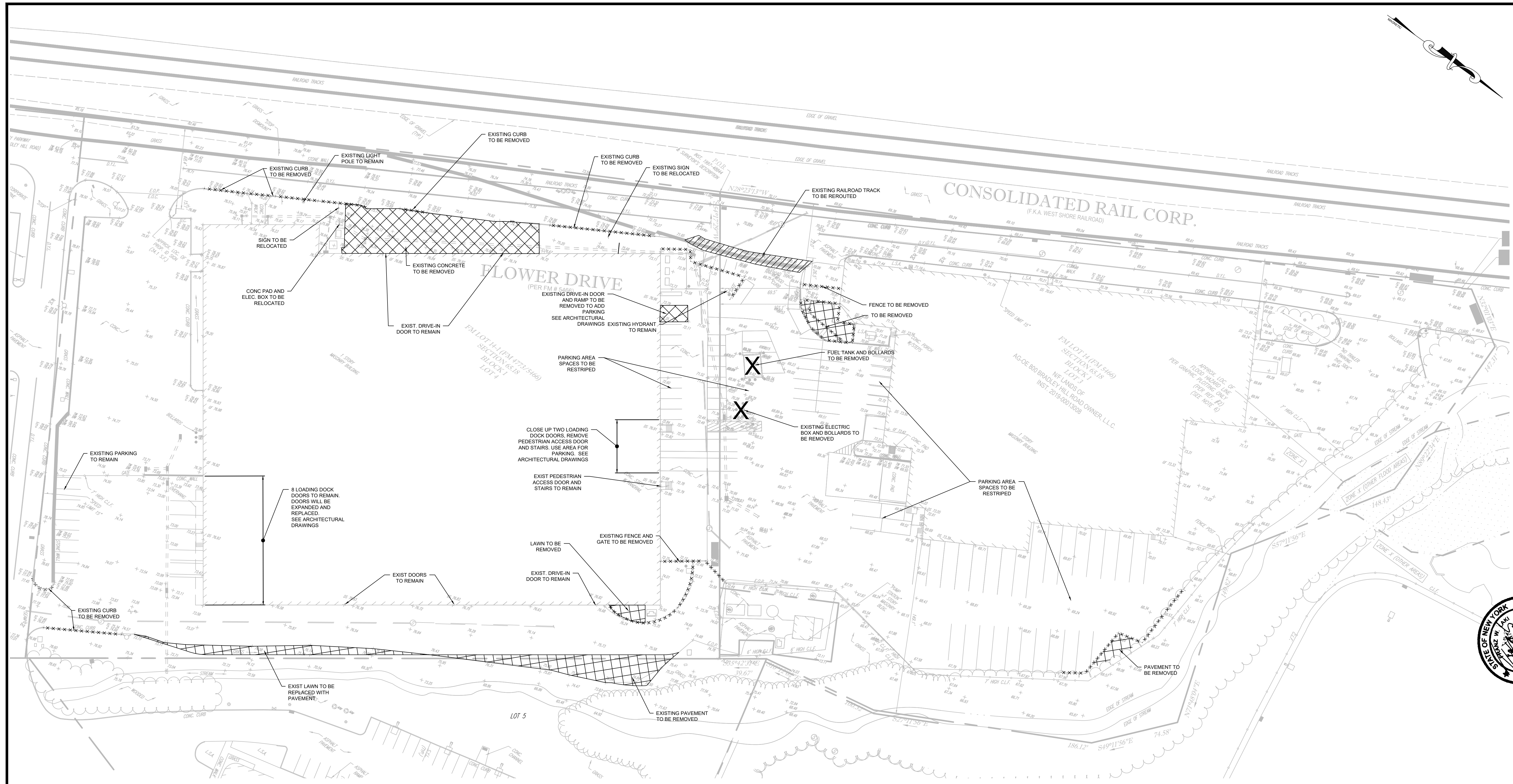
- REFERENCE:**
- EXIST CONDITIONS & BOUNDARY FOR 700 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - "BUILDING #3," PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020
 - EXIST CONDITIONS & BOUNDARY FOR 800 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 3, 800 BRADLEY HILL ROAD - "BUILDING #4," PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020

- LEGEND**
- PROPERTY LINE
 - EXISTING CURB
 - - - EXISTING CONTOUR
 - x 78.25 EXISTING SPOT ELEVATION



N:\CAD\10642_10642_700 BRADLEY EXISTING CONDITIONS.DWG 10/30/20 05:51:09PM csm LAVOITTE.C

NYS Education Law
 Unauthorized alterations or additions to this plan are a violation of section 7209 (2) of the New York State Education Law. Copies of this map not having the seal of the engineer shall not be valid.
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DEMOLITION NOTES:

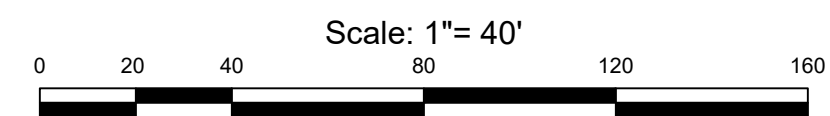
1. THE REMOVAL OF ALL WASTE ITEMS, EXCESS FILL, ASPHALT, FENCING, CONCRETE, ETC. SHALL BE DISPOSED OF AT LICENSED LANDFILLS.
2. ALL ITEMS DISTURBED BY DEMOLITION, SAW CUTTING, EXCAVATION, ETC... THAT ARE TO REMAIN SHALL BE REPLACED, RESET, OR RECONSTRUCTED AS REQUIRED TO RESTORE STRUCTURAL INTEGRITY AND SUITABLE APPEARANCE AT NO EXTRA CHARGE.
3. A SMOOTH UNIFORM EDGE MUST BE PROVIDED ALONG THE LIMIT OF PAVEMENT REMOVAL. THE CONTRACTOR SHALL SAW CUT THE PAVEMENT ALONG THE LIMIT OF PAVEMENT REMOVAL.
4. REMOVE ALL OBSTRUCTIONS WITHIN THE LIMIT OF SITE CONSTRUCTION INCLUDING PAVEMENT, CURB & GUTTER SIDEWALKS, SIGNS, FENCES, TREES, CONCRETE SLABS, WALLS, DEBRIS, AND FOLIAGE.
5. INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY LAND DISTURBANCE. ADHERE TO ALL LOCAL SOIL DISTRICT STANDARDS.
6. REMOVE EXISTING TREES AND VEGETATION AS REQUIRED. DO NOT DISTURB OR REMOVE EXISTING TREES OUTSIDE LIMIT OF WORK OR DESIGNATED TO BE PROTECTED.
7. AFTER DEMOLITION OF EXISTING SIDEWALK AND ASPHALT, CONTRACTOR SHALL COMPACT THE SUBGRADE WITH A SUITABLE COMPACTOR.
8. THE VOIDS CREATED BY EXCAVATION OF STRUCTURES DURING SITE DEMOLITION SHALL BE BACKFILLED WITH DENSE GRADED AGGREGATE AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ALL THE VARIOUS UTILITY COMPANIES TO VERIFY THE EXISTANCE, LIMITS, AND/OR LOCATIONS OF ANY UTILITIES AND/OR FACILITIES THAT MAY BE ALONG OR WITHIN THE VICINITY OF THIS IMPROVEMENT.
10. THE DEMOLITION INFORMATION PROVIDED MAY NOT REPRESENT ALL DEMOLITION NECESSARY FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE FULL EXTENT OF THE PROJECT DEMOLITION AND CONSTRUCTION ABOVE GROUND AND BELOW.
11. ALL WORK SHOWN ON THE DRAWINGS SHALL BE FIELD MEASURED AND OTHERWISE VERIFIED THROUGH FIELD EXPLORATIONS MADE DURING THE DEMOLITION PHASE. IN THE EVENT OF CONFLICT PERTAINING TO PLAN OR ELEVATION DIMENSIONS, THE ENGINEER SHOULD BE IMMEDIATELY NOTIFIED SO THAT THE ENGINEER CAN RESOLVE ANY CONFLICT.
12. PRIOR TO COMMENCING WITH ANY DEMOLITION WORK, THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS.
13. IN AREAS WHERE UTILITY DEPTHS REQUIRE VERIFICATION, THE CONTRACTOR SHALL EXCAVATE TEST PITS AFTER THE UTILITY MARK-OUT.
14. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY COMPANY IMMEDIATELY AFTER RECEIVING A "NOTICE TO PROCEED" FROM THE OWNER.
15. SCHEDULE WITH THE OWNER ALL NOISE PRODUCING CONSTRUCTION ACTIVITIES SUCH AS JACK HAMMERING, SAW CUTTING, ETC...
16. CONTRACTOR IS RESPONSIBLE TO PHASE WORK SO THAT VEHICULAR AND PEDESTRIAN ACCESS IS PROVIDED TO THE BUILDING, TENANT SPACES, AND CROSSWALKS AT ALL TIMES.
17. CONTRACTOR SHALL PROVIDE ALL PROTECTION FOR PEDESTRIAN AND VEHICULAR TRAFFIC DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO BARRICADES, FLAGGERS, ETC...
18. PRIOR TO CONSTRUCTION, ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED BY GENERAL CONTRACTOR.
19. ALL EXISTING ON-SITE WELLS SHALL BE ABANDONED IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.
20. SEE SOIL EROSION CONTROL PLAN FOR APPROX. LIMITS OF DISTURBANCE AND SEDIMENT FILTER FENCE LOCATION.

REFERENCE:

1. EXIST CONDITIONS & BOUNDARY FOR 700 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - 'BUILDING #3'; PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020
2. EXIST CONDITIONS & BOUNDARY FOR 800 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 3, 800 BRADLEY HILL ROAD - 'BUILDING #4'; PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020

LEGEND

- PROPERTY LINE
- - - - EXISTING CURB
- - - - EXISTING CONTOUR
- x 726.25 EXISTING SPOT ELEVATION
- X TO BE REMOVED
- X X X CURB TO BE REMOVED
- + MACADAM TO BE REMOVED
- TBR TO BE REMOVED
- ~ ~ ~ TREE PROTECTION FENCE

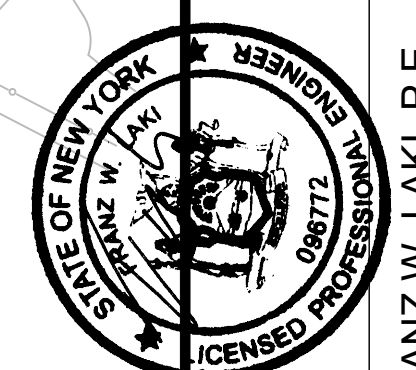


| | | |
|-----|----------|--|
| REV | DATE | DESCRIPTION |
| 1 | 10/20/20 | REV PER TOWNSHIP'S REVIEW LTRS DATED 10/21/20 AND 10/27/20 |

dwg by: WY
 chg by: FL
 scale: AS NOTED
 date: 8/3/2020

SESI
 CONSULTING ENGINEERS
SOILS / FOUNDATIONS
SITE DESIGN
ENVIRONMENTAL

125A MAPLE AVE. PINE BROOK, N.J. 07068 PH: 973-808-9000

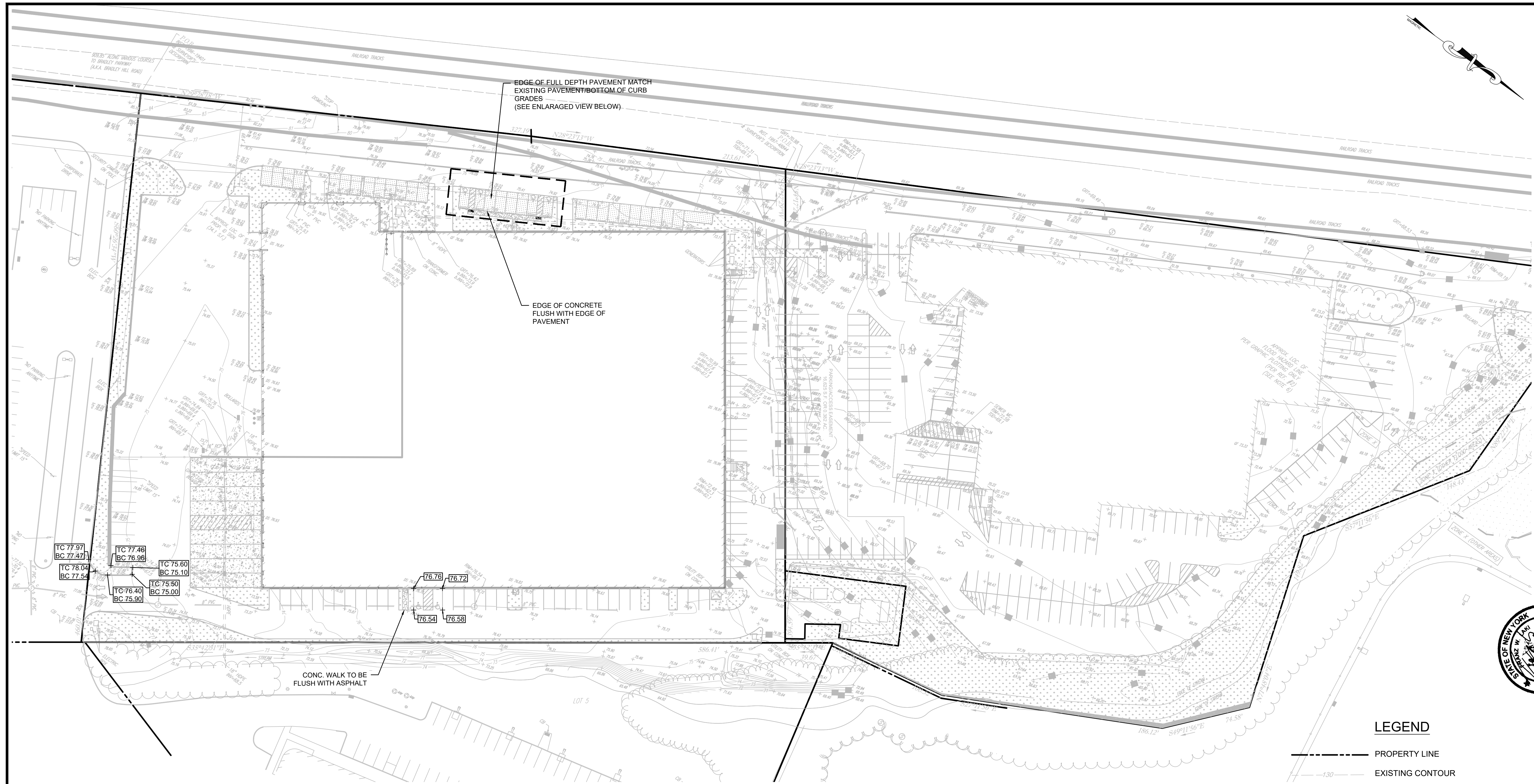


FRANZ W. LAKI, P.E.
 PROFESSIONAL ENGINEER
 N.Y. LIC. NO. 96772

DEMOLITION PLAN
 700 & 800 BRADLEY HILL ROAD
 SECTION 65.18, BLOCK 1, LOTS 3 & 4
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.

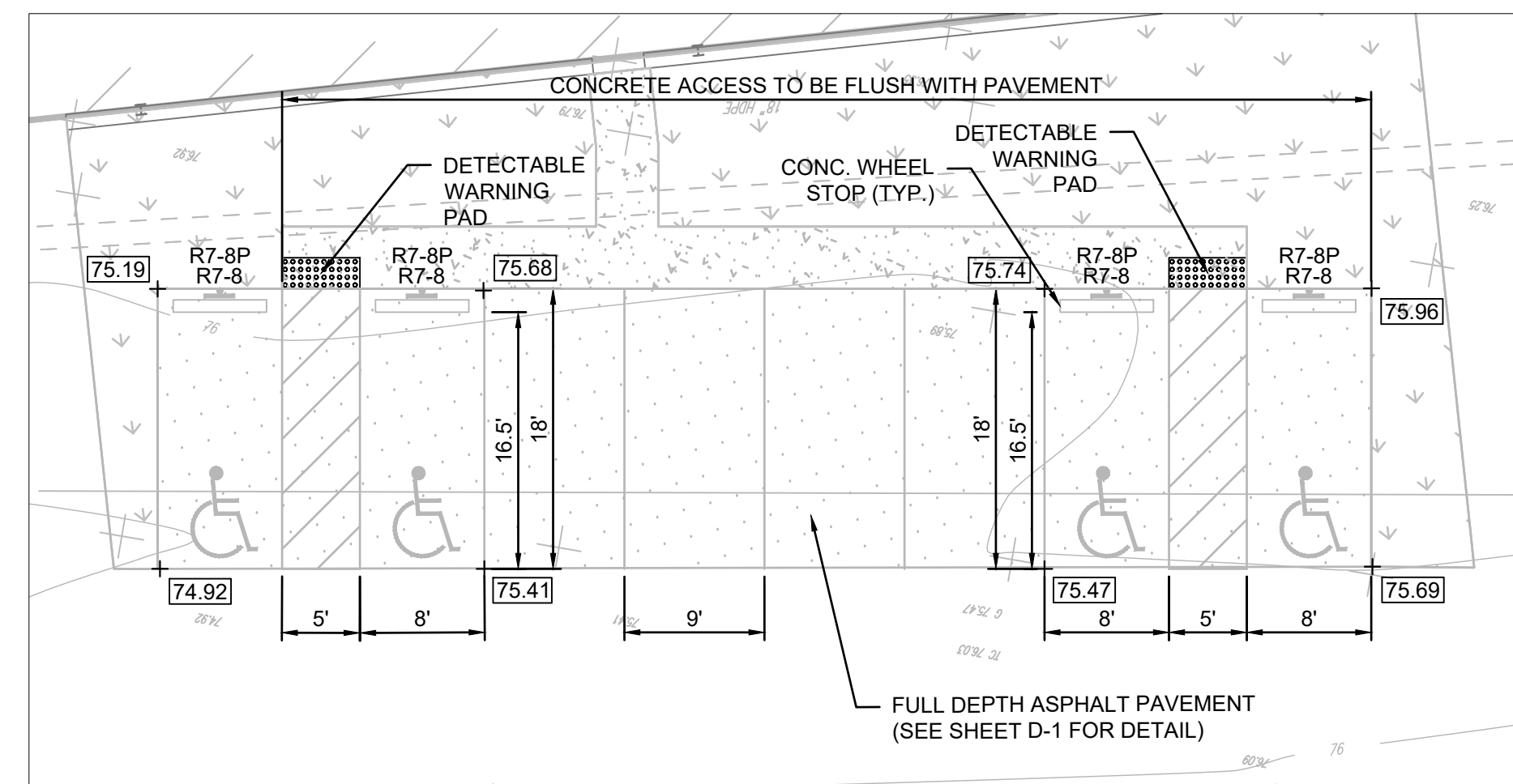
job no. 10642
 drawing no.

DE-1



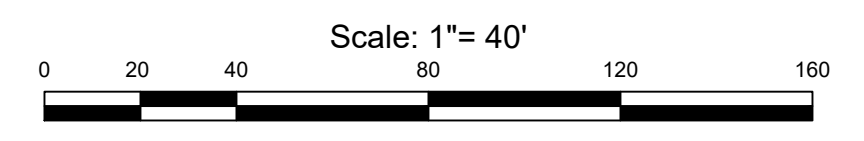
- NOTES:**
1. ALL ASPHALT IS TO BE MILLED AND REPAVED TO A MINIMUM DEPTH OF 2 INCHES, UNLESS OTHERWISE NOTED.
 2. FINISHED GRADES SHALL MATCH EXISTING GRADES, UNLESS OTHERWISE NOTED.
 3. EXISTING STORMWATER FLOW PATHS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
 4. EDGE OF PAVEMENT GRADES SHALL MATCH ADJACENT PAVEMENT/CONCRETE/LAWN GRADES.
 5. GRADES AT ADA PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.
 6. FOR FULL DEPTH ASPHALT PAVEMENT, PLEASE SEE PAVEMENT DETAILS ON SHEET D-1.
 7. FOR AREAS TO BE MILLED AND RE-PAVED, PAVEMENT DETAILS ON SHEET D-1.

- REFERENCE:**
1. EXIST CONDITIONS & BOUNDARY FOR 700 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - BUILDING #3," PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020
 2. EXIST CONDITIONS & BOUNDARY FOR 800 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 3, 800 BRADLEY HILL ROAD - BUILDING #4," PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020



ENLARGED PLAN
SCALE: 1"=10'

- LEGEND**
- PROPERTY LINE
 - - - - - EXISTING CONTOUR
 - × 123.45 EXISTING SPOT ELEVATION
 - [132] PROPOSED CONTOUR
 - + [123.45] PROPOSED SPOT ELEVATION
 - - - - - EXISTING STORM LINE
 - - - - - EXISTING SANITARY LINE
 - W EXISTING WATER MAIN
 - G EXISTING GAS SERVICE
 - E EXISTING ELECTRIC SERVICE
 - U EXISTING UTILITY SERVICE
 - (S) EXISTING STORM MANHOLE



| REV | DATE | DESCRIPTION |
|-----|----------|--|
| 1 | 10/30/20 | REV PER TOWNSHIP'S REVIEW LTRS DATED 10/12/20 AND 10/27/20 |

eng by: RDM
 chg by: FL
 scale: AS NOTED
 date: 8/31/2020

SESI
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 SOILS / FOUNDATIONS
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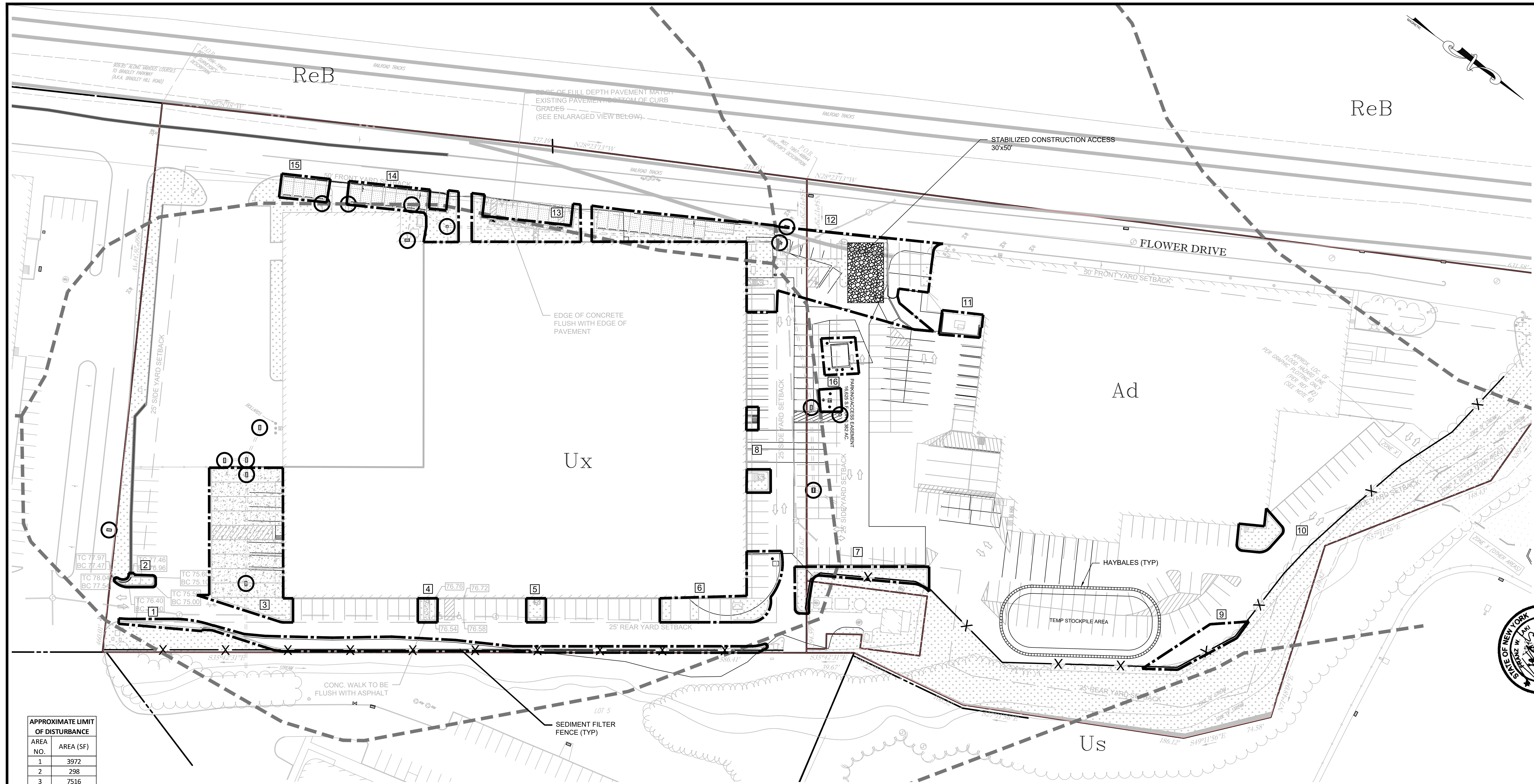


FRANZ W. LAKI, P.E.
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 N.Y. LIC. NO. 98772

700 & 800 BRADLEY HILL ROAD
 SECTION 65.18, BLOCK 1, LOTS 3 & 4
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.
GRADING AND UTILITIES PLAN

job no. 10642
 drawing no.

G-1



| APPROXIMATE LIMIT OF DISTURBANCE | |
|----------------------------------|-----------|
| AREA NO. | AREA (SF) |
| 1 | 3972 |
| 2 | 298 |
| 3 | 7516 |
| 4 | 329 |
| 5 | 325 |
| 6 | 2928 |
| 7 | 1612 |
| 8 | 581 |
| 9 | 1360 |
| 10 | 814 |
| 11 | 679 |
| 12 | 12518 |
| 13 | 1917 |
| 14 | 2227 |
| 15 | 795 |
| 16 | 2117 |
| TOTAL (SF) | 39988 |
| TOTAL (AC) | 0.92 |

NOTES:
 1. EXISTING STORMWATER FLOW PATHS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
 2. ALL INLETS SHALL RECEIVE INLET PROTECTION MEASURES IN AND ADJACENT TO WORK AREAS. ALL LOCATIONS MAY NOT SHOW ON THIS PLAN.

CONSTRUCTION SEQUENCE:

- OBTAIN ALL PERMITS
- PRE-CONSTRUCTION MEETING
- NOTIFY MUNICIPALITY AND REGULATORY AGENCIES OF THE START OF CONSTRUCTION
- INSTALL ALL SOIL EROSION CONTROL MEASURES (INLET PROTECT, SILT FENCE, HAYBALES, ETC.)
- GENERAL DEMOLITION AND REMOVAL
- MILLING
- FULL DEPTH PAVEMENT INSTALLATION
- CONCRETE FLATWORK
- PAVING AND STRIPING
- TOPSOIL AND SEED ALL LAWN AREAS
- REMOVE SOIL EROSION CONTROL MEASURES

REFERENCE:
 1. EXIST CONDITIONS & BOUNDARY FOR 700 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - 'BUILDING #3'." PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 8/3/2020
 2. EXIST CONDITIONS & BOUNDARY FOR 800 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 3, 700 BRADLEY HILL ROAD - 'BUILDING #4'." PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 8/3/2020

SOIL EROSION AND SEDIMENT CONTROL NOTES

- DESCRIPTION OF WORK
 PROVIDE ALL MEANS NECESSARY TO INSTALL, INSPECT AND MAINTAIN, AND REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE DRAWINGS AND AS REQUIRED TO MINIMIZE THE EROSION AND UNSPECIFIED TRANSPORT OF SOIL FROM THE SITE.
- QUALITY ASSURANCE
 A) GENERAL
 1. INSTALL AND MAINTAIN IN COMPLIANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
 2. RETAIN A COPY OF THE PROJECTS NOTICE ON INTENT (NOI), A BRIEF DESCRIPTION OF THE PROJECT, POSTED IN A PROMINENT PLACE FOR PUBLIC VIEWING, AND A COPY OF THE PROJECTS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AT THE CONSTRUCTION SITE FROM THE DATE OF INITIATION OF CONSTRUCTION ACTIVITIES TO THE DATE OF THE NOTICE OF TERMINATION (NOT) SUBMISSION.
 3. INSTALL IN ACCORDANCE WITH THE DRAWINGS OR NEW YORK STANDARDS AND SPECIFICATIONS FOR SOIL EROSION & SEDIMENT CONTROL, AUGUST 2005 (N.Y. GUIDELINES) OR THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MANUAL SERIES, WESTCHESTER COUNTY, NY, 1991 (W.C. GUIDELINES), WHICHEVER IS STRICTER.
 4. GRADE AND MAINTAIN SITE AT ALL TIMES SUCH THAT ALL STORM WASTE RUNOFF FROM DISTURBED AREAS IS DIVERTED TO SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES.
 5. NO CHANGES TO THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE MADE WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
 6. NO MORE THAN 5 ACRES OF SOIL, NOT PROTECTED BY EROSION AND SEDIMENTATION CONTROL MEASURES, CAN BE DISTURBED AT ANY TIME.
 7. THE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS RELATING TO THE PREVENTION AND ABATEMENT OF POLLUTION.
 B) PRODUCT DATA: SUBMIT MANUFACTURER'S CATALOGUE CUTS, SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR SILT FENCES, FILTER FABRICS, EROSION CONTROL BLANKETS, TRASH RACKS, ANTI-SEEP COLLARS, AND SEDIMENT BASIN RISER AND BARREL PIPES.
- WORK SCHEDULE
 A) PRECONSTRUCTION PHASE:
 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 2. PRIOR TO CLEARING VEGETATION IN WATERSHED, INSTALL PERIMETER SILT FENCE/HAY BALES AND SILT FENCE.
 3. PRIOR TO GRUBBING AND GRADINGS WITHIN A SPECIFIC WATER SHED INSTALL:
 1) TEMPORARY SEDIMENT BASINS, AND
 2) TEMPORARY EARTH DIKES/SWALES
 B) CONSTRUCTION PHASE:
 1. INSPECT AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES UNTIL THEIR REMOVAL AS SPECIFIED. INSPECT MEASURES AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A 0.5 INCH OR GREATER STORM EVENT. STABILIZED AREAS WILL BE INSPECTED MONTHLY UNTIL THE ENTIRE SITE IS STABILIZED. MAINTENANCE WILL BE COMPLETED WITHIN 7 CALENDAR DAYS OF DETERMINING ITS NEED.
 2. WHEN EXCESS SOIL FROM EARTHWORK ACTIVITIES OCCURS, CONSTRUCT AND STABILIZE SOIL STOCKPILES.
 3. PROVIDE DUST CONTROL.
 4. KEEP PAVED ROADWAYS CLEAN AT ALL TIMES.
 5. TEMPORARILY STABILIZE AS SPECIFIED.
 6. FOLLOWING FINISH GRADING, INSTALL TEMPORARY OR PERMANENT STABILIZATION.
 7. IMMEDIATELY FOLLOWING THE INSTALLATION OF CATCH BASIN INLETS INSTALL INLET PROTECTION.
 C) POST CONSTRUCTION PHASE:
 1. STABILIZE WATERSHED AND HAVE OWNER'S REPRESENTATIVE REVIEW AND APPROVE.

- REMOVE TEMPORARY EARTH DIKES AND VEGETATE AND PERMANENTLY STABILIZE THE RELATED DISTURBED AREAS.
 - REMOVE SEDIMENT BASINS AND VEGETATE AND PERMANENTLY STABILIZE THE RELATED DISTURBED AREA.
 - HAVE OWNER'S REPRESENTATIVE REVIEW AND APPROVE STABILIZATION OF AREAS NOTED ABOVE.
 - REMOVE PERIMETER SILT FENCE AND VEGETATE AND STABILIZE THE RELATED DISTURBED AREA.
 - ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 4) PRODUCTS AND EXECUTION
 A) SEDIMENT BASINS: ALL PIPE CONNECTIONS AND ANTI-SEEP COLLAR CONNECTIONS SHALL BE WATERTIGHT EXCEPT FOR THE RISER TOP INLET OPENING AND DEWATERING HOLES. EMBANKMENT MATERIAL SHALL BE TAKEN FROM APPROVED AREAS AS DIRECTED BY OWNERS REPRESENTATIVE. IT SHALL BE CLEAN MINERAL SOIL FREE OF ROOTS, WOODY VEGETATION, OVERSIZED STONES, ROCKS, OR OTHER OBJECTIONABLE MATERIAL. RELATIVELY PERVIOUS MATERIAL SUCH AS SAND OR GRAVEL SHALL NOT BE PLACED IN THE EMBANKMENT. AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IT CAN BE FORMED BY HAND INTO A BALL WITHOUT CRUMBLING. IF WATER CAN BE SQUEEZED OUT OF THE BALL THE MATERIALS IS TOO WET FOR PROPER COMPACTION AND UNACCEPTABLE FOR USE IN THE EMBANKMENT. FILL MATERIAL SHALL BE PLACED IN SIX INCH TO EIGHT INCH THICK CONTINUOUS LAYERS OVER THE ENTIRE LENGTH OF THE FILL. COMPACTION SHALL BE OBTAINED BY ROUTING AND HAULING THE CONSTRUCTION EQUIPMENT OVER THE FILL SO THAT THE ENTIRE SURFACE OF EACH LAYER OF THE FILL IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE EQUIPMENT OR BY THE USE OF A COMPACTOR. THE EMBANKMENT SHALL BE CONSTRUCTED TO AN ELEVATION TEN PERCENT HIGHER THAN THE DESIGN HEIGHT TO ALLOW FOR SETTLEMENT.
 B) INLET PROTECTION: THE FILTER FABRIC SHALL BE MIRAFI 700X OR EQUAL.
 C) EARTH DIKES: COMPACT DIKES WITH EARTH MOVING EQUIPMENT. EROSION CONTROL BLANKETS SHALL BE BONTERRA CS2 OR EQUAL.
 D) STABILIZED CONSTRUCTION ENTRANCE: THE FILTER FABRIC SHALL BE MIRAFI 600X OR EQUAL. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PERIMETER CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
 E) SILT FENCE: SILT FENCE FABRIC SHALL BE MIRAFI 100X OR EQUAL. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD, A MINIMUM 36 INCHES LONG AND TWO INCHES SQUARE. METAL POSTS SHALL BE STANDARD T AND U SECTION WEIGHING NOT LESS THAN ONE POUND PER LINEAR FOOT. WIRE FENCE BACKING SHALL BE A MINIMUM 14-12 GAGE WITH A MAXIMUM SIX INCH MESH OPENING AND SECURELY ATTACHED TO FENCE POSTS. POSTS SHALL EXTEND A MINIMUM OF 16 INCHES INTO THE GROUND.
 F) HAY BALE BARRIERS: WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD, A MINIMUM 36 INCHES LONG. METAL POSTS SHALL BE STANDARD T AND U SECTION WEIGHING NOT LESS THAN ONE POUND PER LINEAR FOOT.
 G) TEMPORARY STABILIZATION:
 1. ESTABLISHMENT OF TEMPORARY GRASS COVER: PREPARE SEED BED, SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS ROCKS AND STUMPS, AND SEED WITHIN 24 HOURS. AMEND SOIL, LIME SOIL TO PH OF 6.0 AND FERTILIZE AT A RATE OF 14 LBS. PER 1,000 SQUARE FEET WITH A 5-10-10 OR EQUIVALENT FERTILIZER. WORK AMENDMENTS A MINIMUM OF 4 INCHES INTO SOIL. IF SEEDING IN OCTOBER/NOVEMBER SEED SHALL BE CERTIFIED BROODSTOCK WINTER RYE @ 100 LBS. PER ACRE. OTHERWISE SEED SHALL BE RYEGRASS (ANNUAL OR PERENNIAL) @ 30 LBS. PER ACRE.
 2. MULCH: SMALL GRAIN STRAW MULCH SHALL BE APPLIED AT A RATE OF TWO TONS (100 TO 120 BALES) PER ACRE. SLOPES GREATER THAN 50% SHALL BE IMMEDIATELY MULCHED WITH EROSION CONTROL BLANKETS. BLANKETS SHALL BE BONTERRA S2 INSTALLED AS RECOMMENDED BY MANUFACTURER.
 3. TREAT ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING AS NECESSARY TO PROVIDE DUST CONTROL. CONFORM TO ALL LOCAL AND STATE REGULATIONS GOVERNING THESE ACTIVITIES.
 4. INSTALL TEMPORARY STABILIZATION WITHIN 24 HOURS AFTER THE END OF CONSTRUCTION ACTIVITIES IN AN AREA UNLESS THERE IS SNOW COVER OR CONSTRUCTION ACTIVITIES WILL RESUME WITHIN 21 DAYS.
 H) CONSTRUCTION VEHICLES: THOROUGHLY WASH DOWN ALL CONSTRUCTION VEHICLES EACH TIME THEY LEAVE THE SITE, AND COVER WITH TARPULINS AS NECESSARY TO PREVENT VEHICLE TRANSPORT OF SEDIMENT OFF-SITE. DIRECT WASTEWATER FROM WASH DOWN OPERATIONS TO A SEDIMENT BASIN.
 5) THE VILLAGE MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION ON OF DISTURBED SOILS.

LEGEND

- PROPERTY LINE
- STABILIZED CONSTRUCTION ENTRANCE
- APPROX. LIMITS OF DISTURBANCE (0.92 AC)
- SEDIMENT FENCE FENCE
- SOIL TYPE BOUNDARY LINE
- DROP INLET PROTECTION
- Urban land
- Alden silt loam
- Riverhead fine sandy loam, 3 to 8 percent slopes
- Udorthents, smoothed

Scale: 1"= 40'

700 & 800 BRADLEY HILL ROAD
 SECTION 65.18, BLOCK 1, LOTS 3 & 4
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.

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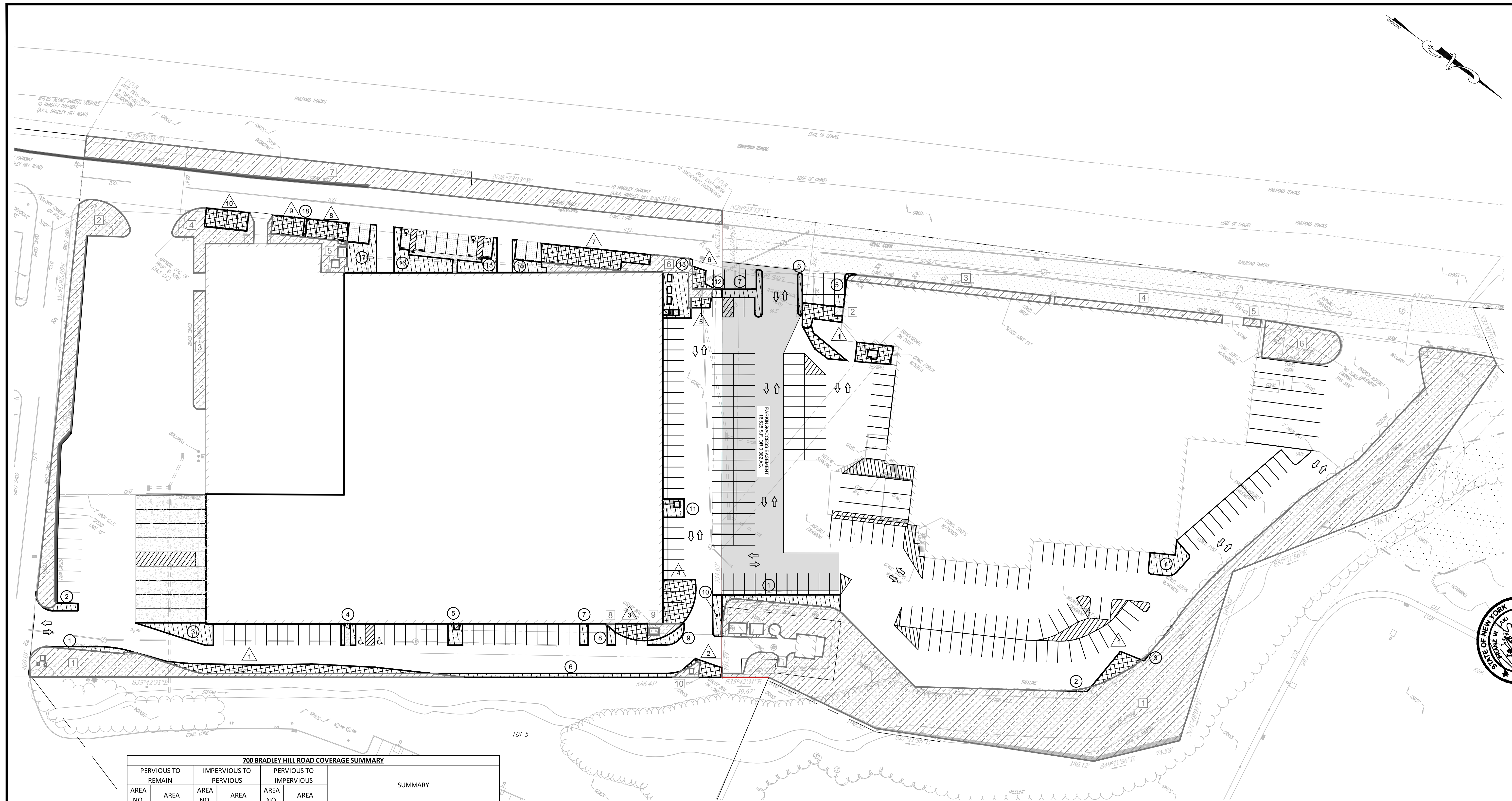
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STATE OF NEW YORK
 PROFESSIONAL ENGINEER
 FRANZ W. LAKE, P.E.
 N.Y. LIC. NO. 96172

job no. 10642
 drawing no. SE-1

10/30/20 REV. PER TOWNSHIP'S REVIEW LTRS DATED 10/21/20 AND 10/27/20
 8/31/2020
 AS NOTED
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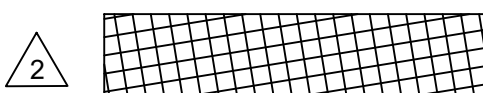

700 BRADLEY HILL ROAD COVERAGE SUMMARY

| AREA NO. | PERVIOUS TO REMAIN | | IMPERVIOUS TO PERVIOUS | | PERVIOUS TO IMPERVIOUS | | SUMMARY | | |
|----------|--------------------|------|------------------------|------|------------------------|------|-------------------------|------------|------------|
| | AREA NO. | AREA | AREA NO. | AREA | AREA NO. | AREA | | TOTAL (SF) | TOTAL (AC) |
| 1 | 3258 | | 1 | 199 | 1 | 1351 | | | |
| 2 | 4397 | | 2 | 139 | 2 | 257 | PERVIOUS TO IMPERVIOUS | 6067 | 0.14 |
| 3 | 1006 | | 3 | 684 | 3 | 332 | IMPERVIOUS TO PERVIOUS | 6177 | 0.14 |
| 4 | 1413 | | 4 | 133 | 4 | 937 | NET | -110 | |
| 5 | 778 | | 5 | 196 | 5 | 145 | REDUCTION IN IMPERVIOUS | | |
| 6 | 1175 | | 6 | 631 | 6 | 213 | | | |
| 7 | 8725 | | 7 | 128 | 7 | 1291 | | | |
| 8 | 31 | | 8 | 95 | 8 | 550 | | | |
| 9 | 233 | | 9 | 228 | 9 | 425 | | | |
| 10 | 141 | | 10 | 269 | 10 | 566 | | | |
| | | | 11 | 254 | | | | | |
| | | | 12 | 59 | | | | | |
| | | | 13 | 872 | | | | | |
| | | | 14 | 305 | | | | | |
| | | | 15 | 414 | | | | | |
| | | | 16 | 822 | | | | | |
| | | | 17 | 718 | | | | | |
| | | | 18 | 31 | | | | | |

800 BRADLEY HILL ROAD COVERAGE SUMMARY

| AREA NO. | PERVIOUS TO REMAIN | | IMPERVIOUS TO PERVIOUS | | PERVIOUS TO IMPERVIOUS | | SUMMARY | | |
|----------|--------------------|------|------------------------|------|------------------------|------|-------------------------|------------|------------|
| | AREA NO. | AREA | AREA NO. | AREA | AREA NO. | AREA | | TOTAL (SF) | TOTAL (AC) |
| 1 | 35895 | | 1 | 742 | 1 | 1164 | | | |
| 2 | 55 | | 2 | 31 | 2 | 426 | PERVIOUS TO IMPERVIOUS | 1590 | 0.04 |
| 3 | 1015 | | 3 | 12 | | | IMPERVIOUS TO PERVIOUS | 2029 | 0.05 |
| 4 | 894 | | 4 | 576 | | | NET | -439 | |
| 5 | 91 | | 5 | 116 | | | REDUCTION IN IMPERVIOUS | | |
| 6 | 1860 | | 6 | 134 | | | | | |
| | | | 7 | 418 | | | | | |

LEGEND

-  IMPERVIOUS TO PERVIOUS
-  PERVIOUS TO IMPERVIOUS
-  PERVIOUS TO REMAIN

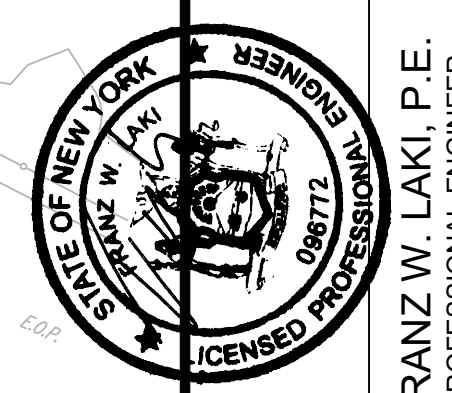
REFERENCE:

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NYS Education Law
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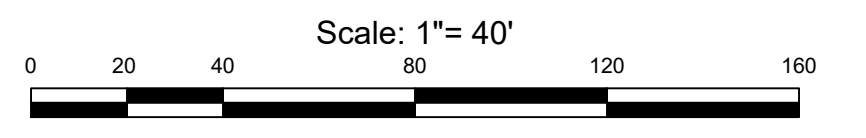
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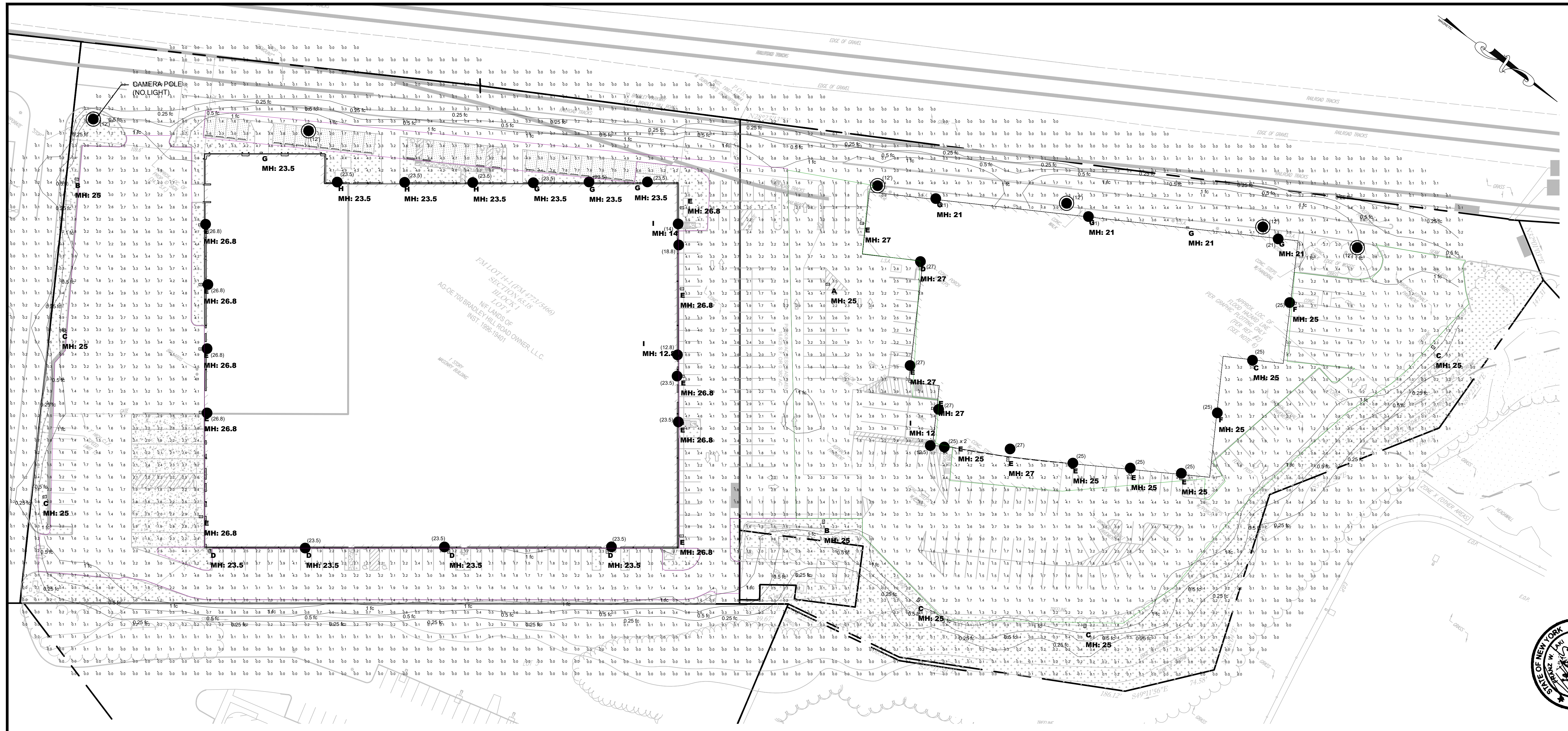


FRANZ W. LAKI, P.E.
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 N.Y. LIC. NO. 96772

700 & 800 BRADLEY HILL ROAD
 SECTION 65.18, BLOCK 1, LOTS 3 & 4
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.
 IMPERVIOUS COVERAGE PLAN

job no. 10642
 drawing no.
 IC-1
 7 of 11





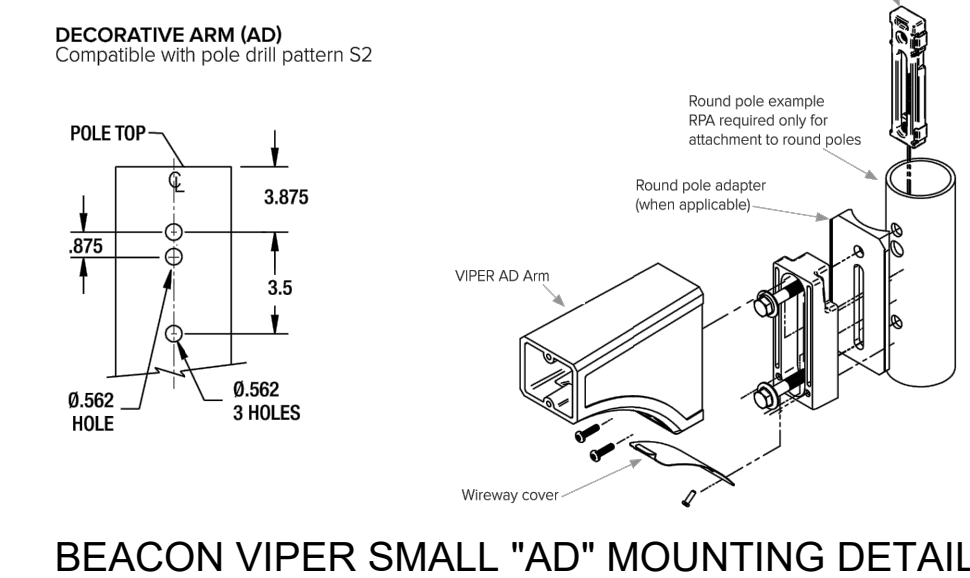
| Symbol | Arrangement | Qty | Type | Manufacturer | Product Code | Lum. Watts | Array Watts | Lum. Lumens | LLF |
|--------|-------------|-----|------|--------------|---|------------|-------------|-------------|-------|
| 1 | SINGLE | 1 | A | BEACON | VP-60L-136-4K7-3-VOLTS-AD-FINISH w/ SSS-B-25-40-A-1-S2-FINISH (POLE MOUNTED AT 25' AFD) | 135.4 | 135.4 | 15344 | 0.950 |
| 2 | SINGLE | 2 | B | BEACON | VP-60L-136-4K7-4-VOLTS-AD-FINISH w/ SSS-B-25-40-A-1-S2-FINISH (POLE MOUNTED AT 25' AFD) | 135.6 | 135.6 | 15088 | 0.950 |
| 3 | SINGLE | 6 | C | BEACON | VP-60L-136-4K7-3-VOLTS-AD-FINISH w/ SSS-B-25-40-A-1-S2-FINISH (POLE MOUNTED AT 25' AFD) | 133.155 | 133.155 | 14774 | 0.950 |
| 4 | SINGLE | 5 | D | BEACON | VP-60L-136-4K7-3-VOLTS-WB-FINISH (WALL MOUNTED AT VARIOUS HEIGHTS) | 135.4 | 135.4 | 15344 | 0.950 |
| 5 | SINGLE | 18 | E | BEACON | VP-60L-136-4K7-4-VOLTS-WB-FINISH (WALL MOUNTED AT VARIOUS HEIGHTS) | 135.6 | 135.6 | 15088 | 0.950 |
| 6 | SINGLE | 2 | F | BEACON | VP-60L-136-4K7-4-VOLTS-WB-FINISH (WALL MOUNTED AT VARIOUS HEIGHTS) | 133.155 | 133.155 | 14774 | 0.950 |
| 7 | SINGLE | 8 | G | KIM LIGHTING | WDM-D-4R-105-4K7-3-VOLTS-FINISH (WALL MOUNTED AT VARIOUS HEIGHTS) | 104 | 104 | 12433 | 0.950 |
| 8 | SINGLE | 3 | H | KIM LIGHTING | WDM-D-4R-105-4K7-3-VOLTS-FINISH (WALL MOUNTED AT VARIOUS HEIGHTS) | 104 | 104 | 12644 | 0.950 |
| 9 | SINGLE | 3 | I | KIM LIGHTING | WDS-D-24L-30-4K7-4W-VOLTS-FINISH (WALL MOUNTED AT VARIOUS HEIGHTS) | 28.73 | 28.73 | 3252 | 0.950 |

| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
|----------------------|-------------|-------|------|-----|-----|---------|---------|
| BUILDING 700 PARKING | Illuminance | Fc | 2.53 | 7.8 | 0.7 | 3.61 | 11.14 |
| BUILDING 800 PARKING | Illuminance | Fc | 2.26 | 6.6 | 0.7 | 3.23 | 9.43 |

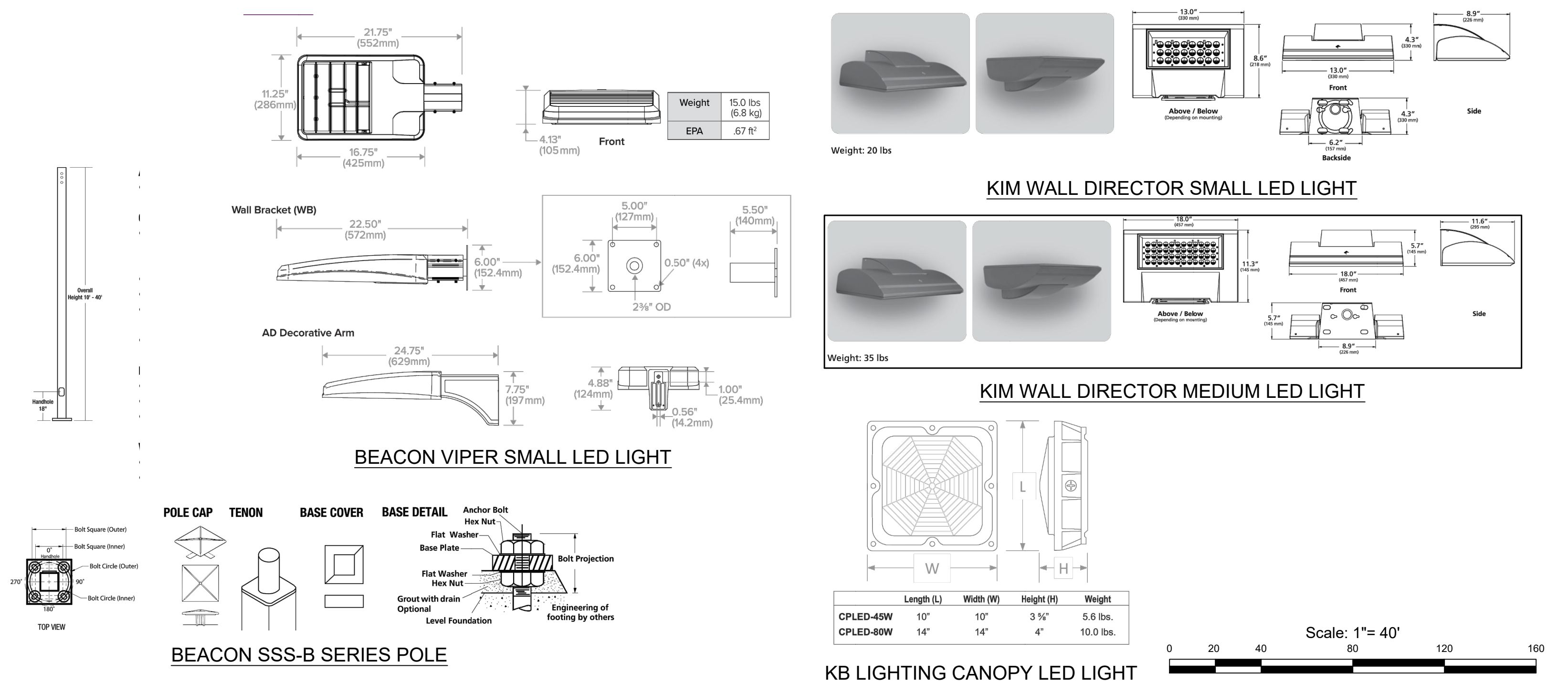
DIVERSIFIED NJ
55 LANE ROAD
FAIRFIELD, NJ 07004
DESIGNER: MATTHEW STERNER
PHONE: (908) 907-8462
EMAIL: MSTERNER@DIVNJ.COM

LEGEND

- (26.8) ● WALL MOUNTED LIGHT (MOUNTED HEIGHT)
- (12') ● LIGHT POLE (MOUNTED HEIGHT)



BEACON VIPER SMALL "AD" MOUNTING DETAIL



- REFERENCE:**
- EXIST CONDITIONS & BOUNDARY FOR 700 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 4, 700 BRADLEY HILL ROAD - 'BUILDING #3', PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020
 - EXIST CONDITIONS & BOUNDARY FOR 800 BRADLEY HILL ROAD ARE TAKEN FROM DRAWING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 65.18, BLOCK 1, LOT 3, 800 BRADLEY HILL ROAD - 'BUILDING #4', PREPARED BY CONTROL POINT ASSOCIATES, INC, DATED 8/3/2020

NYS Education Law
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10/20/20
REV. PER TOWNSHIP'S REVIEW LTRS DATED 10/21/20 AND 10/27/20
REV. DATE
description

eng by: YY
chk by: FL
scale: AS NOTED
date: 8/31/2020

SESI
CONSULTING ENGINEERS

SOILS / FOUNDATIONS
SITE DESIGN
ENVIRONMENTAL

125A MAPLE AVE. PINE BROOK, N.J. 07068 PH: 973-608-9000

FRANZ W. LAKI, P.E.
PROFESSIONAL ENGINEER
N.Y. LIC. NO. 96172

700 & 800 BRADLEY HILL ROAD
SECTION 65.18, BLOCK 1, LOTS 3 & 4
TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.

LIGHTING PLAN

job no. 10642
drawing no.

Scale: 1" = 40'

0 20 40 80 120 160

L-1

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65.14-1-1
AG OE 900 Bradley Hill Road
Onyx Equities LLC
900 Route 9 Unit 400
Woodbridge NJ 07095

65.18-1-1
AG OE 877 Western Hwy LLC
Onyx Management Group
900 Route 9 North Ste. 400
Woodbridge NJ 07095

65.17-1-10
Patrick J. Hill
849 Western Hwy.
Blauvelt NY 10913

65.18-1-20
Oratamin Club Inc.
PO Box 289
Nyack NY 10960

65.17-1-11
Annette Burke
835 Western Hwy.
Blauvelt NY 10913

65.18-1-22
AG OE 200 Oritani Drive
Onyx Management Group
900 Route 9 North Ste. 400
Woodbridge NJ 07095

65.17-1-20
Mario A. Espana
6 Piper Ct.
Blauvelt NY 10913

65.18-1-23
James Albert
1 Avis Ct.
Blauvelt NY 10913

65.17-1-21
Christine Lee
4 Piper Ct.
Blauvelt NY 10913

65.18-1-24
Margaret Hsu
6 Avis Ct.
Blauvelt NY 10913

65.17-1-24
John Mangieri
3 Haring Pl.
Blauvelt NY 10913

65.18-1-27
AG OE 400 Corporate Drive
Onyx Management Group
900 Route 9 North Ste. 400
Woodbridge NJ 07095

65.17-1-25
Marcus A. Colucci
2 Haring Pl.
Blauvelt NY 10913

65.18-1-3
AG OE 800 Bradley Hill Rd
Onyx Management Group
900 Route 9 North Ste. 400
Woodbridge NJ 07095

65.17-1-26
Benjamin Mornan
1 Haring Pl.
Blauvelt NY 10913

65.18-1-4
AG OE 700 Bradley Hill Rd
Onyx Management Group
900 Route 9 North Ste. 400
Woodbridge NJ 07095

65.17-1-8
James O'Sullivan
PO Box 113
Blauvelt NY 10913

65.18-1-5
AG OE 300 Corporate Dr Owner
Onyx Management Group
900 Route 9 North Ste. 400
Woodbridge NJ 07095

65.17-1-9
Luis Barahona
857 Western Hwy.
Blauvelt NY 10913

65.18.1-21
AG-OE 600 Bradley Hill Rd
Onyx Management Group
900 Route 9 North Ctr Ste. 400
Woodbridge NJ 07095

| SWIS | PRINT KEY | NAME | ADDRESS |
|--------|------------|---|--|
| 392489 | 65.14-1-1 | AG OE 900 Bradley Hill Rd Onyx Equities LLC | 900 Route 9 Unit 400,Woodbridge, NJ 07095 |
| 392489 | 65.17-1-8 | James O'Sullivan | P.O. Box 113,Blauvelt, NY 10913 |
| 392489 | 65.17-1-9 | Luis Barahona | 857 Western Hwy,Blauvelt, NY 10913 |
| 392489 | 65.17-1-10 | Patrick J Hill | 849 Western Hwy,Blauvelt, NY 10913 |
| 392489 | 65.17-1-11 | Annette Burke | 835 Western Hwy,Blauvelt, NY 10913 |
| 392489 | 65.17-1-20 | Mario A Espana | 6 Piper Ct,Blauvelt, NY 10913 |
| 392489 | 65.17-1-21 | Christine Lee | 4 Piper Ct,Blauvelt, NY 10913 |
| 392489 | 65.17-1-24 | John Mangieri | 3 Haring Pl,Blauvelt, NY 10913 |
| 392489 | 65.17-1-25 | Marcus A Colucci | 2 Haring Pl,Blauvelt, NY 10913 |
| 392489 | 65.17-1-26 | Benjamin Mornan | 1 Haring Pl,Blauvelt, NY 10913 |
| 392489 | 65.18-1-1 | AG OE 877 Western Hwy LLC Onyx Management Group | 900 Route 9 North Ste 400,Woodbridge, NJ 07095 |
| 392489 | 65.18-1-3 | AG OE 800 Bradley Hill Rd Onyx Management Group | 900 Route 9 North Ste 400,Woodbridge, NJ 07095 |
| 392489 | 65.18-1-4 | AG OE 700 Bradley Hill Rd Onyx Management Group | 900 Route 9 North Ste 400,Woodbridge, NJ 07095 |
| 392489 | 65.18-1-5 | AG OE 300 Corporate Dr Owner Onyx Management Group | 900 Route 9 North Ste 400,Woodbridge, NJ 07095 |
| 392489 | 65.18-1-22 | AG OE 200 Oritani Drive Onyx Management Group | 900 Route 9 North Ste 400,Woodbridge, NJ 07095 |

| SWIS | PRINT KEY | NAME | ADDRESS |
|--------|------------|---|--|
| 392489 | 65.17-1-21 | Christine Lee | 4 Piper Ct,Blauvelt, NY 10913 |
| 392489 | 65.17-1-25 | Marcus A Colucci | 2 Haring Pl,Blauvelt, NY 10913 |
| 392489 | 65.17-1-26 | Benjamin Mornan | 1 Haring Pl,Blauvelt, NY 10913 |
| 392489 | 65.18-1-1 | AG OE 877 Western Hwy LLC Onyx Management Group | 900 Route 9 North Ste 400,Woodbridge, NJ 07095 |
| 392489 | 65.18-1-3 | AG OE 800 Bradley Hill Rd Onyx Management Group | 900 Route 9 North Ste 400,Woodbridge, NJ 07095 |
| 392489 | 65.18-1-4 | AG OE 700 Bradley Hill Rd Onyx Management Group | 900 Route 9 North Ste 400,Woodbridge, NJ 07095 |
| 392489 | 65.18-1-5 | AG OE 300 Corporate Dr Owner Onyx Management Group | 900 Route 9 North Ste 400,Woodbridge, NJ 07095 |
| 392489 | 65.18-1-20 | Oratamin Club Inc | P.O. Box 289,Nyack, NY 10960 |
| 392489 | 65.18-1-21 | AG-OE 600 Bradley Hill Rd Onyx Management Group | 900 Route 9 North Ctr Ste 400,Woodbridge, NJ 07095 |
| 392489 | 65.18-1-22 | AG OE 200 Oritani Drive Onyx Management Group | 900 Route 9 North Ste 400,Woodbridge, NJ 07095 |
| 392489 | 65.18-1-23 | James Albert | 1 Avis Ct,Blauvelt, NY 10913 |
| 392489 | 65.18-1-24 | Margaret Hsu | 6 Avis Ct,Blauvelt, NY 10913 |
| 392489 | 65.18-1-27 | AG OE 400 Corporate Drive Onyx Management Group | 900 Route 9 North Ste 400,Woodbridge, NJ 07095 |

